



Home of the Tualatin River National Wildlife Refuge

**City of Sherwood
PLANNING COMMISSION
Sherwood City Hall
22560 SW Pine Street
Sherwood, OR 97140
September 7, 2010 – 7 PM**

Business Meeting – 7:00 PM

- 1. Call to Order/Roll Call**
- 2. Agenda Review**
- 3. Consent Agenda**
- 4. Staff Announcements**
- 5. Council Announcements** (Mayor Keith Mays, Planning Commission Liaison)
- 6. Community Comments** (*The public may provide comments on any non-agenda item*)
- 8. New Business:**
 - a. Public Hearing – Sherwood Cannery Square Plaza (SP 10-02/CUP 10-01)
The applicant has requested a site plan and conditional use approval for a 12,000 square foot public plaza at the northeastern corner of Pine Street and Columbia Street. This is also the Final Development Plan for this portion of the approved Sherwood Cannery Square PUD. The applicant has also included a phasing plan for the remainder of the PUD with this Final Development Plan proposal.
- 9. Comments from Commission**
- 10. Adjourn the Business Meeting**
- 11. Next Meeting: September 14, 2010** –Code Clean-Up Phase II Listening Session

TO: Planning Commission

App. Submitted: June 7, 2010
App. Complete: July 8, 2010
120-Day Deadline: November 5, 2010
Hearing Date: September 7, 2010

FROM: PLANNING DEPARTMENT



Julia Hajduk, Planning Manager

Proposal: The applicant has requested a site plan and conditional use approval for a 12,000 square foot public plaza at the northeastern corner of Pine Street and Columbia Street. This is also the Final Development Plan for this portion of the approved Sherwood Cannery Square PUD (PUD 09-01). The applicant has also included a phasing plan for the remainder of the PUD with this Final Development Plan proposal. The applicant's submittal packet is attached as Exhibit A.

I. APPLICATION INFORMATION

A. Applicant

Capstone Partners LLC
1015 NW 11th Avenue, Suite 243
Portland, OR 97209
Jeff Sackett - Contact

Applicant's Representative: Lango Hansen
1100 NW Glisan St, Suite 3B
Portland, OR 97209
Kurt Lango- Contact

Owner: Sherwood Urban Renewal Agency
22560 SW Pine Street
Sherwood, OR 97140
Tom Nelson – Contact

- B. Property Description: The Plaza is part of the Sherwood Cannery PUD which is comprised of tax lots 150, 151, 200, 800 and 900 on tax map 2S132BD. The approved PUD included a subdivision which has not yet recorded. The Plaza is currently on tax lot 200 on tax map 2S132BD and located north of the future Columbia Street extension and east of Pine Street. The area of the proposed plaza is zoned Retail Commercial.
- C. Existing Development and Site Characteristics: The plaza portion of the overall 6.4-acre PUD is 12,000 square feet and mostly flat and cleared. The site had contaminated soil at one time which has since been cleaned to DEQ satisfaction per the No Further Action (NFA) letter dated April 13, 2010 included as Attachment 5 in the application submittal.

- D. Comprehensive Plan Land Use Designation and Zoning Classification: The area of the proposed plaza is zoned Retail Commercial and is located in the Old Cannery portion of the Old Town Overlay.
- E. Adjacent Zoning and Land Use: Immediately adjacent to the proposed plaza is Retail Commercial zoned property. Directly north are the railroad tracks with the City Hall and Library building on the other side. To the west is Pine Street. The future Columbia Street extension is on the southern edge of the proposed plaza. To the east is the future location of commercial buildings that are part of the approved PUD.

The entire PUD site is generally shaped like a sideways "L". To the north, the Portland and Western railroad separates the site from City Hall and Railroad Street. The westernmost edge of the site is bordered by SW Washington Street with property zoned Medium Density Residential High and outside the Old Town Overlay. The easternmost edge is the existing Sherwood public works yard and Field House which is split zoned Retail commercial and High Density Residential and is inside the Old Town Overlay. Rather than being a perfect rectangle, there is a "notch" out on the southwestern portion of the site where several properties zoned high density residential are located between the future SW Columbia Street and SW Willamette Street. The easternmost 344 feet of the site has frontage along SW Willamette Street, with properties zoned Medium Density Residential Low on the other side of the street.

- F. Land Use Review: The 12,000 square foot plaza requires a Type II site plan and a Type III Conditional Use Permit. Because it is also the Final Development Plan for this phase of the approved PUD, it is processed as a Type IV land use action requiring a public hearing and decision by the Planning Commission. An appeal of the Planning Commission decision would go to the City Council.
- G. Public Notice: Notice of this land use application was posted at the site and five conspicuous locations throughout the city. Notice was also mailed to property owners within 100 feet of the site, as well as any other party who expressed an interest in receiving mailed notice, on August 17, 2010 in accordance with section 16.72.020 of the Sherwood Zoning and Community Development Code. Notice was also published in The Times newspaper on August 26, 2010 and September 2, 2010. A courtesy notice of all land use actions under review at the City, including the date of the Planning Commission hearing for the plaza, was published in the September edition of the Gazette and the Sherwood Archer.
- H. Applicable Review Criteria: Sherwood Zoning and Community Development Code Section 16.28 (RC), 16.40 (PUD), 16.72 (Procedures for processing development permits), 16.82 (Conditional Uses), 16.90 (Site Planning), 16.92 (landscaping) 16.94 (off-street parking), 16.96 (on-site circulation), 16.98 (on-site storage), Division VI (public improvements), 16.142 (Parks and Open Space), 16.146 (Noise), 16.154 (Heat and glare), 16.162 (Old Town Overlay).
- I. Site History: A brick manufacturing plant operated on the site between 1890 and 1893 and supplied bricks for buildings both within Sherwood as well as the City of Portland. After fires damaged much of the City at the turn of the 20th Century, the Graves Cannery was built on the site in 1918. The cannery processed a variety of fruit until it closed in 1971. The buildings were utilized over the next 30 years for a variety of warehousing and light manufacturing until the buildings were demolished in 2007.

In 2004 the City took the opportunity to purchase the property consisting of tax lots 800, 150, 151 and 200 on tax map 2S1 32 BD, and with the assistance of the Cannery Site Development Committee, explored options for developing the site. The City demolished the structures on the site and completed environmental clean-up to DEQ standards.

The City approved PUD 09-02 on March 2, 2010 which included:

- Construction of Streets including Columbia Street east of Pine Street and Highland Drive south of Columbia Street. Redeveloping a portion of Pine Street as well as Columbia Street west of Pine Street. Frontage improvements along Willamette and Washington Streets. The construction of the streets would also include completion of the storm water facility proposed west of the Machine Works Phase.
- Public Plaza – This includes completion of the public plaza.
- West Phase –A one-story retail building of approximately 3,750 square feet and a 31-space off-street parking lot to be shared with the Machine Works Phase.
- East Phase –A two-story, approximately 13,800 square foot building with ground floor service, office or retail and second floor office space and a 36-space parking lot.
- South Phase – A one-story, approximately 4,000 square foot service, retail or office building and an 8-space parking lot.
- West Residential Phase – A three-story multi-family building with 52 units and a 53-space parking lot.
- East Residential Phase –A three-story multi-family building with 49 units and a 48-space parking lot.
- Machine Works Phase –Renovation of the existing 13,050 square foot Machine Works building which is owned by the City of Sherwood. The City has indicated plans to convert the building for use as a community center.
- NE Phase – Four conceptual alternatives were identified and include commercial uses and associated off-street parking.

The plaza is the first site plan and Final Development Plan submitted. In addition the applicant has received approval of the public improvement plans for the construction of the streets and completion of the subdivision. Construction of the streets is expected to begin in mid-October.

The Council decision was appealed to the Land Use Board of Appeals (LUBA); however a decision is anticipated to be issued by LUBA on or before September 15th. It is recommended that the Planning Commission withhold a final decision on the plaza site plan until after the 15th to ensure modifications to the findings or analysis are not required..

II. PUBLIC COMMENTS

Public notice was mailed, posted on the property and in five locations throughout the City on August 17, 2010. Notice was published in The Times on August 26, 2010 and September 2, 2010. Staff has received no written comments as of the date of this report.

III. AGENCY COMMENTS

Staff sent e-notice to affected agencies on July 8, 2010. The following is a summary of the comments received. Copies of full comments are included in the record as noted.

Sherwood Engineering Department:

The City Engineer indicated that he has no comments about the plan set but recommends that the Plaza development begin implementing some of the traffic impact mitigation for background deficiencies identified in the Traffic Impact Analysis (TIA) for the overall PUD. Specifically, he has recommended that the plaza be conditioned to:

- Construct improvements to improve the operations of Washington Street/3rd Street to meet City performance standards. This improvement shall consist of installation of a south-eastbound left turn lane on Washington Street onto 3rd Street.
- Construct improvements to improve operations of Sherwood Boulevard/Pine Street/3rd Street and meet City performance standards. This improvement shall consist of installation of a south-eastbound right turn lane on Sherwood Boulevard onto 3rd Street.

Clean Water Services (CWS):

CWS submitted a letter dated July 21, 2010 outlining their requirements and indicating that a CWS Storm Water Connection Permit Authorization must be obtained. Their comments are included as Exhibit B.

Tualatin Valley Fire and Rescue responded to the request for comments indicating that they have no objections or concerns.

ODOT Rail indicated that they have toured the site and received an explanation of the site and transportation plans and has no issues or objection with the project as presented.

The Sherwood School District indicated that they have no comment.

Pride Disposal questioned whether garbage would be serviced by Pride and if so requested more information.

Staff response: The Public Works Director has indicated that since this will be a public plaza, all trash receptacles will be maintained by the City of Sherwood.

Portland General Electric indicated that they will need a load summary of the plaza including service size, voltage and pump horsepower and any other specific for this site so that they can size wire and transformers appropriate.

Tri-met, Kinder Morgan Energy, NW Natural Gas, ODOT, Washington County, Sherwood Broadband, BPA, Raindrops to Refuge, Tualatin River National Wildlife Refuge, Metro and Sherwood Public Works were provided notice however no comments were provided.

IV. PUD FINAL DEVELOPMENT PLAN

16.40.030 Final Development Plan

A. Generally

Upon approval of the PUD overlay zoning district and preliminary development plan by the Council, the applicant shall prepare a detailed Final Development Plan as per this Chapter and Section 16.78.010, for review and approval of the Commission. The Final Development Plan shall comply with all conditions of approval as per Section 16.40.020. In addition, the applicant shall prepare and submit a detailed site plan for any non-single-family structure or use not addressed under Section 16.40.020(B)(6), for review and approval, pursuant to the provisions of Chapter 16.90. The site plan shall be processed concurrently with the Final Development Plan. (Ord. 86-851 § 3)

This proposal is for Final Development Plan and site plan approval for the plaza. Below is an analysis of compliance with the conditions of PUD approval:

Conditions 5, 7, 13-19, and 21-23 relate to specific elements of phases in the PUD and are not applicable to this proposal

Condition 1 - A Detailed Final Development Plan shall be submitted for review and approval within 1 year of the preliminary PUD approval.

This condition is met through the submittal of this land use application.

Condition 2 - The Detailed Final Development Plan may be submitted for one or more phases, but shall include a detailed phasing, including timing, plan for remaining phases.

The applicant has chosen to develop the PUD in phases. Because this is the first Detailed Development Plan, this condition applies. The applicant has submitted a phasing plan which is included as Attachment 2 of the applicant's submittal materials.

The phasing plan indicates that the streets/subdivision, the Cannery Square Plaza and the Machine Works Building renovation will be completed by December 2011. The plan also states that at least one commercial or one residential phase shall be complete by June 2013, with the provision that more than one may be constructed depending on market conditions. The final "phase" would allow the remaining buildings to be constructed prior to June 2018. This would provide that all but one of the commercial or residential buildings could have up to 8 years before starting the remaining phases.

Regarding the first "three" proposed phases (plaza, Machine works and at least one commercial or residential phase), the timing is consistent with the recently approved time extension for all site plans and subdivisions which allows until December 2013 (Ordinance 2010-006).

The provision for five additional years to begin construction on all remaining phases allows time for the first three to be fully built and establish momentum and for the applications to go through the land use process. It should be clarified that land use approvals must be granted on the last phases by June 2018 or the Commission will need to determine whether or not the PUD's continuation, in whole or in part, is in the public interest per 16.40.040.

Because the streets will be constructed by December 2011, there is no need to regulate the order in which building phases occur. Each building phase or phases will be required to submit for Final Development Plan and site plan approval at which time any conditions specific to that phase will be reviewed

Condition 3 - Prior to occupancy of any phase in the PUD, on-site public improvements must be complete as determined by the City Engineer.

Public improvement plans have been approved and are expected to begin in mid-September. This condition is expected to be met, however it is recommended that this condition be carried forward with this decision to ensure it is met prior to the plaza being open.

Condition 4 - Prior to occupancy of the west building, south building, east building or the east or west residential building, the Plaza shall be complete.

This application is for the plaza.

Condition 6 - Prior to approval of occupancy for any phase utilizing on-site private storm water treatment systems, the applicant shall sign an access and maintenance agreement for any private storm water treatment systems installed as part of this development.

This project does not include on-site private storm water treatment systems; therefore this condition does not apply.

Condition 8 - Each phase shall comply with the site plan standards including but not limited to Community Design standards except as specifically modified in this decision.

Compliance with the site plan standards is addressed throughout this report, and conditioned as needed, thereby satisfying this condition.

Condition 9 - Trash enclosures must be placed consistent with Pride Disposal requirements

As discussed above under agency comments, the trash receptacles in the plaza will be maintained by the City of Sherwood consistent with other public spaces, therefore this condition is not applicable to this particular phase.

Condition 10 - No outdoor storage is permitted.

No outdoor storage is proposed nor anticipated with this public plaza use.

Condition 11 - Any outdoor sales and merchandise display must be approved as part of a CUP per 16.98.040

The plaza is a conditional use and anticipated to be an active public space including the relocation of the Saturday Market and likely other festivals and events. This type of outdoor space will have City sanctioned outdoor sales and merchandise display associated with an approved civic event as authorized by a special event permit.

Condition 12 - Any detailed final development plan approval for any structure in Phase I (West Building, South Building, East Building, West Residential Building, or East Residential Building) shall be coordinated and approved by the City Engineer to ensure that the traffic mitigation measures are assigned appropriately for each building phase. The traffic mitigation measures for all structures in Phase I are:

- a. Construct improvements to improve the operations of Pine Street/1st Street to meet City performance standards and mitigate queuing impacts at the Pine Street railroad crossing. This shall be accomplished by implementing a modified circulation for the downtown streets that includes:
 - i. Install a diverter for south-westbound on 1st Street at Ash Street or Oak Street to require vehicles travelling towards Pine Street to divert to 2nd Street.**
 - ii. Remove one side of on-street parking Ash Street-2nd Street or Oak Street-2nd Street to provide two 12-foot travel lanes from the diverter to Pine Street. Convert to one-way traffic flow approaching Pine Street for this segment.**
 - iii. Install an all-way stop at Pine Street/2nd Street. Stripe the south-westbound approach of 2nd Street to have a left turn lane and a shared through/right-turn lane.**
 - iv. Install traffic calming measures on 2nd Street southwest of Pine Street to manage the impact of the added traffic.****
- b. Restrict landscaping, monuments, or other obstructions within sight distance triangles at the access points to maintain adequate sight distances.**
- c. Provide an enhanced at-grade pedestrian crossing of Pine Street to facilitate multi-modal circulation through the project site (e.g., signing, striping, lighting, a raised crossing, or pavement texturing).**
- d. Construct Columbia Street northeast of Pine Street to City Standards as modified and approved by the City Engineer and install a sign indicating that this roadway will be a through street in the future (connecting to Foundry Avenue).**
- e. Because of the alignment configuration of Columbia Street southwest of Pine, the street shall be configured and signed as a one way street.**
- f. Restrict parking on the southeast side of Columbia Street at a minimum within 50 feet of Pine Street (northeast of Pine Street).**

While this proposal is not for a structure identified in this condition, the City Engineer has recommended that this project begin to resolve some of the background deficiencies identified in the TIA. Specifically, he has recommended that the plaza be conditioned to:

- Construct improvements to improve the operations of Washington Street/3rd Street to meet City performance standards. This improvement shall consist of installation of a south-eastbound left turn lane on Washington Street onto 3rd Street.
- Construct improvements to improve operations of Sherwood Boulevard/Pine Street/3rd Street and meet City performance standards. This improvement shall consist of installation of a south-eastbound right turn lane on Sherwood Boulevard onto 3rd Street.

This can be accommodated through re-stripping and should not require widening of the existing roadway.

Condition 20 - Prior to final PUD approval, submit a revised Architectural Pattern Book that:

- a. **Clarifies that while the requirements do not specifically apply to multi-family residential the elements in the architectural pattern book are to be applied.**
- b. **Specifies what metal panels may and shall not look like.**

Because this is the first Final Development Plan approval, this condition applies to this phase, even though no structures are planned. The applicant has submitted a revised architectural pattern book that complies with this condition.

FINDING: As analyzed above, the proposal generally meets the applicable conditions for the preliminary PUD; however the following conditions are recommended to ensure full compliance:

CONDITION: Prior to occupancy of the Plaza, the subdivision and public improvements associated with the subdivision (streets, water, sanitary and storm sewer) must be complete.

CONDITION: Prior to occupancy of the plaza, a south-eastern bound left turn lane on Washington Street onto 3rd Street shall be installed (re-stripped)

CONDITION: Prior to occupancy of the plaza a south-eastbound right turn lane on Sherwood Boulevard onto 3rd Street shall be installed (re-stripped)

V. CONDITIONAL USE REVIEW– REQUIRED FINDINGS (SECTION 16.82)

No conditional use shall be granted unless each of the following is found:

- A. **All public facilities and services to the proposed use, including but not limited to sanitary sewers, water, transportation facilities, and services, storm drains, electrical distribution, park and open space and public safety are adequate; or that the construction of improvements needed to provide adequate services and facilities is guaranteed by binding agreement between the applicant and the City.**

All public facilities and services to the proposed use are adequate and will comply with the City's Design and Construction standards as part of the public improvement plan review. This will be discussed in greater detail and conditioned, if needed, below in the "Public Improvements" section.

FINDING: This standard is met.

- B. **Proposed use conforms to other standards of the applicable zone and is compatible with abutting land uses in regard to noise generation and public safety.**

The zone is retail commercial and will be surrounded by other RC property and development at build out. The plaza was identified in the Sherwood Cannery Development

Strategy and the preliminary PUD as a way to benefit the community and draw more people into Old Town. As such, the use will be compatible with abutting uses.

In addition, as part of the preliminary PUD review, there was support expressed for the plaza by nearby property owners and the public at large. There will be noise associated with activity in the plaza, however given the buffer of RC and commercial uses between the plaza and the residential uses, significant noise impacts are not anticipated. Noise is discussed in more detailed further in this section and further in this report under Section VII, D, 16.146.

Regarding public safety the plaza will bring people into Old Town and generate more "eyes on the street" which is a key factor in public safety in urban areas. In addition, the plaza is open and visible from the street and there are no "hiding places" allowing for eyes on the plaza as well. The Police Chief also indicates that the redevelopment of the cannery site is generally in line with the "Broken Windows" theory of Community Policing, in that it replaces an area that represents a concern of public safety with a revitalized area that does not. The existing field presents a fire risk and an opportunity for hiding and by re-developing the site it will improve the overall lighting in the area and attract positive attention.

FINDING: As discussed above, this standard is met.

- C. The granting of the proposal will provide for a facility or use that meets the overall needs of the community and achievement of the goals and/or policies of the Comprehensive Plan, the adopted City of Sherwood Transportation System Plan and this Code.**

The plaza was identified as a needed amenity in the initial Cannery Re-development Strategy and will provide Sherwood with a "living room" in which to host activities and events. It is envisioned that the popular summer library series, Saturday Market and Christmas tree lighting ceremony could expand into the plaza area.

FINDING: As discussed above, this standard is met.

- D. Surrounding property will not be adversely affected by the use, or that the adverse effects of the use on the surrounding uses, the neighborhood, or the City as a whole are sufficiently mitigated by the conditions proposed.**

As discussed above, the immediately adjacent parcels are zoned RC and are either planned to be or are developed with commercial office or civic uses. Beyond the RC zoned properties to the south is a residentially developed area which could be negatively impacted if the plaza were not designed well. However, the plans demonstrate that light will not spill beyond the property line in excess of permitted standards, on-street parking will be available upon completion of the public improvements and noise impacts will be adequately addressed and mitigated as needed and discussed in Section VII, D, 16.146.

FINDING: As discussed above, this standard is met.

- E. The impacts of the proposed use of the site can be accommodated considering size, shape, location, topography and natural features.**

The plaza has been designed with the help of a Plaza Design Committee to consider the community needs and to carefully consider how the plaza will integrate with the surrounding areas. The plaza is a gathering place for the community and the design accommodates a variety of users to allow the plaza to be most efficiently utilized. The size, shape and locations were determined through the preliminary PUD approval and create a focal point for the Cannery PUD and the Old Town area. Topography and natural features were not an issue in the design of the plaza.

FINDING: As discussed above, the plaza complies with this standard.

F. The use as proposed does not pose likely significant adverse impacts to sensitive wildlife species or the natural environment.

The location of the plaza has little vegetation and is covered in gravel. The use will better enhance the environment by providing management and treatment of storm water. CWS has provided comments indicating that the mitigation required per their service provider letter must be complete, however this is being done as part of the subdivision and street improvement project and is expected to be complete prior to or concurrent with this project. Provided the previous condition is met requiring that the public improvements be complete prior to occupancy of the plaza, the CWS comments will be negated.

FINDING: As discussed above and as previously conditioned, this standard is met.

G. For a proposed conditional use permit in the Neighborhood Commercial (NC), Office Commercial (OC), Office Retail (OR), Retail Commercial (RC), General Commercial (GC), Light Industrial (LI), and General Industrial (GI) zones, except in the Old Town Overlay Zone, the proposed use shall satisfy the requirements of Section 16.108.080 Highway 99W Capacity Allocation Program, unless excluded herein.

FINDING: The proposed plaza is located within the Old Town Overlay which does not need to comply with Highway 99W Capacity Allocation Program. This standard is met.

16.82.0204. Additional Conditions

In permitting a conditional use or modification of an existing conditional use, additional conditions may be applied to protect the best interests of the surrounding properties and neighborhoods, the City as a whole, and the intent of this Chapter.

FINDING: Staff has reviewed the potential additional conditions and determined that none are needed to address impacts associated with the plaza.

VI. SITE PLAN REVIEW– REQUIRED FINDINGS (SECTION 16.90)

A. The proposed development meets applicable zoning district standards and design standards in Division II, and all provisions of Divisions V, VI, VIII and IX.

FINDING: The applicant meets the zoning district standards of the Retail Commercial (RC) zone and design standards in Divisions II, IV V, VI, VIII, and IX or will be conditioned to meet these standards in this report. This standard is met.

- B. The proposed development can be adequately served by services conforming to the Community Development Plan, including but not limited to water, sanitary facilities, storm water, solid waste, parks and open space, public safety, electric power, and communications.**

FINDING: The proposed development can adequately be served as discussed throughout this report. This standard is met.

- C. Covenants, agreements, and other specific documents are adequate, in the City's determination, to assure an acceptable method of ownership, management, and maintenance of structures, landscaping, and other on-site features.**

FINDING: The Sherwood Urban Renewal Agency and, ultimately, City of Sherwood will own and maintain the tract the plaza will be on, therefore no additional maintenance documentation is necessary.

- D. The proposed development preserves significant natural features to the maximum extent feasible, including but not limited to natural drainage ways, wetlands, trees, vegetation, scenic views, and topographical features, and conforms to the applicable provisions of Division VIII of this Code and Chapter 5 of the Community Development Code. (Ord. 2006-021; 91-922 § 3; 86-851)**

FINDING: There are no significant natural features on the plaza portion of the PUD, therefore this standard is met.

- E. For a proposed site plan in the Neighborhood Commercial (NC), Office Commercial (OC), Office Retail (OR), Retail Commercial (RC), General Commercial (GC), Light Industrial (LI), and General Industrial (GI) zones, except in the Old Town Overlay Zone, the proposed use shall satisfy the requirements of Section 16.108.080 Highway 99W Capacity Allocation Program, unless excluded herein. (Ord. 2005-009 § 8)**

FINDING: The subject site is located in the Old Town Overlay therefore this standard is not applicable.

- F. For developments that are likely to generate more than 400 average daily trips (ADTs), or at the discretion of the City Engineer, the applicant shall provide adequate information, such as a traffic impact analysis or traffic counts, to demonstrate the level of impact to the surrounding street system. The developer shall be required to mitigate for impacts attributable to the project. The determination of impact or effect and the scope of the impact study shall be coordinated with the provider of the affected transportation facility.**

The plaza is not anticipated to generate more than 400 ADT's and the City Engineer did not indicate that additional traffic analysis was necessary; however he did recommend that this project begin to address some of the background deficiencies

identified in the Traffic Impact Analysis (TIA) of the preliminary PUD. This was discussed and conditioned previously.

FINDING: As discussed above and conditioned previously, this standard has been met.

G. The proposed commercial, multi-family development, and mixed-use development is oriented to the pedestrian and bicycle, and to existing and planned transit facilities. Urban design standards shall include the following:

- 1. Primary, front entrances shall be located and oriented to the street, and have significant articulation and treatment, via facades, porticos, arcades, porches, portal, forecourt, or stoop to identify the entrance for pedestrians. Additional entrance/exit points for buildings, such as a postern, are allowed from secondary streets or parking areas.**
- 2. Buildings shall be located adjacent to and flush to the street, subject to landscape corridor and setback standards of the underlying zone.**
- 3. The architecture of buildings shall be oriented to the pedestrian and designed for the long term and be adaptable to other uses. Aluminum, vinyl, and T-111 siding, metal roofs, and artificial stucco material shall be prohibited. Street facing elevations shall have windows, transparent fenestration, and divisions to break up the mass of any window. Roll up and sliding doors are acceptable. Awnings that provide a minimum 3 feet of shelter from rain shall be installed unless other architectural elements are provided for similar protection, such as an arcade.**
- 4. As an alternative to the above standards G.1-3, the Old Town Design Standards (Chapter 16.162) may be applied to achieve this performance measure.**

FINDING: There are no buildings proposed with this proposal; therefore this standard is not applicable.

VII. ADDITIONAL APPLICABLE CODE PROVISIONS

A. Division II– Land Use and Development

The applicable provisions of Division II that have not already been addressed include: 16.28 (Retail Commercial) and 16.58 (Visual Clearance). Compliance with the standards in these sections is discussed below:

16.36.010 Purpose

The RC zoning district provides areas for general retail and service uses that neither require larger parcels of land nor provide excessive environmental impacts per Division VIII.

FINDING: The proposed plaza falls in the use category of public recreational facility which is a conditional use in the RC zone.

16.36.050 Dimensional Standards

No lot area, setback, yard, landscaped area, open space, off-street parking or loading area, or other site dimension or requirement, existing on, or after, the effective date of this Code shall be reduced below the minimum required by this Code. Nor shall the conveyance of any portion of a lot, for other than a public use or right-of-way, leave a lot or structure on the

remainder of said lot with less than minimum Code dimensions, area, setbacks or other requirements, except as permitted by Chapter 16.84.

16.36.050.B. Setbacks

Except as otherwise provided, required minimum setbacks shall be:

1.	Front yard:	None, except that when the lot abuts a residential zone the front yard shall be that required in the residential zone.
2.	Side yard:	None, except ten (10) feet where adjoining a residential zone or public park.
3.	Rear yard:	None, except ten (10) feet where adjoining a residential zone or public park.

FINDING: The lot size was proposed and approved as part of the preliminary PUD approval. Since the portion of property the plaza is on does not abut a residential zone, the canopies on the property line (zero setback) meet this standard.

16.36.050.C. Height

Except as otherwise provided, the maximum height of buildings in the IP zone shall be fifty (50) feet, except that structures within one hundred (100) feet of a residential zone shall be limited to the height requirements of that residential zone. (Ord. 91-922 § 3)

The two canopies are located on the north and west property lines. The southeast corner of the plaza is within 100 feet of residentially zoned property outside of the PUD (the large property west of the west residential phase); however the two canopies are both more than 100 feet from the residentially zoned property and are approximately 18 feet in height.

FINDING: As discussed above, this standard has been met.

16.58.010 Clear Vision Areas

A clear vision area shall be maintained on the corners of all property at the intersection of two (2) streets, intersection of a street with a railroad, or intersection of a street with an alley or private driveway. (Ord. 96-1014 § 1; 86-851)

B. In commercial and industrial zones, the minimum distance shall be fifteen (15) feet, or at intersections including an alley, ten (10) feet, except that when the angle of intersection between streets, other than an alley, is less than thirty (30) degrees, the distance shall be twenty-five (25) feet.

C. Where no yards are required, buildings may be constructed within the clear vision area.

While it appears that a small portion of the performance canopy is within the vision clearance area, because there is no required yard in the RC zone, the structure is permitted. It is recommended, however that the applicant consider

moving the canopy slightly to the north so that the structure is outside of the vision clearance area.

FINDING: This standard is met as discussed above.

B. Division V- Community Design

The applicable provisions of Chapter 5 include: 16.90 (Site Planning), 16.92 (Landscaping), 16.94 (Off-street parking and Loading), and 16.96 (On-site Circulation). 16.98 Compliance with the standards in these sections is discussed below:

16.92.010 Landscape Plan

All proposed developments for which a site plan is required pursuant to Section 16.90.020 shall submit a landscaping plan which meets the standards of this chapter. All areas not occupied by structures, paved roadways, walkways, or patios shall be landscaped or maintained according to an approved site plan. Maintenance of existing not-invasive native vegetation is encouraged within a development and required for portions of the property not being developed.

The proposal includes a landscaping plan with a lawn area, shrubs around the canopies and a tree, intended to be a "heritage tree". The remaining plaza area consists of hardscape including bricks, terraced steps and a water feature.

FINDING: This standard is met by the landscaping and hardscape planned for the entire plaza area.

16.92.020 Landscaping Materials

16.92.020.1 Varieties - Required landscaped areas shall include an appropriate combination of evergreen or deciduous trees and shrubs, evergreen ground cover, and perennial plantings. Trees to be planted in or adjacent to public rights-of-way shall meet the requirements of this Chapter.

Street trees will be installed as part of the public improvements. There is no other "required" landscaping, but the landscaping that is provided is a combination of shrubs and lawn with a variety of container sizes.

FINDING: This standard is met as discussed above.

16.92.020.2 Establishment of Healthy Growth and Size - Required landscaping materials shall be established and maintained in a healthy condition and of a size sufficient to meet the intent of the approved landscaping plan. Specifications shall be submitted showing that adequate preparation of the topsoil and subsoil will be undertaken.

FINDING: There are not specific landscape maintenance plans for this proposal. Therefore this standard has not been met but it can be met as conditioned below.

CONDITION: Prior to final site plan approval, submit additional information on the proposed planting and maintenance plan to ensure that the landscaping will be appropriately maintained.

16.92.020.4 Existing Vegetation - All developments subject to site plan review as per Section 16.90.020 and required to submit landscaping plans as per Section 16.92.020 shall preserve existing trees, woodlands and vegetation on the site to the maximum extent possible, as determined by the Commission, in addition to complying with the provisions of Section 16.142.060.

FINDING: There is no existing vegetation that warrants retention in the vicinity of the plaza, therefore this standard is met.

16.92.030 Landscaping Standards

16.92.030.01 Perimeter Screening and Buffering - A minimum six (6) foot high sight-obscuring wooden fence, decorative masonry wall, or evergreen screen shall be required along property lines separating single and two-family uses from multi-family uses, and along property lines separating residential zones from commercial or industrial uses. In addition, plants and other landscaping features may be required by the Commission in locations and sizes necessary to protect the privacy of residences and buffer any adverse effects of adjoining uses.

FINDING: This standard does not apply.

16.92.030.3 - Visual Corridors

New developments shall be required to establish landscaped visual corridors along Highway 99W and other arterial and collector streets, consistent with the Natural Resources and Recreation Plan Map, Appendix C of the Community Development Plan, Part II, and the provisions of Section 16.142.

FINDING: While Pine Street is a Collector, as discussed in detail further in this report, the Visual Corridor requirements in Section 16.142 specifically exempt developments within the Old Town Overlay from providing a visual corridor. Therefore this standard does not apply.

16.94.010 – General Off-street parking and loading

16.94.010.06 Location

Residential off-street parking spaces shall be located on the same lot as the residential use. For other uses, required off-street parking spaces may include adjacent on-street parking spaces, nearby public parking and shared parking located within 500 feet of the use.

As discussed in greater detail below, no off-street parking is proposed directly related to the plaza; however the intent is to utilize on-street parking and adjacent parking to be constructed with the remainder of the PUD.

FINDING: Because parking will be available from adjacent parking both on and off-street, this standard is met.

16.94.020 Off-street parking standards

Where square feet are specified, the area measured shall be the gross building floor area primary to the functioning of the proposed use. Where employees are specified, persons counted shall be those working on the premises, including proprietors, during the largest shift at peak season. Fractional space requirements shall be counted as a whole space. Off-street parking and loading requirements for a use not specifically listed in this Section shall be determined by the review authority based upon the requirements of comparable uses. (Ord. 2006-021; 86-851 § 3)

There is not a minimum or maximum parking standard outlined in the code for parks and open space. The plaza is intended to be a gathering place for residents who will walk, use transit, bicycle or park on-street or in the parking lots built as part of the overall PUD. With the construction of the public streets, expected to be complete prior to or concurrent with the plaza construction, 23 on-street parking spaces will be available for patrons of the plaza. This coupled with future parking associated with the remainder of the PUD will provide parking for patrons at the plaza.

FINDING: This standard is met.

16.94.020.A – Dimensional Standards

For the purpose of Section 16.94, a "parking space" generally means a minimum stall nine (9) feet in width and twenty (20) feet in length. Up to twenty five percent (25%) of required parking spaces may have a minimum dimension of eight (8) feet in width and eighteen (18) feet in length so long as they are signed as compact car stalls.

FINDING: This standard is not applicable as no off-street parking is proposed.

16.94.020.D – Service Drives

Service drives shall be clearly and permanently marked and defined through use of rails, fences, walls, or other barriers or markers, and shall have minimum vision clearance area formed by the intersection of the driveway center line, the street right-of-way line, and a straight line joining said lines through points fifteen (15) feet from their intersection.

FINDING: There are no service drives as a part of this proposal and none are warranted, therefore this criterion is not applicable.

16.94.020.02. - Bicycle Parking Facilities

1. **Location and Design.** Bicycle parking shall be conveniently located with respect to both the street right-of-way and at least one building entrance (e.g., no farther away than the closest parking space). Bike parking may be located inside the main building or protected or otherwise covered near the main entrance. If the first two options

are unavailable, a separate shelter provided on-site is appropriate as long as it is coordinated with other street furniture. Street furniture includes benches, street lights, planters and other pedestrian amenities. Bicycle parking in the Old Town Overlay District can be located on the sidewalk within the right-of-way. A standard inverted “U shaped” design is appropriate. Alternative, creative designs are strongly encouraged.

2. **Visibility and Security.** Bicycle parking shall be visible to cyclists from street sidewalks or building entrances, so that it provides sufficient security from theft and damage; Bicycle parking requirements for long-term and employee parking can be met by providing a bicycle storage room, bicycle lockers, racks, or other secure storage space inside or outside of the building;
3. **Options for Storage.** Bicycle parking requirements for long-term and employee parking can be met by providing a bicycle storage room, bicycle lockers, racks, or other secure storage space inside or outside of the building.
4. **Lighting.** Bicycle parking shall be least as well lit as vehicle parking for security.
5. **Reserved Areas.** Areas set aside for bicycle parking shall be clearly marked and reserved for bicycle parking only.
6. **Hazards.** Bicycle parking shall not impede or create a hazard to pedestrians. Parking areas shall be located so as to not conflict with vision clearance standards.

The code requires that for parks and open areas at least two bicycle spaces or 1 per 20 auto spaces be provided. Since there are no auto spaces, two bicycle parking spaces is the minimum required. Two hoop style racks are proposed for a total of 4 spaces. The proposed racks are located in the northeast corner of the plaza and are neither conveniently located from the street nor the buildings. It does not appear to be undercover nor well lit. Given the size and design of the plaza it is possible for the applicant to propose a better location for the bicycle racks that meet all the above standards. In addition, while meeting the minimum required spaces, the urban plaza is expected to attract patrons who walk or bike to the facility. It is recommended that additional spaces be considered.

FINDING: This standard is not met as discussed above. If the applicant submits a revised plan that shows the bicycle parking in a location that meets all of the locational standards listed in 16.94.020.02 this standard will be met.

CONDITION: Prior to final site plan approval, submit a revised plan that shows the bicycle parking in a location that meets all the locational standards listed in 16.94.020.02. It is also recommended that the applicant consider providing more than four (4) bicycle spaces in anticipation of multiple people choosing to bike to activities occurring in the plaza.

16.96 On-Site Circulation

16.96.010 – On-site pedestrian and bicycle circulation

On-site facilities shall be provided that accommodate safe and convenient pedestrian access within new subdivisions, multi-family developments,

planned unit developments, shopping centers and commercial districts, and connecting to adjacent residential areas and neighborhood activity centers within one half mile of the development. Neighborhood activity centers include but are not limited to existing or planned schools, parks, shopping areas, transit stops or employment centers. All new development, (except single family detached housing), shall provide a continuous system of private pathways/sidewalks at least 6 feet wide.

FINDING: The plaza is a neighborhood activity center and will have pedestrian access via public sidewalks. The plaza itself is designed to be 100% accessible to pedestrians, therefore this standard is met.

16.96.010.03 - Connection to Streets

A. Except for joint access as per 16.96.010, all ingress and egress to a use or parcel shall connect directly to a public street, excepting alleyways.

B. Required private sidewalks shall extend from the ground floor entrances or the ground floor landing of stairs, ramps or elevators to the public sidewalk or curb of the public street which provides required ingress and egress.

FINDING: There are no proposed buildings on the site; therefore this standard is not applicable; however the plaza is accessible from the west and south to the public sidewalk.

16.96.010.05 - Access to Major Roadways

Points of ingress or egress to and from Highway 99W and arterials designated on the Transportation Plan Map, attached as Appendix C of the Community Development Plan, Part II, shall be limited as follows: C. all site plans for new development submitted to the City for approval after the effective date of this Code shall show ingress and egress from existing or planned local or collector streets, consistent with the Transportation Plan Map and Section VI of the Community Development Plan.

FINDING: There is no vehicular access planned to the site, therefore this standard is not applicable.

16.98 On site storage

16.98.030 - Material Storage

- 1. Except as otherwise provided herein, external material storage is prohibited, except in commercial and industrial zones where storage areas are approved by the Commission as part of a site plan or as per Section 16.98.040.**
- 2. Except as per Section 16.98.040, all service, repair, storage, and merchandise display activities carried on in connection with any commercial or industrial activity, and not conducted within an enclosed building, shall be screened from the view of all adjacent properties and adjacent streets by a six (6) foot high, sight obscuring fence. In addition, unless adjacent parcels to the side and rear of the storage area have existing solid evergreen screening or sight-obscuring fencing in place, new evergreen screening no less than three (3) feet in height shall be planted along side and rear property lines. Where other provisions of**

this Code require evergreen screening, fencing, or a landscaped berm along side and rear property lines, the additional screening stipulated by this Section shall not be required.

3. Storage of hazardous, corrosive, flammable, or explosive materials, if such storage is otherwise permitted by this Code, shall comply with all local fire codes, and Federal and State regulations.

FINDING: The applicant is not proposing to store anything on this site nor is it anticipated, therefore this standard is met.

16.98.040 - Outdoor Sales and Merchandise Display

1. Outdoor sales and merchandise display activities shall be permitted when such activities are deemed by the Commission to be a customary and integral part of a permitted commercial or industrial use. Outdoor sales and merchandise display will be reviewed as conditional uses in accordance with Chapter 16.82.
- 2.A. Outdoor sales and merchandise display areas shall be kept free of debris. Merchandise shall be stacked or arranged, or within a display - structure. Display structures shall be secured and stable.
 - B. Outdoor sales and merchandise display shall not be located within required yard, building, or landscape setbacks, except where there is intervening right-of-way of a width equal to or greater than the required setback; and shall not interfere with on-site or off-site pedestrian or vehicular circulation.
 - C. Outdoor retail sales and merchandise display areas for vehicles, boats, manufactured homes, farm equipment, and other similar uses shall be paved with asphalt surfacing, crushed rock, or other dust-free materials.
 - D. Additional standards may apply to outdoor sales and merchandise display in NC zones, as per Section 16.24.050A.
(Ord. 89-901 § 1)

As discussed previously in this report, it is anticipated that some outdoor sales and merchandise display will take place in the plaza as part of city sanctioned events and activities. Special events, such as Saturday Market, are an integral part of a public plaza as envisioned.

FINDING: As discussed above, this standard is met for limited sales and display associated with a city sanctioned event.

C. Division VI - Public Improvements

16.108– Streets

The streets were reviewed and approved as part of the preliminary PUD and SUB. The applicant is currently under review for the public improvement plans and is expected to begin construction prior to or concurrent with this project.

FINDING: This standard is met through the construction of streets as approved via the preliminary PUD and subdivision. As previously conditioned,

the plat must be recorded and the public improvements complete prior to occupancy, therefore additional requirements or conditions are not needed.

FINDING: As part of the preliminary PUD and SUB approval, street improvement compliance was reviewed and conditioned. Provided the applicant follows through with the SUB requirements previously conditioned including constructing the public improvements, the following standards are met:

- 16.108.030.01 – Required Improvements,
- 16.108.030.04 - Extent of Improvements
- 16.108.040.2 - Street Connectivity and Future Street Systems, and
- 16.108.040.03 - Underground Utilities
- 16.108.050.14.B.- Roadway Access

16.108.050.11-Transit Facilities

Developments along existing or proposed transit routes, as illustrated in Figure 7-2 in the TSP, shall be required to provide areas and facilities for bus turnouts, shelters, and other transit related facilities to Tri-Met specifications.

FIINDING: The plaza is not along an existing or proposed transit facility therefore this standard is not applicable. However, it is possible that, if routes change, the canopies can be adapted to transit waiting areas.

16.110 - Sanitary Sewers

Sanitary sewers shall be installed to serve all new developments and shall connect to existing sanitary sewer mains. Sanitary Sewers shall be constructed, located, sized and installed at standards consistent 16.110.

A sanitary sewer line will be constructed in SW Columbia Street as part of the street construction and will include a lateral to serve the plaza.

FINDING: Assuming the subdivision and street improvements are completed as previously conditioned, this standard is met.

16.112- Water Supply

Water lines and fire hydrants conforming to City and Fire District standards shall be installed to serve all building sites in a proposed development in compliance with 16.112.

A water line will be constructed in SW Columbia Street as part of the street construction and will include a lateral to serve the plaza sufficiently sized for the anticipated uses within the plaza.

FINDING: Assuming the subdivision and street improvements are completed as previously conditioned, this standard is met.

16.114 - Storm Water

Storm water facilities, including appropriate source control and conveyance facilities, shall be installed in new developments and shall connect to the existing downstream drainage system consistent with the

Comprehensive Plan, the requirements of the Clean Water Services water quality regulations and section 16.114.

The applicant is proposing a storm drainage system that consists of area drains and piping which will carry the storm run-off from the plaza to a new facility located west of the Machine Works Building. This facility is being constructed as part of the public improvements; however a condition is needed to ensure it is functional prior to occupancy of the plaza.

FINDING: While the project was conditioned previously that the subdivision and street improvements must be complete prior to occupancy, it is recommended that an additional condition be placed to ensure that the water quality facility serving the plaza is functional prior to occupancy of the plaza.

CONDITION: Prior to occupancy of the plaza, the water quality facility must be functional to accommodate the storm water associated with the plaza.

16.116.010 - Fire Protection

When land is developed so that any commercial or industrial structure is further than 250 feet or any residential structure is further than 500 feet from an adequate water supply for fire protection, as determined by the Fire District, the developer shall provide fire protection facilities necessary to provide adequate water supply and fire safety. In addition capacity, fire flow, access to facilities and number of hydrants shall be consistent with 16.116.020 and fire district standards.

The only structures proposed are the two canopies which will be constructed of steel and accessible from the street. The Plaza is only 115 feet wide at its widest therefore TVF&R could carry a hose to all points of the plaza from the street if needed. In addition, TVF&R submitted comments indicating that they encourage approval of the request.

FINDING: As discussed above, this standard is met.

16.118.020 – Public and Private Utilities Standard

A. Installation of utilities shall be provided in public utility easements and shall be sized, constructed, located and installed consistent with this Code, Chapter 7 of the Community Development Code, and applicable utility company and City standards.

B. Public utility easements shall be a minimum of eight feet in width unless a reduced width is specifically exempted by the City Engineer.

C. Where necessary, in the judgment of the City Manager or his designee, to provide for orderly development of adjacent properties, public and franchise utilities shall be extended through the site to the edge of adjacent property (ies).

D. Franchise utility conduits shall be installed per the utility design and specification standards of the utility agency.

E. Public Telecommunication conduits and appurtenances shall be installed per the City of Sherwood telecommunication design standards.

F. Exceptions: Installation shall not be required if the development does not require any other street improvements. In those instances, the developer shall pay a fee in lieu that will finance installation when street or utility improvements in that location occur.

Because zero setback buildings are anticipated and encouraged in the Old Town Overlay, all utilities have been planned within the existing right of way and no easements are required for this project. Private utilities have been designed as part of the public improvements, consistent with this standard.

FINDING: As discussed above, this standard is met.

16.118.030 – Public and Private Utilities Underground Facilities - Except as otherwise provided, all utility facilities, including but not limited to, electric power, telephone, natural gas, lighting, and cable television, shall be placed underground, unless specifically authorized for above ground installation, because the points of connection to existing utilities make underground installation impractical, or for other reasons deemed acceptable by the Commission.

FINDING: All existing and proposed utilities are underground therefore this standard is met.

D. Division VIII – Environmental Resources

16.142 – Parks and Open Space

16.142.030.A Visual Corridors

A. Corridors Required

New developments located outside of the Old Town Overlay with frontage on Highway 99W, or arterial or collector streets designated on the Transportation Plan Map, attached as Appendix C, or in Section 5 of the Community Development Plan Part 2, shall be required to establish a landscaped visual corridor according to the following standards::

	Category	Width
1.	Highway 99W	25 feet
2.	Arterial	15 feet
3.	Collector	10 feet

The plaza is in the Old Town Overlay which is specifically exempted from the visual corridor requirement.

FINDING: This proposal is exempt from this standard because of its location within the Old Town Overlay.

16.142.050. Trees along Public Streets or on Other Public Property

Trees are required to be planted consistent with the standards in 16.142.050.A by the land use applicant. These standards require a minimum of one (1) tree for every twenty-five (25) feet of public street frontage within

any new development. Planting of such trees shall be a condition of development approval. The trees must be a minimum of two (2) inches DBH and minimum height of six (6) feet.

Condition C.1.1 from the preliminary PUD and subdivision approval requires that the street trees be verified prior to approval of the Final Subdivision Plat. A condition previously recommended will require that the subdivision and public improvements be complete prior to final occupancy of the Plaza, therefore the street tree requirement will be met at that time. No additional condition is needed.

FINDING: As discussed above, the applicant has previously been conditioned to complete the subdivision plat and public improvement including compliance with the street tree standards prior to occupancy of the Plaza, therefore this standard is met as previously conditioned.

16.142.060 - Trees on Property Subject to Certain Land Use Applications
All site developments subject to Section 16.92.020 shall be required to preserve trees or woodlands to the maximum extent feasible within the context of the proposed land use plan and relative to other policies and standards of the City Comprehensive Plan, as determined by the City. Review and mitigation shall be consistent with 16.142.060 A, B, C and D.

FINDING: There are no existing trees on the plaza site; therefore this standard is not applicable.

16.146 - Noise

16.146 .020- Noise Sensitive Uses

When proposed commercial and industrial uses do not adjoin land exclusively in commercial or industrial zones, or when said uses adjoin special care, institutional, or parks and recreational facilities, or other uses that are, in the City's determination, sensitive to noise impacts, then:

- A. The applicant shall submit to the City a noise level study prepared by a professional acoustical engineer. Said study shall define noise levels at the boundaries of the site in all directions.**
- B. The applicant shall show that the use will not exceed the noise standards contained in OAR 340-35-035, based on accepted noise modeling procedures and worst case assumptions when all noise sources on the site are operating simultaneously.**
- C. If the use exceeds applicable noise standards as per subsection B of this Section, then the applicant shall submit a noise mitigation program prepared by a professional acoustical engineer that shows how and when the use will come into compliance with said standards.**

(Ord. 91-922 § 3)

Generally, noise generated by humans is exempt from this standard per 16.146.030. The proposal does indicate that speakers will be mounted to the light poles and throughout the plaza with the intent of providing amplified sound during certain activities in the plaza. Any amplified noise would be intermittent and must comply with the noise ordinance limits, therefore noise generated by the plaza will be no greater than that allowed elsewhere throughout the City.

FINDING: The applicant is not requesting the use of anything that would create excessive noise therefore this standard is met.

16.154 - Heat and Glare

Except for exterior lighting, all other permitted commercial, industrial, and institutional uses shall conduct any operations producing excessive heat or glare entirely within enclosed buildings. Exterior lighting shall be directed away from adjoining properties, and the use shall not cause such glare or lights to shine off site in excess of one-half (0.5) foot candle when adjoining properties are zoned for residential uses.

There are three pole mounted lights shown on the plans. The plans do not clearly indicate the height of the poles; however Sheet E5.1 demonstrates that the lighting will not exceed 0.5 foot candles beyond the property line. Staff is concerned that without more details on the height, style and type of lighting proposed, confirmation that the lighting is installed in accordance with the approved plans will be difficult.

FINDING: As discussed above, staff cannot confirm this standard is fully met but can if the condition below is met.

CONDITION: Prior to final site plan approval, submit details on the pole height, light style and type, along with a photometric plan for review and approval by the Planning Department that shows the foot candles of all exterior lighting on the site, not to exceed 0.5 foot candles off-site.

RECOMMENDATION

Based upon review of the applicant's submittal information, review of the code, agency comments and consideration of the applicant's revised submittal, staff finds that the proposed site plan does not fully comply with the standards but can be conditioned to comply. Therefore, staff recommends **approval with the following conditions:**

VII. CONDITIONS OF APPROVAL

General Conditions

1. Compliance with the Conditions of Approval is the responsibility of the developer or its successor in interest.
2. This land use approval shall substantially comply with the submitted preliminary site plans received June 2010 prepared by Lango Hansen Landscape Architects PC except as indicated in the following conditions of the Notice of Decision. Additional development or change of use may require a new development application and approval.
3. The developer/owner/applicant is responsible for all costs associated with private/public facility improvements.
4. **This approval is valid for a period of two (2) years from the date of the decision notice.** Extensions may be granted by the City as afforded by the Sherwood Zoning and Community Development Code.

5. An on-going condition of the approval is that the site be maintained in accordance with the approved site plan. In the event that landscaping is not maintained, in spite of the assurances provided, this would become a code compliance issue.
6. The continual operation of the property shall comply with the applicable requirements of the Sherwood Zoning and Community Development Code and Municipal Code.
7. A temporary use permit must be obtained from the Planning Department prior to placing a construction trailer on-site.
8. This approval does not negate the need to obtain permits, as appropriate from other local, state or federal agencies even if not specifically required by this decision.

Prior to issuance of grading or erosion control permits from the Building Department:

1. Obtain City of Sherwood Building Department approval of grading plans.
2. Obtain a 1200C Erosion Control Permit through the Building Department for all the disturbed ground, both on and off site that is in excess of one acre in addition to meeting all CWS Design and Construction Standards.

Prior to Final Site Plan Approval:

1. Submit details on the pole height, light style and type, along with a photometric plan for review and approval by the Planning Department that shows the foot candles of all exterior lighting on the site, not to exceed 0.5 foot candles off-site.
2. Submit a revised plan that shows the bicycle parking in a location that meets all the locational standards listed in 16.94.020.02. It is also recommended that the applicant consider providing more than four (4) bicycle spaces in anticipation of multiple families choosing to bike to activities occurring in the plaza.
3. Submit additional information on the proposed planting and maintenance plan to ensure that the landscaping will be appropriately maintained.

Prior to Issuance of a Building Permit:

1. Obtain final site plan approval from the Planning Department.
2. The building plans shall conform to the revised and approved site plan and engineering plans.

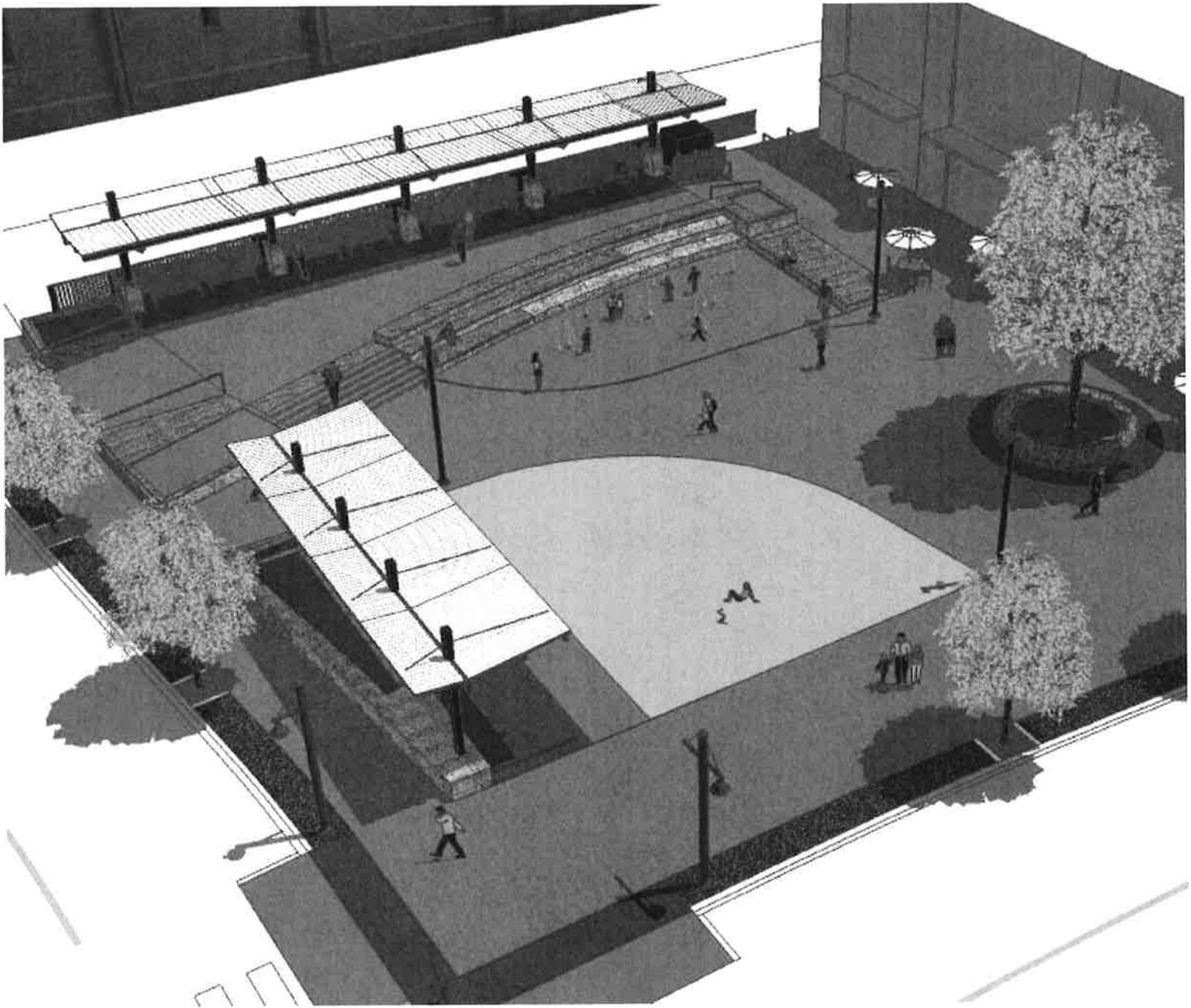
Prior to Issuance of Certificate of Occupancy:

1. All public improvements shall be completed, inspected and approved, as applicable, by the City, CWS, TVF&R and other applicable agencies.
2. The Subdivision (SUB 09-02) plat must be recorded
3. All site improvements including but not limited to landscaping and site lighting shall be installed per the approved final site plan and inspected and approved by the Planning Department.
4. All other appropriate department and agency conditions have been met.
5. Submit verification for Clean Water Services that all of the conditions outlined in service provider letter (CWS File 09-000783) issued June 8, 2009 have been met.
6. The water quality facility must be functional to accommodate the storm water associated with the plaza.
7. A south-eastern bound left turn lane on Washington Street onto 3rd Street shall be installed (re-striped)

8. A south-eastbound right turn lane on Sherwood Boulevard onto 3rd Street shall be installed (re-striped)

VII. Exhibits

- A. Applicant's submittal with narrative and supporting documents
 1. Narrative dated June 2010
 2. Conditional Use criteria response dated August 18, 2010
 3. Plan set dated June 2010
 4. Architectural patter book dated June 22, 2010
- B. Clean Water Services comments dated July 21, 2010



Sherwood Cannery Square Final Development Plan & Sherwood Cannery Phasing Plan and Schedule

June 2010

Prepared For:
Capstone Partners LLC
1012 NW 11th Ave. st 243
Portland, OR 97209

Prepared By:
Lango Hansen Landscape Architects PC
1100 NW Glsian St. st3B
Portland, OR 97209

Submitted To:
City of Sherwood Planning Department
22560 SW Pine St.
Sherwood, OR 97140

**Cannery Square
Site Development Plan PUD**

Applicant:

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Portland, Oregon 97209

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(503) 226-1972

Owner:

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Michael Henning, PE

(503) 273-0081

Site Location: Old Town Sherwood - Old Cannery Area Parcels
Tax Lot(s): Tax Map 2S132BD Tax Lot 200
Site Size 12,000 square feet
Zoning: Retail Commercial (RC)
Summary of Request: Approval of Site Development Plan for the Cannery Square Plaza located in the Cannery Site PUD and required phasing plan and schedule for the PUD site.
Report Date: June 1, 2010

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- IV. RESPONSE TO APPLICABLE APPROVAL CRITERIA AND CODE 16.90.20**
- V. CONCLUSION**

ATTACHMENTS

Phasing Schedule

Phasing Plan

Title Information

Tax Map

No Further Action issued by DEQ dated April 13, 2010

Soils Memorandum

Service Provider Letter

Stormwater Memorandum

Plan Set 11X17 attached (Full-Size 22 X 34 and 8 1/2 X 11 submitted separately)

I. DESCRIPTION OF PROPOSAL

Background

On March 2, 2010, the Sherwood City Council adopted Ordinance 2010-004 that approved a Plan Unit Development (PUD) for the Sherwood Cannery Square located in Sherwood's Old Town. This PUD included new streetscapes, parking, retail/office buildings, multi-family buildings, a new community building and a downtown plaza called Cannery Square.

Cannery Square Proposal

Central to the mixed-use development is the design of a new public open space for the City of Sherwood. Cannery Square is a 12,000 square foot public plaza that is bordered to the south and east by SW Columbia Street and SW Pine Street. The plaza sits adjacent to a future two-story retail/office building to the east of the open space and the open space is bordered by the Southern Pacific railroad tracks to the north.

The design of the Cannery Square was presented during the Preliminary PUD and has received broad community support. In addition to this public process a public open house was held in April 2010 to share the plaza concept with the community. Also, a Cannery Square Committee has met on a biweekly basis to provide design input and review progress of the plaza design. The site plan was also presented to the Sherwood Parks Commission.

Cannery Square

The major elements of the Cannery Square include a large brick plaza, a lawn area, an amphitheater with a interactive fountain, site furnishings, shade canopies, and a large signature tree.

Surface Materials

The primary surface material in the plaza brick paving that is set over a concrete sub-slab. The brick recalls the history of Sherwood's brick manufacturing plant that was located not far from the Cannery Square. The other surface material is a granite paver that is located within the interactive water feature area. Both of these materials are durable, slip resistant and will withstand vehicular use during festival setups.

Amphitheater and Water Feature

The amphitheater is crafted out of Wilkenson stone which is quarried near Seattle, Washington and has a color range of grayish brown to golden beige. A topping granite stone in the seating areas is quarried in South Dakota and is a Carnelian Red. The surface granite used in the plaza area at the bottom of the amphitheater is also the Carnelian Red granite. Other seatwalls, pillars for the canopies and planters will be the Wilkenson Stone.

The amphitheater is also functions as an interactive water feature. The water feature has a variety of effects that provide imaginative and interactive water play. Water flows out of a thin slot between the amphitheater steps and cascades over the stone into a contained area in the plaza. Water slowly moves over the surface of the granite paver into a slot drain that is re-circulated into a below ground pump. The water feature effect can be adjusted to provide different flows during the day and control the extent of the water flowing out from the amphitheater steps. When water is not cascading over the

stone steps, water jets located within the granite paving area spray columns of water in the air.

Canopies

There are two canopies in the Cannery Square; the Railway Canopy and the Performance Canopy. Both canopies are similar in form and material and meant to recall the historic railway canopies. The canopies are constructed of painted steel columns with painted steel beams supported by column and steel rod. Painted steel purlins span between the beams. The roof structure is stand seam metal roof with a cedar tongue and groove decking exposed on the underside.

Lighting, Electrical and Sound

The plaza has three tall mast lights that provide lighting of space. Each of these lights has multiple light fixtures that can be arranged to light specific features in the plaza or provide general lighting. Smaller fixtures are placed under the two canopies and provide lighting under the roof structures. In addition to the lights, electrical outlets are placed throughout the plaza to provide lighting for festivals and events. Sound jacks are also located near the two canopies for potential sound systems. Outdoor speakers are placed on each of the three mast lights that allow for music to be played throughout the year.

Festivals and Events

The plaza has been designed to allow for the move of Saturday Market to the Cannery Square that would also utilize a segment of Columbia Street. The location for Sherwood's annual Christmas Tree is near the upper steps and Railway Canopy. A manhole with below grade tree stand allows for the temporary set up of the Christmas tree with electrical connections. The plaza has been structured to allow for a variety of Sherwood's events that happen throughout the year including the Cruisen Sherwood festival and Robin Hood Days.

Site Furnishings

In addition to the mast lights and steel canopies, the plaza design also includes steel benches under the Railway Canopy, bike racks, trash receptacles, and a drinking fountain. All of the furnishings and steelwork are painted a dark bronze color.

Utilities

The site is served by electrical, sanitary sewer and water. Stormwater from the plaza is piped to the stormwater swale that is located behind the Machine Works building.

Art

Public art will be an important component of the square. A public art process and committee is currently being organized to determine how art can be integrated into the design of the public plaza. This process will include hiring artists to complete artworks that are carefully integrated into the design and allude to the rich cultural history of Sherwood and the natural surroundings.

II. RESPONSE TO SUBMITTAL SITE PLAN REVIEW REQUIREMENTS

III. REQUIRED PLANS

Existing Conditions Plan

Response: Enclosed

Transportation

a. Public and private streets with proposed frontage improvements including curb, gutters, sidewalks, planter strip, street lighting, distances to street centerline, pavement width, right-of-way width, bike lanes and driveway drops.

Response: Not part of this submittal. Refer to Sherwood Cannery Square PUD for specific information. General references on Materials Plan.

b. Public and private access easements, width and location.

Response: Does not apply to this phase, the Public Plaza Phase.

c. General circulation plan showing location, widths and direction of existing and proposed streets, bicycle and pedestrian ways, and transit routes and facilities within ½ mile of the subject property.

Response: Refer to Vicinity Map

d. Show the location and distance to neighboring driveways and the width and locations of driveways located across the street.

Response: No neighboring driveways are adjacent to this project

e. The location and size of accesses, sight distance and any fixed objects on collectors or arterial streets.

Response: Does not apply to this phase, the Public Plaza Phase.

f. Emergency accesses.

Response: Emergency vehicles can access the Cannery Square from Pine and Columbia Street

g. Indicate the location and size of off-street parking spaces including curbing and wheel stop locations.

Response: Not part of this submittal. Refer to Sherwood Cannery Square PUD for specific information

h. Proposed transit facilities.

i. Indicate loading and maneuvering areas.

j. Delivery truck and bus circulation patterns.

Response: Delivery trucks and bus circulation, transit facilities and loading and maneuvering areas are not required as part of this project.

Grading and Erosion Control

k. Indicate the proposed grade at two (2)-foot contour intervals.

Response: See Grading Plan

l. Indicate the proposed erosion control measures to CWS standards (refer to CWS Resolution and Order 00-7).

Response: See Erosion Control Plan

m. Show areas of cut and fill with areas of structural fill.

Response: The site will be all cut and structural fill areas will not be required

n. Show the location of all retaining walls, the type of material to be used, the height of the retaining wall from the bottom of the footing to the top of the wall and the exposed height of the wall.

Response: Retaining walls are not required for this project. However top of planter walls are shown on the grading plan.

Utilities

o. Utilities must be shown after proposed grade with 2-foot contour intervals.

p. Map location, purpose, dimensions and ownership of easements.

q. Fire hydrant locations and fire flows.

r. Water, sewer and stormwater line locations, types and sizes.

s. Clearly indicate the private and public portions of the system.

t. Above-ground utilities and manhole locations.

Preliminary Stormwater Plan

u. Show location, size and slope of water quality facility.

v. Preliminary calculations justifying size of facility.

w. The total square footage of the new and existing impervious area.

x. The stormwater facility to CWS standards.(refer to CWS Resolution and Order 00-7).

Sensitive Areas

y. Show any and all streams, ponds, wetlands and drainage ways.

z. Indicate the vegetative corridor for sensitive areas to CWS standards. (refer to Resolution and Order 00-7).

aa. Indicate measures to avoid environmental degradation that meet CWS, DSL and Army Corp requirements.

bb. Flood elevation.

cc. Wetland delineation and buffering proposed.

dd. Location and size of all trees greater than 5 inches DBH (indicate if trees are proposed for removal).

Response: Refer to Sherwood Cannery Square PUD for specific information. Water Quality facility is off-site and has been approved by CWS. No streams, ponds or wetlands are on-site.

Land Use

ee. The square footage of each building and a breakdown of square footage by use. (i.e. retail, office, industrial, residential, etc.).

Response: Does not apply. Cannery Square is 12,000 s.f.

ff. Net buildable acres. (The land remaining after unbuildable areas are taken out, such as the floodplain and wetland areas).

Response: Does not apply to this phase, the Public Plaza Phase.

gg. Net density calculation for residential use.

Response: Does not apply to this phase, the Public Plaza Phase.

hh. Landscaping areas including the square footage of the site covered by landscaping and planting types. (refer to Ch. 5 of the Community Development Code).

Response: See Planting Plan.

ii. Existing trees proposed to remain and trees to be removed and the drip-lines of trees proposed to remain.

Response: No existing trees are on-site

jj. Street tree location, size and type. (refer to Ch. 8, Section 8.304.06 of the Community Development Code).

Response: Not part of this submittal. Refer to Sherwood Cannery Square PUD for specific information.

kk. Bicycle parking areas. (Refer to Ch 5 of the Community Development Code).

Response: Bike racks are not required, though shown on Materials Plan

ll. On-site pathways and sidewalk locations.

Response: See Materials Plan

mm. Structures proposed to be built and structures proposed to remain with their dimensions and the distances to property lines.

Response: See Materials Plan and Canopy Plan for proposed plaza canopies

nn. Outdoor storage areas and proposed screening.

oo. Outdoor sales and merchandise display areas and proposed screening.

pp. Truck loading and maneuvering areas.

Response: Does not apply to this phase, the Public Plaza Phase.

qq. Number of parking spaces and required parking calculations based on Section 5.302 of the Community Development Code.

Response: Refer to Sherwood Cannery Square PUD for specific information.

rr. The size and location of solid waste and recycle storage areas and screening.

Response: Trash receptacles are shown on the Materials Plan. Large solid waste and recycle storage areas are not included.

ss. Location, size and height of proposed free-standing signs.

Response: Does not apply to this phase, the Public Plaza Phase.

tt. Location, height and type of fencing and walls.

Response: See Materials Plan for fence and wall locations and Grading Plans for relative heights

uu. For each lot indicated the building envelope.

Response: Does not apply to this phase, the Public Plaza Phase.

Reduced - Proposed Development Plans

Lighting Plan

Surrounding Land Uses

Architectural Exterior

Response: Included

IV. DOCUMENTS

Title Report

Response: Included

Army Corps and DSL wetland applications and/or permits

Response: Does not apply to this phase, the Public Plaza Phase.

CWS Service Provider Letter

Response: Included

Traffic Study

Response: Not part of this submittal. Refer to Sherwood Cannery Square PUD for specific information.

Soils Analysis and/or Geotechnical Report

Response: Included

Tree Report Response

Natural Resource Assessment Response

Wetland Delineation Study

Other Special Studies and/or Reports

Response: Does not apply to this phase, the Public Plaza Phase.

II. RESPONSE TO CONDITIONS FROM SHERWOOD CANNERY SQUARE PUD PRELIMINARY DEVELOPMENT PLAN

Sherwood Cannery Square PUD (PUD 09-01, PA 09-05 and SUB 09-2) Ordinance 2010-004

X. CONDITIONS OF APPROVAL

A. General Conditions:

1. Compliance with the Condition of Approval is the responsibility of the developer.

RESPONSE: Noted.

2. Approval of this Preliminary PUD does not constitute approval of a final development plan for the PUD or approved phases of the PUD.
3. Final Development plans for the PUD or phases of the PUD shall substantially comply with the preliminary plan dated September 2009 and prepared by Harper Houf, Peterson Righellis, Inc, and must comply with the conditions in this approval in addition to any other conditioned deemed necessary to ensure compliance with the development code and this approval.

RESPONSE: The applicant requests approval of a Final development plan and site plan approval to construct the Public Plaza. The Public Plaza is identified in the September 2009 preliminary plan prepared by Houf, Peterson Righellis, Inc. (HHPR).

B. Prior to the plan amendment taking effect:

1. The TSP functional classification map shall be modified to reflect not only the change in classification. but also that Columbia Street will no longer connect to Oregon Street. This shall be coordinated by the City.
2. Funding must be identified and programmed for the eastbound right turn lane from Oregon to Lincoln and an agreement established between the City and developer for its implementation.

RESPONSE: This is an administrative matter that must be completed by City staff as the functional classification change was approved by City Council Ordinance 2010-004.

C. Prior to approval of the Final Subdivision Plat

1. Public improvement Plans shall be submitted and approved. The Public Improvement Plans shall fully comply with City of Sherwood Design and Construction standards and include but not be limited to:
 - a. Revision to the proposed pavement material to one that is acceptable to the City Engineer. A design that includes PCC dyed and stamped pavement to look like brick will be accepted and is encouraged to support the design concept proposed with the PUD.
 - b. Plans shall show a Type III barricade shall be installed at the eastern stub end of SW Columbia Street, and a road extension sign shall be installed on the barricade in compliance with City requirements.
 - c. The access standards for the Old Town (OT) Overlay Zone shall be incorporated into the construction drawings. City Engineer approval of access points in

- conformance with the Old Town (OT) Overlay Zone shall be required for construction plan approval.
- d. The sanitary sewer system design and installation shall be in conformance with City design and construction standards, and must receive City Engineer review and approval to be accepted by the City.
 - e. The public water distribution system design and installation shall be in conformance with City design and construction standards, and must receive City Engineer review and approval to be accepted by the City.
 - f. The applicant shall sign a waiver of remonstrance against future modifications to the storm water system for discharge to the future regional storm water treatment system
 - g. The storm water system design shall incorporate the ability to reroute storm water discharge to the future regional treatment facility
 - h. The local storm water pond shall be designed to CWS standards unless an agreement allowing design exceptions for the local treatment pond, and establishing development timing criteria for the regional facility is entered into between CWS and the City.
 - i. The storm water conveyance, detention, and treatment systems and off-site wetland mitigation shall conform to the design, permitting, and construction requirements as approved by Clean Water Services (CWS). j The plans shall demonstrate the existing overhead utility lines along the Willamette street frontage will be placed underground.
 - k. The plans shall show the installation of public telecommunication conduits including laterals for individual lots.
 - l. The plans shall be revised to include one street tree for every 25 feet of frontage or provide verification that the number of trees proposed is the maximum possible based on the street storm water biofiltration design.
 2. The plan amendment to change the functional classification of Columbia must be acknowledged by DLCD.
 3. Provide verification of the public easement retained between lots 1 and 2 for private utilities and storm water or dedicate the required easement on the plat.
 4. The proposed right of way dedication, consistent with the preliminary plans, shall be shown on the final plat.

RESPONSE: These conditions are required prior to approval of final plat. The applicant is not requesting final plat approval at this time.

D. Prior to any site grading for public or private improvements:

1. Since the total area disturbed for this project exceeds 1 acre, an NPDES 1200-C permit will be required. The applicant shall follow the latest requirements from DEQ for NPDES 1200-C permit submittals. A copy of the approved and signed permit shall be provided to the City prior to holding a pre-construction meeting or commencing any construction activity.

RESPONSE: The applicant will obtain grading and erosion control permits for the Public Plaza phase.

2. The applicant shall comply with the arborist recommendations from Kurt Lango in the July 31,2009 memo regarding tree protection measures and all tree protection shall be in place prior to the grading of the site.

RESPONSE: There are no trees identified in the July 31, 2009 Memo from Kurt Lango that exist within the Public Plaza phase proposed for development under this land use application.

3. A No Further Action letter must be issued by DEQ with a copy of said letter in the planning file.

RESPONSE: A No Further Action letter has been issued by DEQ dated April 13, 2010 (see attached letter).

- E. General and Specific PUD Detailed Final Development Plan requirements:
1. A Detailed final development plan shall be submitted for review and approval within 1 year of the preliminary PUD approval.

RESPONSE: This land use application is the detailed final development plan for the Cannery PUD and is submitted within 1 year of approval.

2. The Detailed Final Development Plan may be submitted for one or more phases, but shall include a detailed phasing, including timing, plan for remaining phases.

RESPONSE: The applicant proposes construction of the Public Plaza phase. A detailed phasing schedule and plan is provided with this final development plan application (see attached phasing schedule and plan)

3. Prior to occupancy of any phase in the PUD, on-site public improvements must be complete as determined by the City Engineer.

RESPONSE: Noted. The applicant intends to construct frontage improvements SW Pine Street and SW Columbia Street with the construction of these streets. The applicant requests this so the brick work and pattern that will transition between the public right-of-way and the Public Plaza can be constructed at one time by one contractor to ensure an even and consistent look.

4. Prior to occupancy of the west building, south building, east building or the east or west residential building, the Plaza shall be complete.

RESPONSE: This land use application is for the plaza and will be completed prior to these phases.

5. Deleted
6. Prior to approval of occupancy for any phase utilizing on-site private stormwater treatment systems, the applicant shall sign an access and maintenance agreement for any private stormwater treatment systems installed as part of this development.

RESPONSE: This will be completed prior to completion and occupancy of the Public Plaza.

7. All phases shall provide 65% of the required parking with no more than 50% of that parking being "modified" compact parking spaces (9 feet wide by 18 feet long).

RESPONSE: Parking for the Public Plaza will be provided on-street as approved with the Cannery Square PUD Preliminary Development Plan.

8. Each phase shall comply with the site plan standards including but not limited to Community Design standards except as specifically modified in this decision.

RESPONSE: Noted. The applicant has address how the Public Plaza meets these standards within the applicant narrative provided with the land use application.

9. Trash enclosures must be placed consistent with Pride Disposal requirements

RESPONSE: Noted. No trash enclosures are proposed with the Public Plaza phase.

10. No outdoor storage is permitted.

RESPONSE: Noted. No outdoor storage is proposed with the Public Plaza phase.

11. Any outdoor sales and merchandise display must be approved as part of a CUP per 16.98.040

RESPONSE: Noted. No permanent outdoor storage is proposed with the Public Plaza phase. Temporary events such as craft sales and farmers markets will have outdoor sales.

12. Any detailed final development plan approval for any structure in Phase I (West Building, South Building, East Building, West Residential Building, or East Residential Building) shall be coordinated and approved by the City Engineer to ensure that the traffic mitigation measures are assigned appropriately for each building phase. The traffic mitigation measures for all structures in Phase I are:
- a. Construct improvements to improve the operations of Pine Street to meet City performance standards and mitigate queuing impacts at the Pine Street railroad crossing. This shall be accomplished by implementing a modified circulation for the downtown streets that includes:
 - i. Install a diverter for south-westbound on 1st Street at Ash Street or Oak Street to require vehicles travelling towards Pine Street to divert to 2nd Street.
 - ii. Remove one side of on-street parking Ash Street-2nd Street or Oak Street-2nd Street to provide two 12-foot travel lanes from the diverter to Pine Street. Convert to one-way traffic flow approaching Pine Street for this segment.
 - iii. Install an all-way stop at Pine Street/2nd Street. Stripe the south-westbound approach of 2nd Street to have a left turn lane and a shared through/right-turn lane.
 - iv. Install traffic calming measures on 2nd Street southwest of Pine Street to manage the impact of the added traffic.

- b. Restrict landscaping, monuments, or other obstructions within sight distance triangles at the access points to maintain adequate sight distances.
- c. Provide an enhanced at-grade pedestrian crossing of Pine Street to facilitate multi-modal circulation through the project site (e.g., signing, striping, lighting, a raised crossing, or pavement texturing).
- d. Construct Columbia Street northeast of Pine Street to City Standards as modified and approved by the City Engineer and install a sign indicating that this roadway will be a through street in the future (connecting to Foundry Avenue).
- e. Because of the alignment configuration of Columbia Street southwest of Pine, the street shall be configured and signed as a one way street.
- f. Restrict parking on the southeast side of Columbia Street at a minimum within 50 feet of Pine Street (northeast of Pine Street).

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 13. The west and east residential phases shall demonstrate compliance with the Old Cannery standards as outlined and modified in the pattern book.

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 14. The east, west, south and NE phases shall demonstrate full compliance with the Old Cannery Standards as outlined and modified in the architectural pattern book submitted as part of the application materials.

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 15. Prior to approval of the west building or NE building PUD phase, submit a plan for mitigation of any trees removed associated with that phase and complete the mitigation or supply appropriate assurance that the mitigation will be completed per the approved plan. The mitigation shall provide similar species to those removed.

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 16. The Detailed Final Development plans for the NE Phase shall demonstrate full compliance with the Old Cannery Design standards and the Architectural Pattern Book.

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 17. The total square footage of buildings within the NE Phase shall not exceed 24,000 square feet (the maximum square footage analyzed in the traffic impact study)

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 18. The NE Phase (Phase II) shall be required to complete, if not already completed, the mitigation improvements recommended in the DKS traffic impact study. The improvements include:

- a. Improvements to the operations of Sherwood Boulevard/3'o Street to meet City performance standards. This shall include construction of a south-eastern bound right turn lane, which may only require restriping and not roadway widening.
- b. The Adams Avenue South extension (from Tualatin-Sherwood Road to Oregon Street)will need to be in place for the intersection of 1't Street Pine Street and 3'd Street/Pine Street to meet City performance standards under the year 2017 with the proposed project Phase II traffic. Phase II of the development shall not be approved without this improvement being in place, or additional roadway improvement may be required to manage intersection operations and vehicle queuing towards the Pine Street railroad crossing.

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 19. As part of the development of the East and West residential phase, enhanced screening along Willamette Street shall be provided to ensure a year round visual screen is provided.

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 20. Prior to final PUD approval, submit a revised Architectural Pattern Book that:
 - a. Clarifies that while the requirements do not specifically apply to multi-family residential the elements in the architectural pattern book are to be applied.
 - b. Specifies what metal panels may and shall not look like.

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 21. Developer shall consider naming buildings after public input and publicly displayed building names shall reflect the history of the area as a former cannery. Exhibit H shall be used as a guide for potential names.

RESPONSE: Noted. No buildings are proposed with the Public Plaza phase.

- 22. No less than 60% of the Machine Shop building shall be utilized for public use. Up to 40% of the existing building may be utilized for commercial uses, provided the remainder of the building is being utilized as public space such as a cultural arts facility/community center.

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

- 23. Prior to final site plan approval of the east or west residential development, the developer shall provide an agreement for approval by the City that requires an on-site manager for the residential buildings. The on-site manager will be required to ensure that tenants understand the parking limits prior to entering into a lease agreement, and understand and adhere to the approved parking locations.

RESPONSE: Does not apply to this phase, the Public Plaza Phase.

IV. RESPONSE TO APPLICABLE APPROVAL CRITERIA AND CODE 16.90.20

16.90.020 SITE PLAN REVIEW

Chapter 16.92 LANDSCAPING

16.92.010 LANDSCAPING PLAN

All proposed developments for which a site plan is required pursuant to Section 16.90.020 shall submit a landscaping plan which meets the standards of this Chapter. All areas not occupied by structures, paved roadways, walkways, or patios shall be landscaped or maintained according to an approved site plan. Maintenance of existing non-invasive native vegetation is encouraged within a development and required for portions of the property not being developed.

(Ord. 2006-021; 86-851 § 3)

RESPONSE: Enclosed Landscaping Plan meets all applicable criteria

16.92.020 LANDSCAPING MATERIALS

1. Varieties

Required landscaped areas shall include an appropriate combination of native evergreen or deciduous trees and shrubs, evergreen ground cover, and perennial plantings. Trees to be planted in or adjacent to public rights-of-way shall meet the requirements of this Chapter.

RESPONSE: Landscaping includes a combination of evergreen and deciduous trees.

2. Establishment of Healthy Growth and Size

Required landscaping materials shall be established and maintained in a healthy condition and of a size sufficient to meet the intent of the approved landscaping plan. Specifications shall be submitted showing that adequate preparation of the topsoil and subsoil will be undertaken.

RESPONSE: Landscaping materials will be established and healthy to meet the intent of the landscaping plan. Topsoil specifications will be submitted as part of the building permit process.

3. Non-Vegetative Features

Landscaped areas as required by this Chapter may include architectural features interspersed with planted areas, such as sculptures, benches, masonry or stone walls, fences, rock groupings, bark dust, semi-pervious decorative paving, and graveled areas. Impervious paving shall not be counted as landscaping. Artificial plants are prohibited in any required landscaped area.

RESPONSE: Architectural features are part of the Cannery Square design and not counted as landscaping.

4. Existing Vegetation

All developments subject to site plan review as per Section 16.90.020 and required to submit landscaping plans as per Section 16.92.020 shall preserve existing trees, woodlands and vegetation on the site to the maximum extent possible, as determined by

the Review Authority, in addition to complying with the provisions of Section 16.142.060, and Chapter 16.144.

RESPONSE: Does not apply. There is no existing vegetation on-site.

16.92.030 LANDSCAPING STANDARDS

1. Perimeter Screening and Buffering
2. Parking and Loading Areas

RESPONSE: These standards are not applicable to the Public Plaza phase. Refer to the Sherwood Cannery Square PUD Preliminary Development Plan that addresses perimeter screening, parking and loading areas. The plaza site does not abut a residential zone and will not require a loading area.

16.92.040 INSTALLATION AND MAINTENANCE

1. Deferral of Improvements

Landscaping shall be installed prior to issuance of occupancy permits, unless security equal to 125% of the cost of the landscaping is filed with the City. "Security" may consist of a performance bond payable to the City, cash, certified check, or other assurance of completion approved by the City. If the installation of the landscaping is not completed within six (6) months, the security may be used by the City to complete the installation.

RESPONSE: Noted by the Applicant

2. Maintenance of Landscaped Areas

All landscaping shall be maintained in a manner consistent with the intent of the approved landscaping plan. Failure to maintain landscaped areas shall result in the revocation of applicable occupancy permits and business licenses.

RESPONSE: Noted by the Applicant

Chapter 16.94 OFF-STREET PARKING AND LOADING

16.94.020 OFF-STREET PARKING STANDARDS

16.94.030 OFF-STREET LOADING STANDARDS

RESPONSE: These standards are not applicable to the Public Plaza phase. Refer to the Sherwood Cannery Square PUD Preliminary Development Plan that addresses off street parking and loading design. The Sherwood Cannery Streetscape plans are currently being permitted.

Chapter 16.96 ON-SITE CIRCULATION

16.96.010 ON-SITE PEDESTRIAN AND BICYCLE CIRCULATION

16.96.020 MINIMUM RESIDENTIAL STANDARDS

16.96.030 MINIMUM NON-RESIDENTIAL STANDARDS

16.96.040 ON-SITE VEHICLE CIRCULATION

RESPONSE: These standards are not applicable to the Public Plaza phase. Refer to the Sherwood Cannery Square PUD Preliminary Development Plan that addresses on-site vehicular circulation.

Chapter 16.98 ON-SITE STORAGE

RESPONSE: These standards are not applicable to the Public Plaza phase. Refer to the Sherwood Cannery Square PUD Preliminary Development Plan that addresses on-site storage. There is no on-site storage facilities.

16.98.010 RECREATIONAL VEHICLES AND EQUIPMENT

16.98.020 SOLID WASTE AND RECYCLING STORAGE

16.98.030 MATERIAL STORAGE

16.98.040 OUTDOOR SALES AND MERCHANDISE DISPLAY

RESPONSE: Noted. No permanent outdoor storage is proposed with the Public Plaza phase. Temporary events such as craft sales and farmers markets will have outdoor sales.

Chapter 16.102 SIGNS

16.102.070 BANNER SIGNS

1. PLACEMENT REQUIREMENTS

A. Except for banner signs exempted by this Section, banner signs shall be firmly attached to the side of a building only. No banner sign shall be attached to building roofs, fences, vehicles, trailers, or anything else that is not the side or part of the side of a building.

B. Banner signs shall not cover building windows.

C. Banner signs shall be maintained in good condition. They shall not droop, have frayed ends, and shall be graphically clear and readable. Sun-faded, weather-damaged banner signs are prohibited.

D. Banner signs shall be made of all-weather material.

(Ord. 2002-1132 § 3)

2. Prohibited Locations

A. Banner signs are prohibited in all residential and industrial zoning districts.

(Ord. 2002-1132 § 3)

3. Exemptions

A. Banner signs not intended to be viewed from a public street.

(Ord. 2002-1132 § 3)

4. Permitted Locations

A. Commercial and Institutional Public Zoning Districts.

Each business having a valid City of Sherwood business license and who's business is physically located in the Neighborhood Commercial (NC), Office Commercial (OC), Office Retail (OR), Retail Commercial (RC), General Commercial (GC) or Institutional Public (IP) zoning district may display banner signs on private property.

Banner sign size shall be regulated per Section 16.102.030B.

Signs shall be displayed per this Section.

B. Multi-family zoning districts, including High Density Residential (HDR) and Medium Density Residential High (MDRH).

One banner sign not exceeding 32 square feet per tax lot.

Signs shall be displayed per this Section.

(Ord. 2002-1132 § 3)

RESPONSE: No permanent banners are proposed as part of the Public Plaza phase.

IV. CONCLUSION

This summary of request and attachments demonstrate compliance with applicable approval criteria and code. The applicant respectfully requests that the application be approved.

5/14/10

Sherwood Cannery Square Estimated Phasing Schedule

Sherwood Cannery Square is a public/private partnership between the City of Sherwood Urban Renewal Agency (“URA”) and Capstone Partners LLC (“Capstone”) which is being developed under a Planned Unit Development (PUD 09-01) and Subdivision (SUB 09-02), each approved by Sherwood City Council on March 2, 2010 (Ordinance 2010-004). The URA currently owns all the land included in the PUD including the building on Tax Lot 2S132 BD 900 (shown as Lot 2 on the approved preliminary subdivision plat dated 9-4-09) which is referred to herein as the Machine Works Building (“Machine Works”). The URA is responsible for building the public infrastructure (public streets required by the Subdivision and plaza) which will be dedicated to the City of Sherwood when improvements are completed. The Machine Works will be redeveloped for use as a Community/Arts Center and possibly some retail space to be leased to third parties, and will remain in either URA or City ownership. Capstone will manage the development of this work, and will also be responsible for purchasing the balance of the property (nine lots) and developing it. The nine private lots will be developed with either commercial or residential buildings over time as market conditions warrant, i.e. when adequate demand for space and capital for construction are available. Portions of the project subject to Final Development Plan (“FDP”) approval through the Sherwood Planning Commission includes the following as identified on the phasing plan map¹:

- Cannery Square plaza
- Machine Works
- 7 commercial lots (may be combined into a smaller number of construction phases)
- 2 residential lots (may be combined into one construction phase)

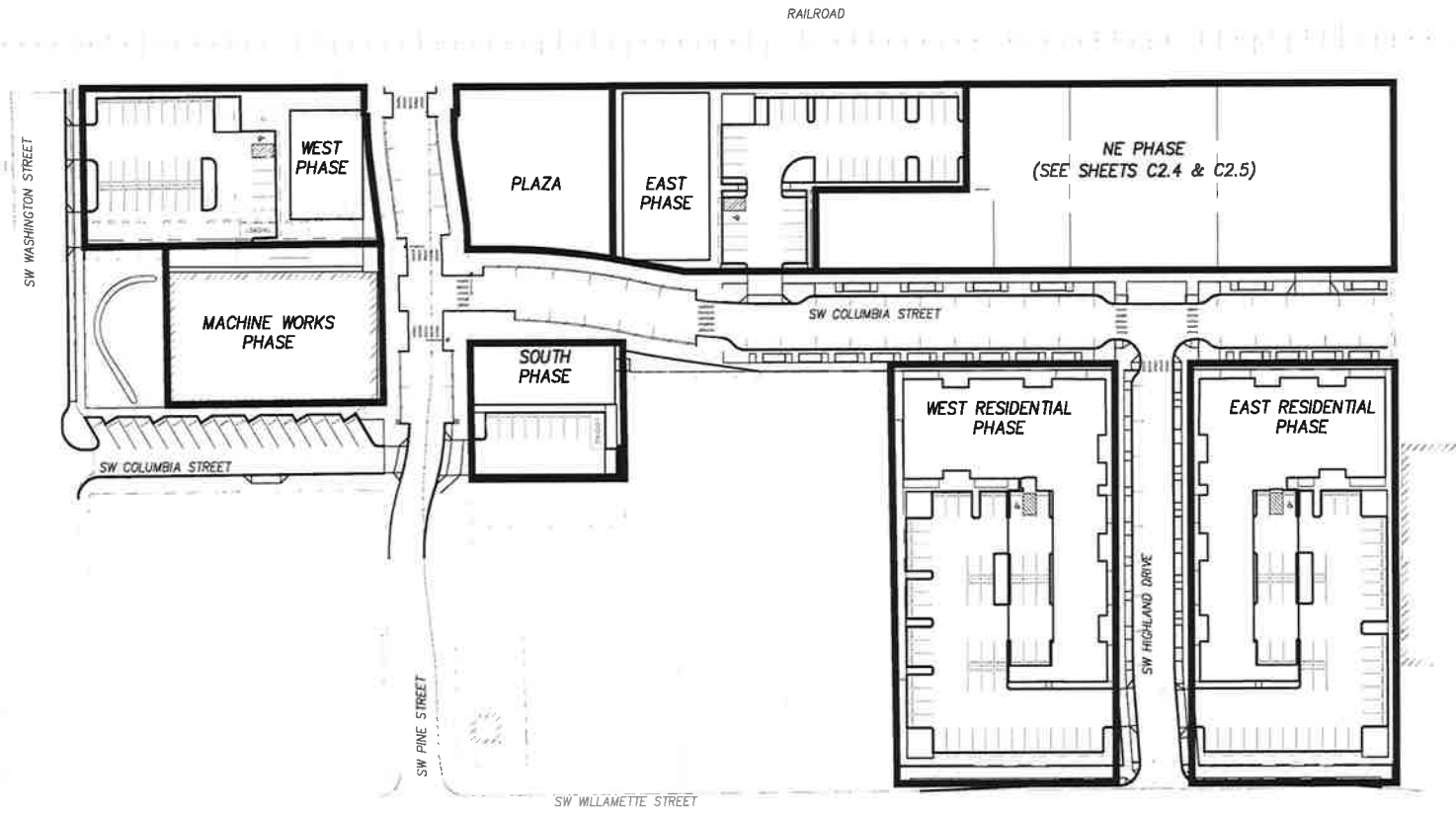
A development phasing plan and schedule was required as a condition of approval of the PUD, and is to be submitted as part of the initial FDP approval. Committing to a schedule for a multi-phased project with a duration of many years is essentially impossible given the variety of unpredictable variables that might affect it. However, the following is our current expectation for the phased development. As to schedule, we are reasonably confident of the timing the near term phases, but have been necessarily conservative in projecting timing for the subsequent phases.

¹ The Phasing Plan Map is the same as submitted with the preliminary development plan PUD 09-01

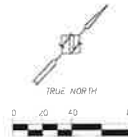
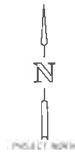
Construction Scope or PhasePhase to Start No Later Than

Phase No.	Phase or Construction Scope	Construction to Commence by the Following Date
N/A	Public Streets (required by Subdivision but not a "phase" per the PUD)	August 2010
1	Cannery Square Plaza (conditioned by PUD to be completed prior to occupancy of the West, South, East, East Residential and West Residential Phases)	December 2010
2	Machine Works Phase – Shell Renovation	December 2011, dependant on timing of existing tenant vacating premises
3	At least one commercial or residential phase comprised of any one of the West, South, East, West Residential or East Residential Phases, or any combination thereof.	June 2013
4-11	The remaining commercial and residential phases as identified on the Phasing Plan, either individually or in any combination.	June 2018, start of last remaining phases

REVISED DATE: 9/4/09 1:17 PM
 DRAWING: ANK124C.3



PUBLIC IMPROVEMENTS
 STREETS, STORMWATER AND WETLAND ENHANCEMENT
 CONSTRUCTED WITH SUBDIVISION. INCLUDES GRADING OF LOTS



Harper Houf Peterson Righellis Inc.

200 5th Spokane Street, Suite 200, Portland, OR 97204
 phone: 503.221.1111 www.hhpri.com fax: 503.221.1171

DATE: 9-4-09
 JOB: XXXXX
 FILE: ANK124C.3
 DRAWN: [blank]
 CHECKED: [blank]

Preliminary PUD & Subdivision Submission 9-4-09

ANKROM MOISAN
 ARCHITECTURE INTERIORS PLANNING
 PORTLAND: 6250 SW MACADAM, PORTLAND, OR 97219 | 503.242.7100
 SEATTLE: 117 S. MAIN STREET, SUITE 400, SEATTLE, WA 98101 | 206.571-1008

Sherwood Cannery Square PUD
 Sherwood, Oregon
 Capstone Partners LLC

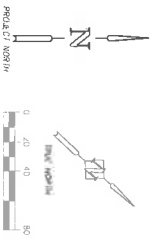
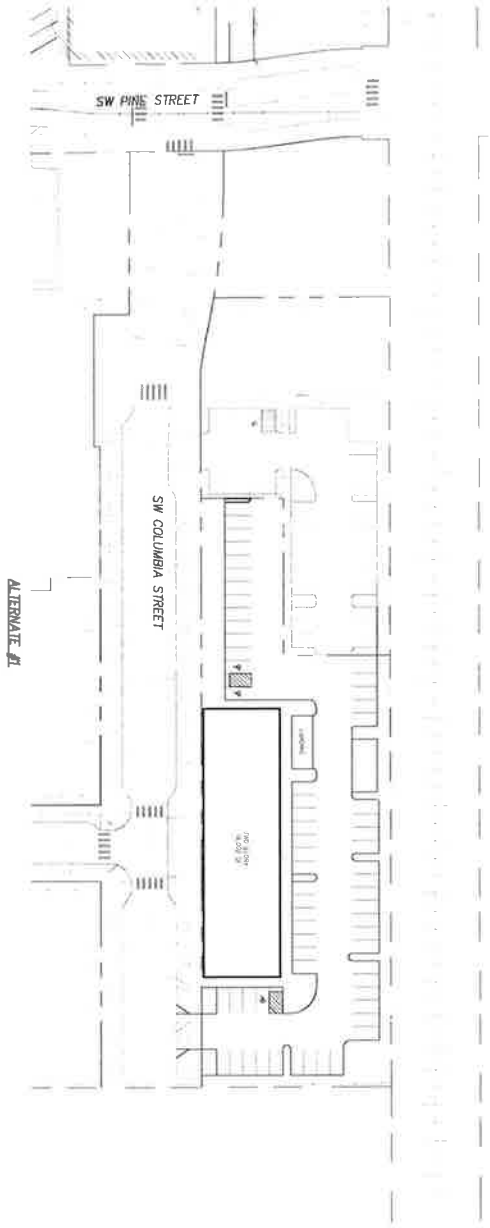
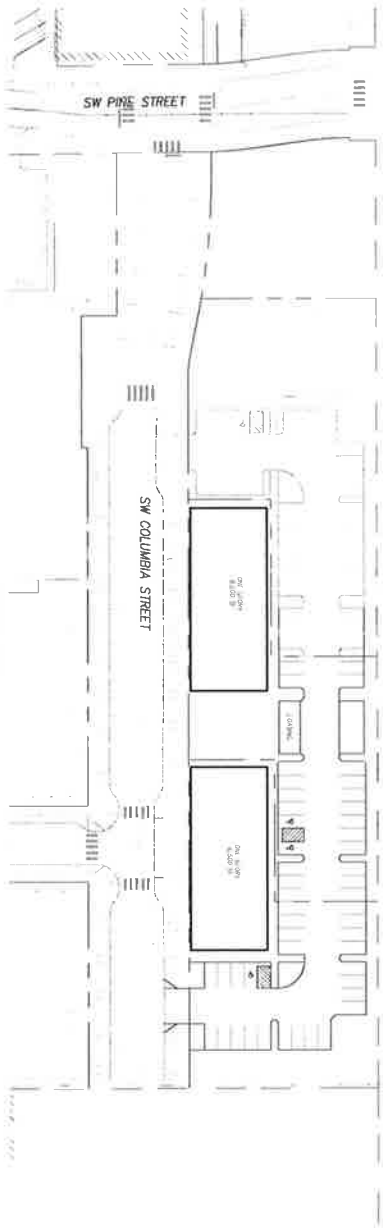
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PHASING PLAN

C2.3



Preliminary PUD & Subdivision Submission 9-4-09

**Harper
 Houf Peterson
 Righelli Inc.**
 209 St. Seward Street, Suite 208, Portland, OR 97202
 Phone: 503.231.1131 www.hrpri.com Fax: 503.231.1131
 MAJ 112 05/20/09 01 00/00 05/24/09 03 7/1/09 CHECKED BY: BRW

C2.4

NE PHASE
 ALTERNATIVES

COMPONENT ANKROM MOISAN
 ARCHITECTURE INTERIORS PLANNING

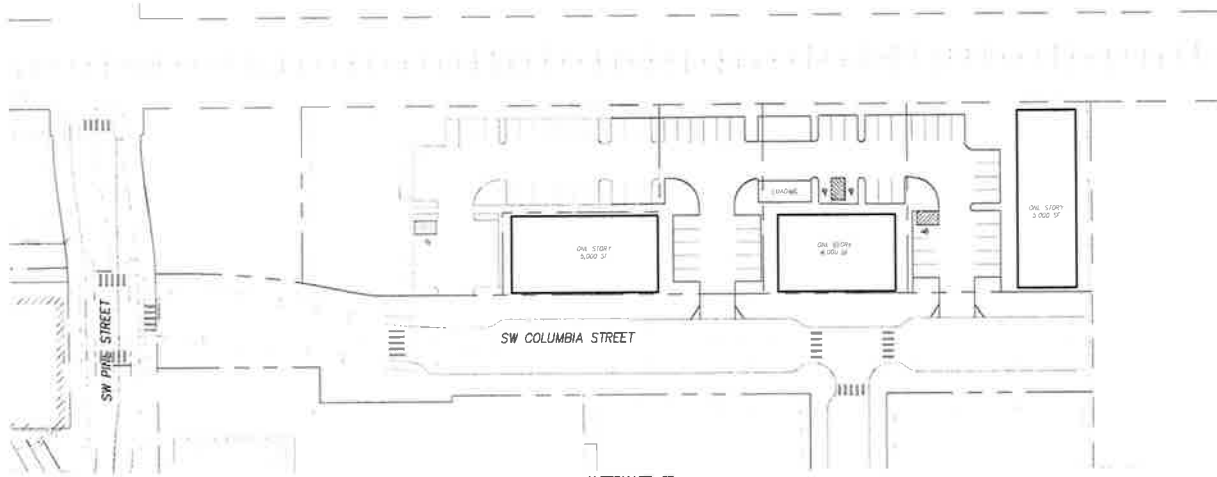
NO.	DATE	DESCRIPTION
1	9-4-09	DATE
2	XXXX	JOB
3	ANK12A/1K	FILE
4	ANK12A/1K	DRAWN
5		CHECKED

Sherwood Cannery Square PUD
 Sherwood, Oregon

Capstone Partners LLC

ANKROM MOISAN
 ARCHITECTURE INTERIORS PLANNING

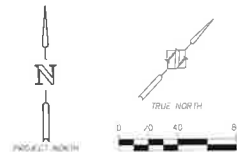
PORTLAND: 4720 NW MACADAMIA, PORTLAND, OR 97219 | 503-245-7100
 SEATTLE: 112 N. MAIN STREET, SUITE 400, SEATTLE, WA 98104 | 206-571-1600



ALTERNATE #3



ALTERNATE #4



Harper Houf Peterson Righellis Inc.

200 St. Spokasak Street, Suite 200, Portland, OR 97202
 phone: 503.221.1141 fax: 503.221.1171
 www.houf.com

Preliminary PUD & Subdivision Submission 9-4-09

ANKROM MOISAN
 ARCHITECTURE INTERIORS PLANNING
 PORTLAND, OREGON
 4320 SW MACADAM FORELAND DR SUITE 100 PORTLAND, OR 97201-2610

Sherwood Cannery Square PUD
 Sherwood, Oregon
 Capstone Partners, LLC

DATE	DESCRIPTION

DATE: 9-4-09
 JOB: XXXXX
 FILE: AN-K12-C2.5
 DRAWN: [blank]
 CHECKED: [blank]

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NE PHASE ALTERNATIVES

C2.5



First American Title Insurance Company
National Commercial Services
200 SW Market Street, Suite 250
Portland, Oregon 97201

Escrow Officer: **Mavis Kimball**
Phone: **(503)795-7603**
Fax: **(503)795-7614**
E-mail **mkimball@firstam.com**

File No: **NCS-346311-OR1**

Title Officer: **Jennifer L. Watson**
Phone: **(503)790-7866**
Fax: **(503)795-7614**
E-mail **jewatson@firstam.com**

File No: **NCS-346311-OR1**

SUPPLEMENTAL PRELIMINARY TITLE REPORT

ALTA Owners Standard Coverage	Liability	\$	TBD	Premium	\$	TBD
ALTA Owners Extended Coverage	Liability	\$		Premium	\$	
ALTA Lenders Standard Coverage	Liability	\$		Premium	\$	
ALTA Lenders Extended Coverage	Liability	\$		Premium	\$	
ALTA Leasehold Standard Coverage	Liability	\$		Premium	\$	
ALTA Leasehold Extended Coverage	Liability	\$		Premium	\$	
Endorsements	Liability	\$		Premium	\$	
Govt Service Charge				Cost	\$	
Other					\$	

We are prepared to issue Title Insurance Policy or Policies in the form and amount shown above, insuring title to the following described land:

The land referred to in this report is described in Exhibit "A" attached hereto.

and as of **09/22/2008** at **8:00 a.m.**, title vested in:

City of Sherwood, an Oregon municipal corporation

Subject to the exceptions, exclusions, and stipulations which are ordinarily part of such Policy form and the following:

1. General and special taxes and assessments for the fiscal year 2007-2008 are exempt. If the exempt status is terminated an additional tax may be levied. Account No's. R555599, R555615, and R556017
2. City liens, if any, for the city of Sherwood.

Note: An inquiry has NOT been made concerning the actual status of such liens. A fee of \$25.00 will be charged per tax account each time an inquiry request is made.
3. These premises are within the boundaries of the Clean Water Services District and are subject to the levies and assessments thereof.
4. An easement for underground storm drain sewer line and incidental purposes, recorded October 27, 1997 as Fee No. 97100724
In Favor of: 100 Oregon Inc., its successors and assigns
Affects: Parcel VII
5. Unrecorded leases or periodic tenancies, if any.
6. The following matters pertain to Lenders Extended coverage only:
 - a) Parties in possession, or claiming to be in possession, other than the vestees shown herein
 - b) Statutory liens for labor and/or materials, including liens for contributions due to the State of Oregon for employment compensation and for workman's compensation, or any rights thereto, where no notice of such liens or rights appears of record.
7. General and special taxes and assessments for the fiscal year 2008-2009, a lien not yet due or payable.
8. The effect of a deed executed by City of Sherwood, an Oregon municipal corporation to City of Sherwood Urban Renewal Agency, the duly designated Urban Renewal Agency for the City of Sherwood, recorded May 16, 2008 as Fee No. 2008-044746 of Official Records.

Said deed does not contain a valid legal description.
9. The following matters disclosed by an ALTA/ACSM survey made by Caswell/Hertel Surveyors, Inc. on July 24, 2008 and last revised August 20, 2008, designated Job No. 7612:
 - a) Encroachments of guy anchors, power poles, sidewalk and no parking sign over the Southerly portion of Parcel VII

-END OF EXCEPTIONS-

INFORMATIONAL NOTES

NOTE: Evidence of the authority of the individual(s) to execute the forthcoming document for Capstone Partners, LLC, an Oregon limited liability company, copies of the current operating agreement should be submitted prior to closing.

NOTE: This report does not include a search for Financing Statements filed in the office of the Secretary of State, or in a county other than the county wherein the premises are situated, and no liability is assumed if a Financing Statement is filed in the office of the County Clerk (Recorder) covering fixtures on the premises wherein the lands are described other than by metes and bounds or under the rectangular survey system or by recorded lot and book.

NOTE: Washington County Ordinance No. 267, filed August 5, 1982 in Washington County, Oregon, imposes a tax of \$1.00 per thousand or fraction thereof on the transfer of real property located within Washington County.

**THANK YOU FOR CHOOSING FIRST AMERICAN TITLE
WE KNOW YOU HAVE A CHOICE!**

Cc: GVA Kidder Mathews

Attn: Tony Reser

Cc: Capstone Partners, LLC

Attn: Jeff Sackett & Eric Lindahl

Cc:

Attn:



First American Title Insurance Company of Oregon

SCHEDULE OF EXCLUSIONS FROM COVERAGE

ALTA LOAN POLICY (10/17/92)

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy;
- (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims, or other matters:
 - (a) created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy (except to the extent that this policy insures the priority of the lien of the insured mortgage over any statutory lien for services, labor or material or the extent insurance is afforded herein as to assessments for street improvements under construction or completed at date of policy); or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable "doing business" laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any statutory lien for services, labor or materials (or the claim of priority of any statutory lien for services, labor or materials over the lien of the insured mortgage) arising from an improvement or work related to the land which is contracted for and commenced subsequent to Date of Policy and is not financed in whole or in part by proceeds of the indebtedness secured by the insured mortgage which at Date of Policy the insured has advanced or is obligated to advance.
7. Any claim, which arises out of the transaction creating the interest of the mortgagee insured by this policy, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that is based on:
 - (i) the transaction creating the interest of the insured mortgagee being deemed a fraudulent conveyance or fraudulent transfer; or
 - (ii) the subordination of the interest of the insured mortgagee as a result of the application of the doctrine of equitable subordination; or
 - (iii) the transaction creating the interest of the insured mortgagee being deemed a preferential transfer except where the preferential transfer results from the failure:
 - (a) to timely record the instrument of transfer; or
 - (b) of such recordation to impart notice to a purchaser for value or a judgment or lien creditor.

ALTA OWNER'S POLICY (10/17/92)

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims, or other matters:
 - (a) created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the estate or interest insured by this policy.
4. Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that is based on:
 - (i) the transaction creating the estate or interest insured by this policy being deemed a fraudulent conveyance or fraudulent transfer; or
 - (ii) the transaction creating the estate or interest insured by this policy being deemed a preferential transfer except where the preferential transfer results from the failure:
 - (a) to timely record the instrument of transfer; or
 - (b) of such recordation to impart notice to a purchaser for value or a judgment or lien creditor.

SCHEDULE OF STANDARD EXCEPTIONS

The ALTA standard policy form will contain in Schedule B the following standard exceptions to coverage:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records; proceeding by a public agency which may result in taxes or assessments, or notice of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of said land or by making inquiry of persons in possession thereof.
3. Easements or claims of easement, not shown by the public records; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
4. Any encroachment (of existing improvements located on the subject land onto adjoining land or of existing improvements located on adjoining land onto the subject land), encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the subject land.
5. Any lien, or right to a lien, for services, labor, material, equipment rental or workers compensation heretofore or hereafter furnished, imposed by law or not shown by the public records.

NOTE: A SPECIMEN COPY OF THE POLICY FORM (OR FORMS) WILL BE FURNISHED UPON REQUEST

TI 149 Rev. 6-06

Exhibit "A"

Real property in the County of Washington , State of Oregon, described as follows:

PARCEL I:

BEGINNING AT A POINT ON THE SOUTHERLY BOUNDARY OF THE SOUTHERN PACIFIC RIGHT OF WAY, FROM WHICH THE CENTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, IN WASHINGTON COUNTY, OREGON, BEARS SOUTH 47°17' WEST, 230.0 FEET AND SOUTH 43°24' EAST, 1443.0 FEET, BEING ALSO THE MOST NORTHERLY CORNER OF THE WAREHOUSE LOT; FROM THE SAID BEGINNING POINT;
RUNNING THENCE SOUTH 43°33' EAST, 200.00 FEET TO THE NORTHERLY LINE OF THAT CERTAIN TRACT OF LAND, DEED FOR WHICH IS RECORDED IN DEED BOOK 102, PAGE 0497;
THENCE WITH THE NORTHERLY LINE OF SAID TRACT, NORTH 47°50' EAST, 90 FEET;
THENCE NORTH 43°33' WEST, 200.26 FEET TO THE ABOVE DESCRIBED RIGHT OF WAY LINE;
THENCE SOUTH 47°18' WEST 90 FEET TO THE PLACE OF BEGINNING.

PARCEL II:

BEGINNING AT THE CENTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, IN WASHINGTON COUNTY, OREGON;
RUNNING THENCE NORTH 43°24' WEST, 21.87 CHAINS TO THE SOUTH BOUNDARY LINE OF THE SOUTHERN PACIFIC RAILROAD RIGHT OF WAY;
THENCE NORTH 47°15' EAST, 130 FEET TO THE PLACE OF BEGINNING;
THENCE NORTH 47°18' EAST, 100 FEET;
THENCE SOUTH 46°36' EAST, 200 FEET;
THENCE SOUTH 42°45' WEST, 100 FEET;
THENCE NORTH 43°24' WEST, 200 FEET TO THE PLACE OF BEGINNING.

PARCEL III:

BEGINNING AT THE CENTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, IN WASHINGTON COUNTY, OREGON AND
RUNNING THENCE NORTH 43°24' WEST, 21.87 CHAINS TO THE SOUTH BOUNDARY LINE OF THE RIGHT OF WAY OF THE PORTLAND AND WILLAMETTE VALLEY RAILROAD COMPANY (NOW HELD AND USED BY SOUTHERN PACIFIC COMPANY);
THENCE NORTH 47°15' EAST, 30 FEET TO A POINT WHICH IS THE TRUE PLACE OF BEGINNING OF THE LAND HEREBY DESCRIBED;
THENCE RUNNING NORTH 47°15' EAST 100 FEET;
THENCE SOUTH 46°36' EAST, 50 FEET;
THENCE SOUTH 42°45' WEST, 100 FEET;
THENCE NORTH 43°24' WEST, 50 FEET TO THE PLACE OF BEGINNING.

PARCEL IV:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF THE RIGHT OF WAY OF THE SOUTHERN PACIFIC COMPANY, WHICH IS NORTH 43°24' WEST, 1443.0 FEET OF THE CENTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, IN WASHINGTON COUNTY, OREGON, SAID POINT BEING ALSO THE NORTHERLY CORNER OF EPLER'S ADDITION TO SHERWOOD;
THENCE NORTH 47° 14' EAST ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE, 30.0 FEET TO THE MOST WESTERLY CORNER OF TRACT CONVEYED TO WILLIAM FRANKLIN SMITH BY DEED RECORDED IN DEED BOOK 106, PAGE 0359;
THENCE SOUTH 43°24' EAST, 50.0 FEET TO THE MOST SOUTHERLY CORNER OF SAID SMITH TRACT;

THENCE NORTH 47° 15' EAST, 100.0 FEET TO THE MOST EASTERLY CORNER OF SAID SMITH TRACT;
THENCE SOUTH 43°24' EAST ALONG THE SOUTHWESTERLY LINE OF TRACT CONVEYED TO CRAVES
CANNING CO., A CORPORATION, BY DEED RECORDED IN DEED BOOK 121, PAGE 0076, 40.0 FEET;
THENCE SOUTH 47°26' WEST, 130.0 FEET TO THE NORTHEASTERLY LINE OF SAID EPLER'S ADDITION;
AND
THENCE NORTH 43°24' WEST TO THE TRUE PLACE OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION DEDICATED FOR RIGHT-OF-WAY PURPOSES BY RESOLUTION
2007-080 RECORDED NOVEMBER 2, 2007 AS FEE NO. 2007-115729.

PARCEL V:

ALL OF LOT 5, BLOCK 1, EPLER'S ADDITION TO SHERWOOD (PLAT VOLUME 3, PAGE 0004), IN THE
COUNTY OF WASHINGTON AND STATE OF OREGON.

EXCEPT A STRIP FROM THE SOUTHERLY END OF SAID LOT WHICH HAS BEEN PREVIOUSLY DEEDED TO
THE TOWN OF SHERWOOD FOR STREET PURPOSES BY DEED BOOK 147, PAGE 0079.

ALSO EXCEPTING THEREFROM THAT PORTION DEDICATED FOR RIGHT-OF-WAY PURPOSES BY
RESOLUTION 2007-080 RECORDED NOVEMBER 2, 2007 AS FEE NO. 2007-115729.

PARCEL VI:

BEGINNING AT THE MOST NORTHERLY CORNER OF LOT 5, BLOCK 1, EPLER'S ADDITION TO
SHERWOOD (PLAT VOLUME 3, PAGE 0004), IN WASHINGTON COUNTY, OREGON;
THENCE WITH THE NORTHEASTERLY LINE OF SAID LOT EXTENDED, NORTH 43°24' WEST, 18.0 FEET
TO THE SOUTHEASTERLY RIGHT OF WAY LINE OF THE SOUTHERN PACIFIC COMPANY;
THENCE RUNNING ALONG SAID RIGHT OF WAY LINE, SOUTH 47°33' WEST 50.0 FEET;
THENCE SOUTH 43°24' EAST, 18.0 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 5; AND
THENCE NORTH 47°33' EAST, 50.0 FEET TO THE PLACE OF BEGINNING.

PARCEL VII:

BEGINNING AT A POINT ON THE SOUTHEASTERLY BOUNDARY LINE OF THE SOUTHERN PACIFIC RIGHT
OF WAY, IN SECTION 32, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, IN
WASHINGTON COUNTY, OREGON; FROM SAID BEGINNING POINT THE CENTER OF SAID SECTION 32
BEARS SOUTH 47°17' WEST, 320 FEET AND SOUTH 43°24' EAST, 1443 FEET; FROM SAID BEGINNING
POINT;
RUNNING THENCE WITH THE SAID RIGHT OF WAY LINE, NORTH 47°17' EAST, 350.8 FEET;
THENCE SOUTH 42°44' EAST, 511 FEET;
THENCE SOUTH 47°24' WEST, 328 FEET;
THENCE NORTH 43°24' WEST, 310 FEET TO AN IRON PIPE AT THE MOST NORTHERLY CORNER OF
TRACT, DEED FROM WHICH IS RECORDED IN DEED BOOK 102, PAGE 0497;
THENCE WITH THE NORTHWESTERLY LINE OF SAID TRACT SOUTH 47°50' WEST, 17 FEET;
THENCE NORTH 43°33' WEST, 200.26 FEET TO THE PLACE OF BEGINNING.

PARCEL VIII:

BEGINNING AT AN IRON PIPE WHICH BEARS NORTH 43°24' WEST 1243.4 FEET AND NORTH 47°15'
EAST 337.85 FEET FROM A STONE SET FOR THE CENTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE
1 WEST OF THE WILLAMETTE MERIDIAN, IN THE COUNTY OF WASHINGTON AND STATE OF OREGON;
SAID POINT OF BEGINNING BEING THE MOST NORTHERLY CORNER OF A TRACT OF LAND CONVEYED
TO THE CITIZENS BANK OF SHERWOOD BY DEED RECORDED IN DEED BOOK 154, PAGE 0449;
THENCE SOUTH 43°24' EAST ALONG THE NORTHEASTERLY LINE OF SAID TRACT, 280 FEET TO A
CORNER OF SAME;

THENCE SOUTH 47°15' WEST 17 FEET TO A POINT;
THENCE NORTH 43°24' WEST 280 FEET TO A POINT;
THENCE NORTH 47°15' EAST TO THE PLACE OF BEGINNING.

PARCEL IX:

ALL OF LOTS 7 AND 8, BLOCK 1 EPLER'S ADDITION TO SHERWOOD (PLAT VOLUME 3, PAGE 0004), IN WASHINGTON COUNTY, OREGON;

EXCEPTING A TRACT DEEDED BY ELLA WECKERT TO THE PUBLIC FOR STREET PURPOSES, BY INSTRUMENT RECORDED IN DEED BOOK 147, PAGE 0079.

PARCEL X:

BEGINNING AT THE MOST NORTHERLY CORNER OF LOT 7, BLOCK 1, EPLER'S ADDITION TO SHERWOOD (PLAT VOLUME 3, PAGE 0004), IN WASHINGTON COUNTY, OREGON;
THENCE SOUTHERLY ALONG THE NORTHWESTERLY LINE OF SAID BLOCK 1, 105 FEET TO THE MOST WESTERLY CORNER OF LOT 8 IN SAID BLOCK;
THENCE NORTH 43°24' WEST FOLLOWING THE MOST SOUTHERLY LINE OF SAID LOT 8 IF EXTENDED, 18 FEET TO THE SOUTHEASTERLY LINE OF THE RIGHT OF WAY OF THE SOUTHERN PACIFIC RAILROAD;
THENCE NORTHERLY FOLLOWING THE SOUTHEASTERLY LINE OF SAID RIGHT OF WAY 105 FEET;
THENCE SOUTH 43°24' EAST, 18 FEET TO THE PLACE OF BEGINNING.

PARCEL XI:

THE NORTHEASTERLY 15 FEET OF LOT 6, BLOCK 1, EPLER'S ADDITION TO SHERWOOD (PLAT VOLUME 3, PAGE 0004), IN THE COUNTY OF WASHINGTON AND STATE OF OREGON.

PARCEL XII:

BEGINNING AT THE MOST NORTHERLY CORNER OF LOT 6, BLOCK 1, EPLER'S ADDITION TO SHERWOOD (PLAT VOLUME 3, PAGE 0004), IN THE COUNTY OF WASHINGTON AND STATE OF OREGON;
THENCE WITH THE NORTHEASTERLY LINE OF SAID LOT EXTENDED, NORTH 43°24' WEST 18 FEET TO THE SOUTHEASTERLY RIGHT OF WAY LINE OF THE SOUTHERN PACIFIC COMPANY;
THENCE RUNNING WITH SAID RIGHT OF WAY LINE, SOUTH 47°33' WEST 15 FEET;
THENCE SOUTH 43°24' EAST 18 FEET TO THE WESTERLY LINE OF SAID LOT 6, BLOCK 1, EPLER'S ADDITION TO SHERWOOD;
THENCE WITH THE SAID WESTERLY LINE OF LOT 6, NORTH 47°33' EAST 15 FEET TO THE PLACE OF BEGINNING.

PARCEL XIII:

BEGINNING AT THE SOUTHWEST CORNER OF THAT CERTAIN TRACT DEEDED TO JOHN BRIGHOUSE AND IVY M. BRIGHOUSE IN DEED BOOK 254, PAGE 0025, SAID BEGINNING POINT BEING NORTH 43°24' WEST 1353.42 FEET FROM A STONE MARKED WITH X, SET FOR CENTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, IN WASHINGTON COUNTY, OREGON;
RUNNING THENCE NORTH 47°15' EAST AND PARALLEL WITH THE PORTLAND AND WILLAMETTE VALLEY RAILROAD RIGHT OF WAY 130 FEET;
THENCE SOUTH 43°24' EAST 110 FEET;
THENCE NORTH 47°15' EAST AND PARALLEL WITH SAID PORTLAND AND WILLAMETTE VALLEY RAILROAD RIGHT OF WAY 6 FEET;
THENCE SOUTH 43°24' EAST 105 FEET;

THENCE SOUTH 47°15' WEST AND PARALLEL WITH SAID RAILROAD RIGHT OF WAY 48 FEET;
THENCE NORTH 43°24' WEST 75 FEET;
THENCE SOUTH 47°15' WEST 13 FEET;
THENCE NORTH 43°24' WEST 128 FEET;
THENCE SOUTH 47°15' WEST 75 FEET TO THE SOUTH LINE OF BRIGHOUSE TRACT;
THENCE NORTH 43°24' WEST 12 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION DEDICATED FOR RIGHT-OF-WAY PURPOSES BY RESOLUTION 2007-080 RECORDED NOVEMBER 2, 2007 AS FEE NO. 2007-115729.

PARCEL XIV:

BEGINNING AT THE SOUTHWEST CORNER OF THAT CERTAIN TRACT DEEDED TO JOHN BRIGHOUSE AND IVY M. BRIGHOUSE IN DEED BOOK 254, PAGE 0025, SAID BEGINNING POINT BEING NORTH 43°24' WEST 1353.42 FEET FROM A STONE MARKED WITH X, SET FOR CENTER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, IN WASHINGTON COUNTY, OREGON;
RUNNING THENCE SOUTH 43°24' EAST 12 FEET TO THE TRUE POINT OF BEGINNING OF THE TRACT TO BE DESCRIBED;
THENCE NORTH 47°15' EAST 75 FEET TO A POINT;
THENCE SOUTH 43°24' EAST 128 FEET;
THENCE NORTH 47°15' EAST 13 FEET;
THENCE SOUTH 43°24' EAST 75 FEET TO A POINT;
THENCE SOUTH 47°15' WEST 88 FEET, MORE OR LESS, TO A POINT WHICH IS SOUTH 43°24' EAST OF THE TRUE POINT OF BEGINNING;
THENCE NORTH 43°24' WEST TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION DEDICATED FOR RIGHT-OF-WAY PURPOSES BY RESOLUTION 2007-080 RECORDED NOVEMBER 2, 2007 AS FEE NO. 2007-115729.

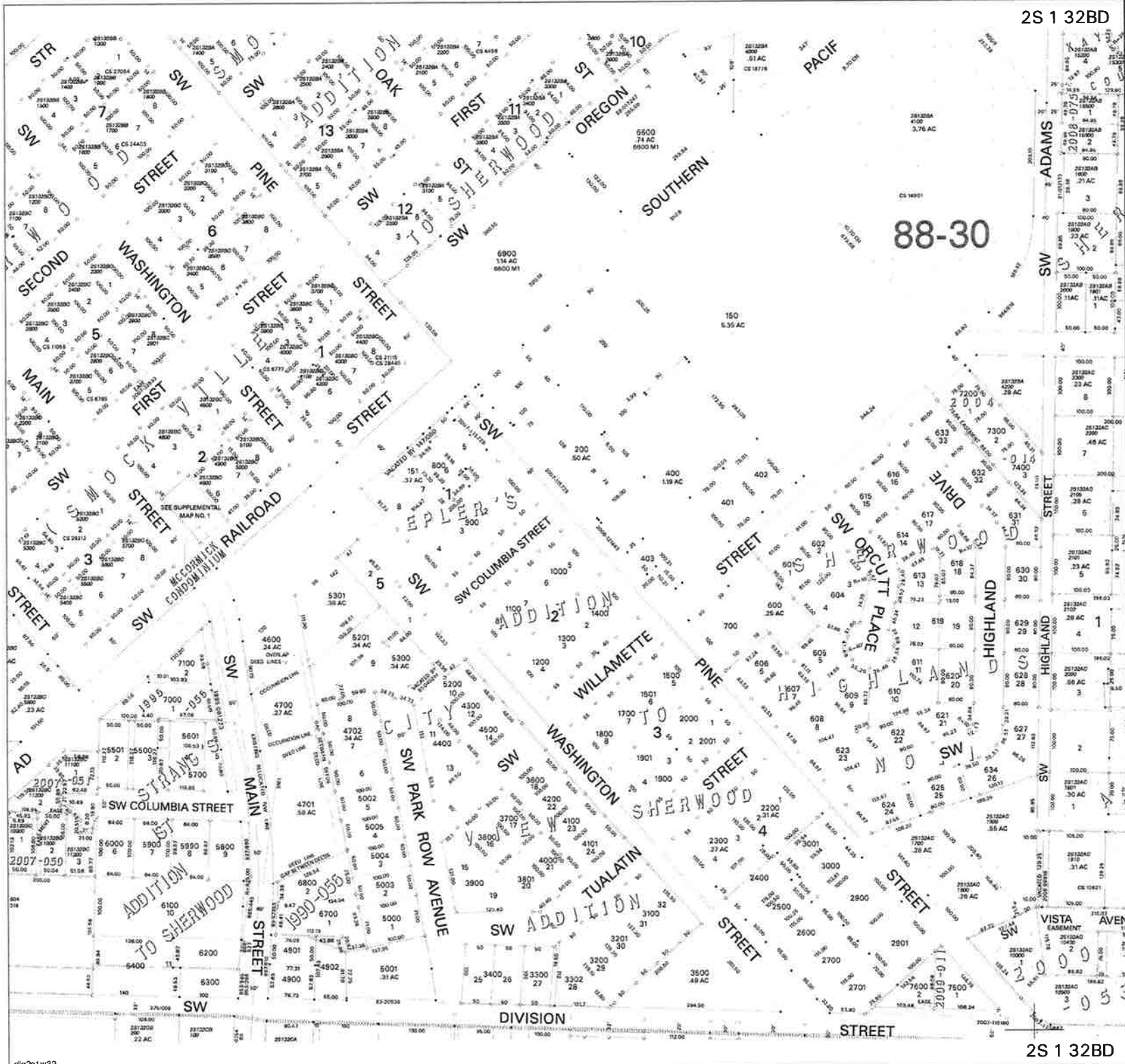
PARCEL XV:

LOT 6, EPLER'S ADDITION TO SHERWOOD (PLAT VOLUME 3, PAGE 0004), IN THE CITY OF SHERWOOD, COUNTY OF WASHINGTON AND STATE OF OREGON.

TOGETHER WITH THAT PORTION OF THE VACATED STREET LYING ADJACENT TO AND NORTHWESTERLY OF SAID LOT 6 WHICH INURED THERETO BY ORDINANCE NO. 112, RECORDED MAY 14, 1931 IN BOOK 147, PAGE 0080.

EXCEPTING THEREFROM THE NORTHERLY MOST 15 FEET OF SAID LOT 6, LYING WITHIN 15 FEET OF THE BOUNDARY LINE BETWEEN AND COMMON TO LOTS 5 AND 6, EPLER'S ADDITION TO SHERWOOD (PLAT VOLUME 3, PAGE 0004), AS CONVEYED TO PORTLAND CANNING COMPANY, INC., AN OREGON CORPORATION, BY DEED RECORDED JUNE 11, 1953 IN BOOK 345, PAGE 0621.

THE LEGAL DESCRIPTION WAS CREATED PRIOR TO JANUARY 01, 2008.



2S 1 32BD

2S 1 32BD



WASHINGTON COUNTY OREGON
SE1/4 NW1/4 SECTION 32 T2S R1W W.M.
SCALE 1" = 100'

36	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6
12	7	8	9	10	11	12	7
13	18	17	16	15	14	13	18
24	19	20	21	22	23	24	19
25	30	29	28	27	26	25	30
36	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.washington.or.us



SECTION 32

Cancelled Taxlots For: 2S132BD
625, 160, 330, 210, 650, A-1, 300, 480, 1, 480, 2, 480, 3, 210, 1, 180, A-1, 665, 601, 560, 540, 501, 512, 230.



PLOT DATE: April 02, 2009
FOR ASSESSMENT PURPOSES
ONLY - DO NOT RELY ON
FOR OTHER USE

Map areas delineated by either gray shading or a cross hatched pattern are for reference only and may not indicate the most current property boundaries. Please consult the appropriate map for the most current information.

2S 1 32BD

SHERWOOD
2S 1 32BD



Oregon

Theodore R. Kulongoski, Governor

Department of Environmental Quality

Northwest Region Portland Office

2020 SW 4th Avenue, Suite 400

Portland, OR 97201-4987

(503) 229-5263

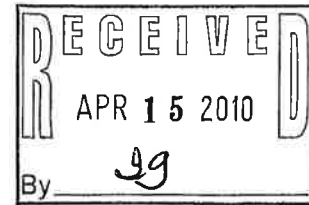
Fax: (503) 229-6945

TTY: (503) 229-5471

April 13, 2010

Mr. Robert Galati, P.E.
City Engineer
City of Sherwood
22560 SW Pine Street
Sherwood, OR 97140

Re: **No Further Action Determination**
Former Sherwood Cannery, 220 SE Willamette Street
Sherwood, Oregon
ECSI #4624



Dear Mr. Galati:

The Oregon Department of Environmental Quality (DEQ) has completed our review of the remedial action reports and documents for the old Sherwood Cannery Site. DEQ's review was performed under the terms of the Independent Cleanup Agreement between the City of Sherwood and DEQ dated September 2, 2009 and signed by James A. Patterson, City Manager on September 9, 2009.

Pursuant to Oregon Revised Statute, ORS 465.320, and Oregon Administrative Rules, OAR 340-122-100, DEQ invited the public to comment on the proposed "No Further Action" cleanup decision for the site. DEQ published the proposed "No Further Action" decision in the Sherwood-Tualatin Times and the Oregon Secretary of State's Bulletin in early March 2010 and requested public comments through March 31, 2010. No comments were received.

DEQ concludes that the cleanup actions taken at the Former Sherwood Cannery site have resulted in conditions that are protective of public health and the environment and requires no further action under the Oregon Cleanup Law, ORS 465.200 et seq., unless new or previously undisclosed information becomes available. For your information, I have attached DEQ's Staff Report which summarizes our review and findings for this site.

If you have any questions, please contact the Project Manager for this site, Chuck Harman, at (503) 229-5585 or via email at harman.charles@deq.state.or.us.

Sincerely,

Keith Johnson, Manager
NW Cleanup Section

Encl: DEQ Staff Report – Old Sherwood Cannery (ECSI #4624), February 12, 2010

cc: ECSI file #4624

State of Oregon

Department of Environmental Quality

Memorandum

To: Keith Johnson, DEQ-NWR Cleanup Section Manager

From: Chuck Harman, DEQ-NWR

Date: February 12, 2010

Subject: NFA Staff Report – Old Sherwood Cannery Site (ECSI #4624)

I have completed my review of documents submitted by the City of Sherwood for the Old Cannery site (Site) located in downtown Sherwood. My review was completed under an Independent Cleanup Agreement with the City of Sherwood signed by James A. Patterson, the City Manager on September 9, 2009.

DEQ has determined that remedial actions taken at the old Sherwood Cannery site have resulted in no unacceptable remaining exposure risk to human health and the environment and that a no further action (NFA) determination can be recommended. This determination is subject to certain conditions, such as a 30-day public notice and comment period. The proposed NFA determination is based on the regulations and facts as we now understand them, including but not limited to the following:

- I. The Old Sherwood Cannery is a 5.85-acre property located in downtown central Sherwood, just south of a railroad line at 220 SE Willamette Street (See Attachment B - Figures 1 & 2). The site is identified as tax lot 2S132BD00100. (Lot 100, Section 32, Township 2 South, Range 1 West). This property is zoned Retail Commercial and is planned for redevelopment into a mix of retail, commercial and urban residential uses.

Current local land use in the immediate vicinity of the Site is a mix of commercial (north and east), limited industrial (west), and some single-family residential (south).

Notably, one of the City of Sherwood's drinking water supply wells, Well #3 is located approximately 200 feet south of the western edge of the former Cannery site.

This site was listed in DEQ's Environmental Cleanup Site Information (ECSI) database in April of 2006, when the City of Sherwood expressed interest in assistance from DEQ's Brownfields Assessment program. The City of Sherwood applied in the summer of 2009 to DEQ's Voluntary Cleanup Program through the Independent Cleanup Pathway (ITP) and submitted a report to DEQ in September of 2009.

Old Sherwood Cannery (#4624) Staff Report

- Sample and analyze oil stained floor planks in Building #1 for suspect petroleum and polychlorinated biphenyl (PCB) contamination. Upon building demolition, inspect and remove any contaminated soils.
- Following building demolition, the inaccessible area around the UST #3 should be tested for residual petroleum contamination.
- Clean up debris and properly characterize and dispose of drums, and other containers containing waste liquids.
- Review Oregon Health Department records to determine if groundwater samples from Sherwood Water Well #3 have been tested for volatile organic compounds (VOCs), metals, pesticides, and TPH in the past three years.
- Conduct a limited Phase II ESA to include 8-10 soil samples and 4-5 shallow groundwater samples to assess soil and groundwater quality.

CEC also recommended several actions related to potential asbestos containing materials (PACMs) and observed mold in the building prior to and during demolition. These recommendations and any actions taken in response are outside the scope of the DEQ Cleanup Program and are not presented or evaluated in this document.

5. In 2006, based upon the recommendations presented in the 2004 CEC report, Oregon DEQ guided a Site Investigation (SI) at the property, using Brownfields Assessment funds from the U.S. Environmental Protection Agency (EPA), Region 10. The SI was implemented by GeoEngineers under a Task Order contract to DEQ. . The SI focused on sampling of soil and groundwater in several areas on and around the former cannery building and other structures, plus sampling of sediments present in two wastewater treatment cells from the former cannery operation that were still present on the site.

The sampling at the old cannery site included collection of 14 soil samples, 3 sediment samples from the wastewater treatment plant cells, and six groundwater grab samples from temporary borings. The primary findings and DEQ's recommendations were as follows:

- PCB-contaminated soil was found under stained floorboards in Building 3. Consequently, DEQ recommended additional sampling and removal of contaminated soils during planned building demolition.
- Sediments in the remnant wastewater treatment cells were contaminated with metals, petroleum (diesel and heavy oil), polycyclic aromatic hydrocarbons (PAHs), organochlorine pesticides (DDD, DDE) and PCBs at concentrations that exceeded DEQ screening levels for ecological receptors. DEQ recommended that sediments be removed and properly disposed at the time when the cells were demolished.
- Groundwater samples did not detect any petroleum hydrocarbons or metals at concentrations that posed a risk to human health via direct contact or that would threaten the nearby drinking water supply well.

Old Sherwood Cannery (#4624) Staff Report

EX3S2-3.0, which was below the target DEQ risk-based concentration (RBC) of 0.22 mg/kg for total PCBs, established for soil ingestion, dermal contact, and inhalation in a residential setting.

During the excavation work that spanned from April through June of 2009, a total of 108.06 tons of soil were removed and transported to the Hillsboro Landfill. Figure 3 in Attachmend B illustrates the extent of the excavation and summarizes the laboratory test results for soil.

In April of 2009 Klienfelder excavated a 15-foot by 12-foot area to a depth of 9 feet bgs, in the location of the former 8,000-gallon UST (a.k.a. UST #3). There were no field indicators of petroleum contamination in the excavated soils or along the sidewalls of the excavation. Groundwater was not encountered. Based on these field observations, Kleinfelder concluded that suspected residual petroleum contamination was very limited in extent, and refilled the excavation with the original soils.

7. As part of the Brownfields Assessment performed under DEQ guidance in 2006, GeoEngineers developed a CSM to determine potential site exposure routes. Initial work to determine the locality of the facility (LOF), defined by DEQ as “any point were a human or ecological receptor contacts or is reasonably likely to come into contact with facility-related hazardous substances”, found that the LOF consisted of soil underneath and adjacent to site buildings (PCB and UST areas) and sediments in the wastewater treatment system settling cells. Likely or potential human exposure routes determined at the completion of the 2006 SI were –
- Exposure to contaminants in surface soil (0-3 feet bgs) via incidental ingestion, dermal contact, and inhalation of fugitive dust for residential and occupational receptors, and construction and excavation workers.
 - Exposure to contaminants in subsurface soil (3-9 feet bgs) via incidental ingestion, dermal contact, and inhalation of fugitive dust for construction and excavation workers.
 - Exposure to contaminants in surface and subsurface soil (0-10 feet bgs) via inhalation of indoor and outdoor air.

GeoEngineers had observed that there were plants and wildlife (such as birds and frogs) in the remnant wastewater treatment plant concrete settling cells and therefore, concluded that there was a current (at that time) potential exposure to sediment by ecological receptors. Since the settling cells were planned for demolition, this potential exposure pathway was not considered to be relevant based on the planned redevelopment.

8. As part of our file review for this NFA determination, DEQ also examined groundwater sampling records for the City of Sherwood Well #3, available at the Oregon Department of Human Services Drinking Water Program website

Old Sherwood Cannery (#4624) Staff Report

DEQ will require Public Notice and allow for a 30-day comment period to allow public input into the completion of the remedial actions and proposed NFA determination.

Old Sherwood Cannery (#4624) Staff Report

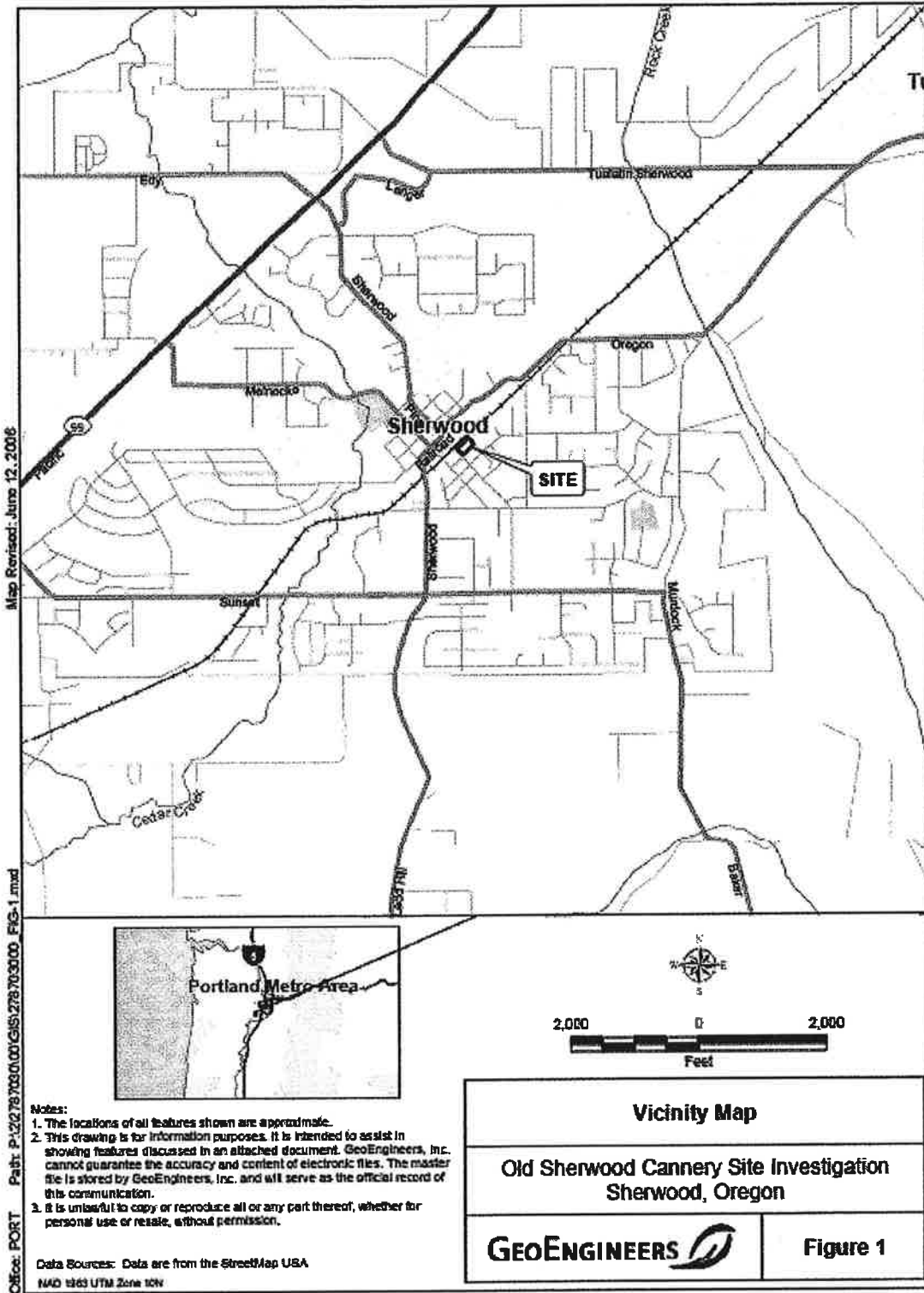
ATTACHMENT B – FIGURES

Figure 1 – Site Location Map

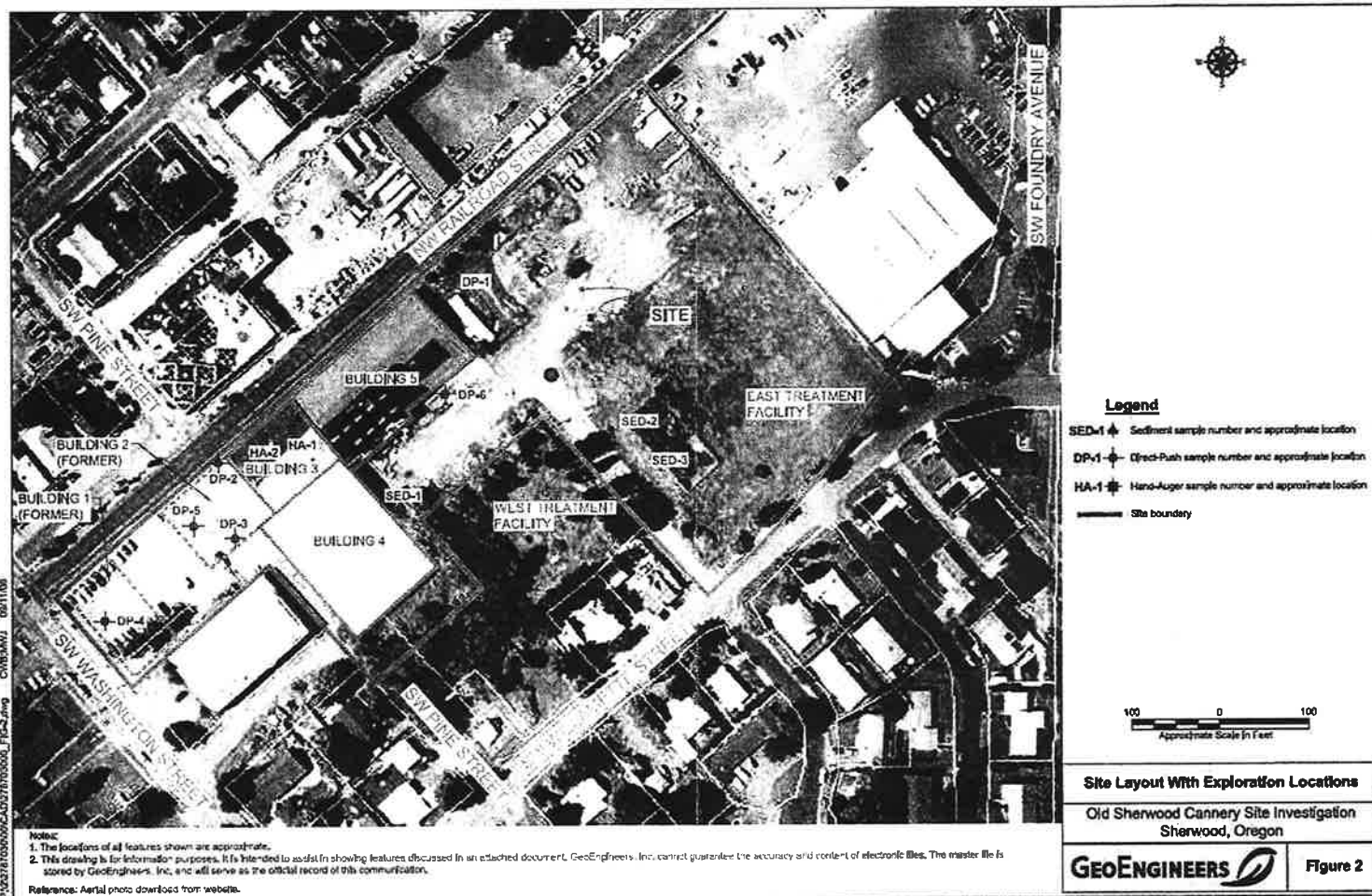
Figure 2 – Site Layout Map from 2006 Site Investigation (GeoEngineers, 2006)

Figure 3 – Site Layout Map with 2009 Remedial Work and Sampling Locations
(Kleinfelder, 2010)

ATTACHMENT B – FIGURE 1: OLD SHERWOOD CANNERY SITE LOCATION MAP (from September 20, 2006 GeoEngineer’s Site Investigation Report).



ATTACHMENT B – FIGURE 2: OLD SHERWOOD CANNERY SITE LAYOUT AND 2006 SAMPLING MAP (from September 20, 2006 GeoEngineer's Site Investigation Report).





December 3, 2008

Capstone Partners, LLC
1015 NW 11th Avenue, Suite 243
Portland, OR 97029

Attention: Mr. Eric Lindahl

Preliminary Geotechnical Engineering Information
Sherwood Old Cannery Redevelopment Site
SW Railroad Street and SW Pine Street
Sherwood, Oregon
GeoDesign Project: Capstone-7-01

INTRODUCTION

GeoDesign, Inc. is pleased to submit this letter providing preliminary geotechnical engineering information for the proposed Sherwood Old Cannery Redevelopment project. The project is located on the site formerly occupied by the Sherwood Cannery. The site is approximately 6.4 acres in size and is just south of old town Sherwood, Oregon, at 15601 SW Willamette Street. The site includes Tax Lots 150 151, 200, 800, and 900 of Washington County Tax Map 2S132BD.

The site is currently vacant land, with the exception of a machine shop building at the western end of the site, a paved material storage area located on the northeastern portion of the site, and a gravel-covered parking area on the western-most portion of the site. We understand that all buildings formerly associated with the cannery have been removed. The site is bound by a railroad right-of-way to the north, SW Washington Street and residential development to the west, SW Willamette Street and residential development to the south, and an industrial/warehouse development to the east.

The site was formerly occupied by the Sherwood Cannery, also known as the Graves Cannery, from 1918 through 1971. A brake parts business operated on the site during the late 1980s to early 1990s. A Tualatin Electric Company pump house and substation was present on the site in the 1920s and 1930s.

PROJECT UNDERSTANDING

We understand that the preliminary plans are to complete the project in two phases. The first phase will likely include the following features:

- Two 1-story, retail structures
- One 2-story, retail and commercial office building
- Two 3-story, residential structures
- New public streets, public plaza, and related underground utilities

Subsequent phases will likely include the following:

- Two additional 1- to 2-story retail buildings

The project is still in the conceptual phase, so foundation loads and grading requirements have not been established at this time.

BACKGROUND

GeoDesign has been retained to complete environmental and geotechnical engineering services associated with the project. To date, we have completed a draft Phase I Environmental Site Assessment (ESA) for the site; however, given the highly preliminary nature of the project, we have not completed our proposed geotechnical explorations. However, as was presented in our draft Phase I ESA, prior explorations and environmental evaluations have been completed at the site.

GeoDesign was provided with two previous environmental reports and an Oregon Department of Environmental Quality (DEQ) summary letter regarding the site.

- *Phase I Environmental Site Assessment Report: Old Sherwood Cannery, 220 SE Willamette Street, Sherwood, Oregon 97140* prepared by Creekside Environmental Consulting, LLC, dated September 10, 2004
- *Old Sherwood Cannery, Site Investigation Report*, prepared by GeoEngineers, Inc., dated September 20, 2006
- *Site Specific Assessment – Site Investigation Results, Old Sherwood Cannery, 15601 SW Willamette St., OR 97140, ECSI #4624*, prepared by DEQ, dated October 3, 2006

In addition to the soil information from these reports, we have reviewed subsurface information from our in-house data. Based on these referenced reports, we anticipate that the subsurface conditions will consist of variable surface fill underlain by native silt or sand. The GeoEngineer's report indicates the native soil consists of primarily sand with silt to the depth of the explorations (up to 25 feet below ground surface [BGS]), with groundwater encountered at depths of 11 to 15 feet BGS. The explorations were completed using Geoprobes®, and accordingly, engineering properties from standard penetration tests were not provided. Based on explorations we have completed for the nearby Sherwood High School and Cedar Brook Way development, the sand is generally medium dense.

PRELIMINARY RESULTS

Based on the available background information, we anticipate that former utilities, foundation elements, and remedial excavations may exist at the site. We anticipate that documentation on the placement and compaction procedures for the backfilling of the remedial excavations will not be available. Accordingly, an overlay showing the locations of the remedial excavation (from prior reports) and the proposed structures will be completed to evaluate for the presence of undocumented fill under foundation elements.

Based on the available information, the proposed development can be constructed at the site. The foundation loads for the proposed structures are anticipated to be relatively light, and our experience with similar project in the area indicate that the native soils should provide adequate support using conventional spread foundations. Our geotechnical proposal includes completing 1 day of test pits to evaluate the condition of surface fills, the shallow native soils, and subgrade support for pavements, and five borings to evaluate foundation considerations. The native sand can be slightly susceptible to liquefaction, so our geotechnical proposal includes completing two seismic cone penetration test probes and laboratory testing of soil samples from the borings to evaluate this risk.

◆ ◆ ◆

We appreciate the opportunity to work with you on this project. If you have questions concerning the information provided, please call.

Sincerely,

GeoDesign, Inc.



George Saunders, P.E., G.E.
Principal Engineer



cc: Mr. Murray Jenkins, Ankrom Moisan Associated Architects
Mr. Keith B. Jones, Harper Houf Peterson Righellis Inc.

GPS:kt

Two copies submitted

Document ID: Capstone-7-01-120308-geol.doc

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CWS File Number

09-000783

Service Provider Letter

This form and the attached conditions will serve as your Service Provider Letter in accordance with Clean Water Services Design and Construction Standards (R&O 07-20).

Jurisdiction: Sherwood Review Type: Tier 2 Alternative Analysis
 Site Address / Location: 15601 SW Willamette ST SPL Issue Date: June 08, 2009
Sherwood, OR 97140 SPL Expiration Date: June 08, 2011

Applicant Information:		Owner Information:	
Name	<u>SHERWOOD, CITY OF</u>	Name	<u>SHERWOOD, CITY OF</u>
Company	<u></u>	Company	<u></u>
Address	<u>22560 SW PINE ST</u>	Address	<u>22560 SW PINE ST</u>
	<u>SHERWOOD OR 97140</u>		<u>SHERWOOD OR 97140</u>
Phone/Fax	<u>503-925-2303</u>	Phone/Fax	<u>503-925-2303</u>
E-mail:	<u></u>	E-mail:	<u></u>

Tax lot ID	Development Activity
<u>2S132BD00150, 00151, 00200, 00800, and 00900</u>	<u>Mixed-Use Development</u>

Pre-Development Site Conditions:		Post Development Site Conditions:	
Sensitive Area Present:	<input checked="" type="checkbox"/> On-Site <input checked="" type="checkbox"/> Off-Site	Sensitive Area Present:	<input checked="" type="checkbox"/> On-Site <input checked="" type="checkbox"/> Off-Site
Vegetated Corridor Width:	<u>Variable; 15-50 feet</u>	Vegetated Corridor Width:	<u>Variable; 10-35 feet</u>
Vegetated Corridor Condition:	<u>Marginal/Degraded</u>		

Enhancement of Remaining Vegetated Corridor Required: Square Footage to be enhanced: 6,009

Encroachments into Pre-Development Vegetated Corridor:

Type and location of Encroachment:	Square Footage:
<u>ROW</u>	<u>704</u>
<u>South Building Parking</u>	<u>1,767</u>
<u>West Apartment Building and Parking</u>	<u>1,220</u>
Total	<u>3,691</u>

Mitigation Requirements:

Type/Location	Sq. Ft./Ratio/Cost
<u>Off-site Mitigation (Tax lot 2S131DB01900)</u>	<u>4,614/ 1.25:1</u>

Conditions Attached Development Figures Attached (8) Planting Plan Attached Geotech Report Required

This Service Provider Letter does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered on your property.

In order to comply with Clean Water Services water quality protection requirements the project must comply with the following conditions:

1. No structures, development, construction activities, gardens, lawns, application of chemicals, uncontained areas of hazardous materials as defined by Oregon Department of Environmental Quality, pet wastes, dumping of materials of any kind, or other activities shall be permitted within the sensitive area or Vegetated Corridor which may negatively impact water quality, except those allowed in R&O 07-20, Chapter 3.
2. Prior to any site clearing, grading or construction the Vegetated Corridor and water quality sensitive areas shall be surveyed, staked, and temporarily fenced per approved plan. During construction the Vegetated Corridor shall remain fenced and undisturbed except as allowed by R&O 07-20, Section 3.06.1 and per approved plans.
3. Prior to any activity within the sensitive area, the applicant shall gain authorization for the project from the Oregon Department of State Lands (DSL) and US Army Corps of Engineers (USACE). The applicant shall provide Clean Water Services or its designee (appropriate city) with copies of all DSL and USACE project authorization permits. **No Activity Authorized.**
4. An approved Oregon Department of Forestry Notification is required for one or more trees harvested for sale, trade, or barter, on any non-federal lands within the State of Oregon.
5. Prior to ground disturbance an Erosion Control Permit through the City or Clean Water Services is required. Appropriate Best Management Practices (BMP's) for Erosion Control, in accordance with Clean Water Services' Erosion Prevention and Sediment Control Planning and Design Manual, shall be used prior to, during, and following earth disturbing activities.
6. Prior to construction, a Stormwater Connection Permit from Clean Water Services or its designee is required pursuant to Ordinance 27, Section 4.B.
7. Activities located within the 100-year floodplain shall comply with R&O 07-20, Section 5.10.
8. Removal of native, woody vegetation shall be limited to the greatest extent practicable.
9. The stormwater planters shall be planted with Clean Water Services approved plant species, and designed to blend into the natural surroundings.
10. **Should final development plans differ significantly from those submitted for review by Clean Water Services, the applicant shall provide updated drawings, and if necessary, obtain a revised Service Provider Letter.**

SPECIAL CONDITIONS

11. For Vegetated Corridors up to 50 feet wide, the applicant shall enhance the entire Vegetated Corridor to meet or exceed good corridor condition as defined in R&O 07-20, Section 3.14.2, Table 3-3.
12. Prior to any site clearing, grading or construction, the applicant shall provide Clean Water Services with a Vegetated Corridor enhancement/restoration plan. Enhancement/restoration of the Vegetated Corridor shall be provided in accordance with R&O 07-20, Appendix A, and shall include planting specifications for all Vegetated Corridor, including any cleared areas larger than 25 square feet in Vegetated Corridor rated "good." **A general enhancement/restoration plan has been provided for the on-site Vegetated Corridor and off-site Mitigation area. Please see SPL attachments 5 and 7, respectively for the locations of enhancement.**
13. Prior to installation of plant materials, all invasive vegetation within the Vegetated Corridor shall be removed per methods described in Clean Water Services' Integrated Vegetation and Animal Management Guidance, 2003. During removal of invasive vegetation care shall be taken to minimize impacts to existing native tree and shrub species.
14. Clean Water Services shall be notified 72 hours prior to the start and completion of enhancement/restoration activities. Enhancement/restoration activities shall comply with the guidelines provided in Landscape Requirements (R&O 07-20, Appendix A).
15. Maintenance and monitoring requirements for both the on-site Vegetated Corridor and off-site Vegetated Corridor Mitigation area shall comply with R&O 07-20, Section 2.11.2. If at any time

during the warranty period the landscaping falls below the 80% survival level, the owner shall reinstall all deficient planting at the next appropriate planting opportunity and the two year maintenance period shall begin again from the date of replanting.

16. Performance assurances for the Vegetated Corridor shall comply with R&O 07-20, Section 2.06.2, Table 2-1 and Section 2.10, Table 2-2.
17. **Clean Water Services shall require an easement over the on-site Vegetated Corridor and off-site Mitigation area** conveying storm and surface water management to Clean Water Services that would prevent the owner of the Vegetated Corridor from activities and uses inconsistent with the purpose of the corridor and any easements therein.

FINAL PLANS

18. **Final construction plans shall include landscape plans.** In the details section of the plans, a description of the methods for removal and control of exotic species, location, distribution, condition and size of plantings, existing plants and trees to be preserved, and installation methods for plant materials is required. Plantings shall be tagged for dormant season identification and shall remain on plant material after planting for monitoring purposes.
19. **A Maintenance Plan shall be included on final plans including methods, responsible party contact information, and dates** (minimum two times per year, by June 1 and September 30).
20. **Final construction plans shall clearly depict the location and dimensions of the sensitive area and the Vegetated Corridor** (indicating good, marginal, or degraded condition). Sensitive area boundaries shall be marked in the field.
21. **Protection of the Vegetated Corridors and associated sensitive areas shall be provided by the installation of permanent fencing and signage between the development and the outer limits of the Vegetated Corridors.** Fencing and signage details to be included on final construction plans.

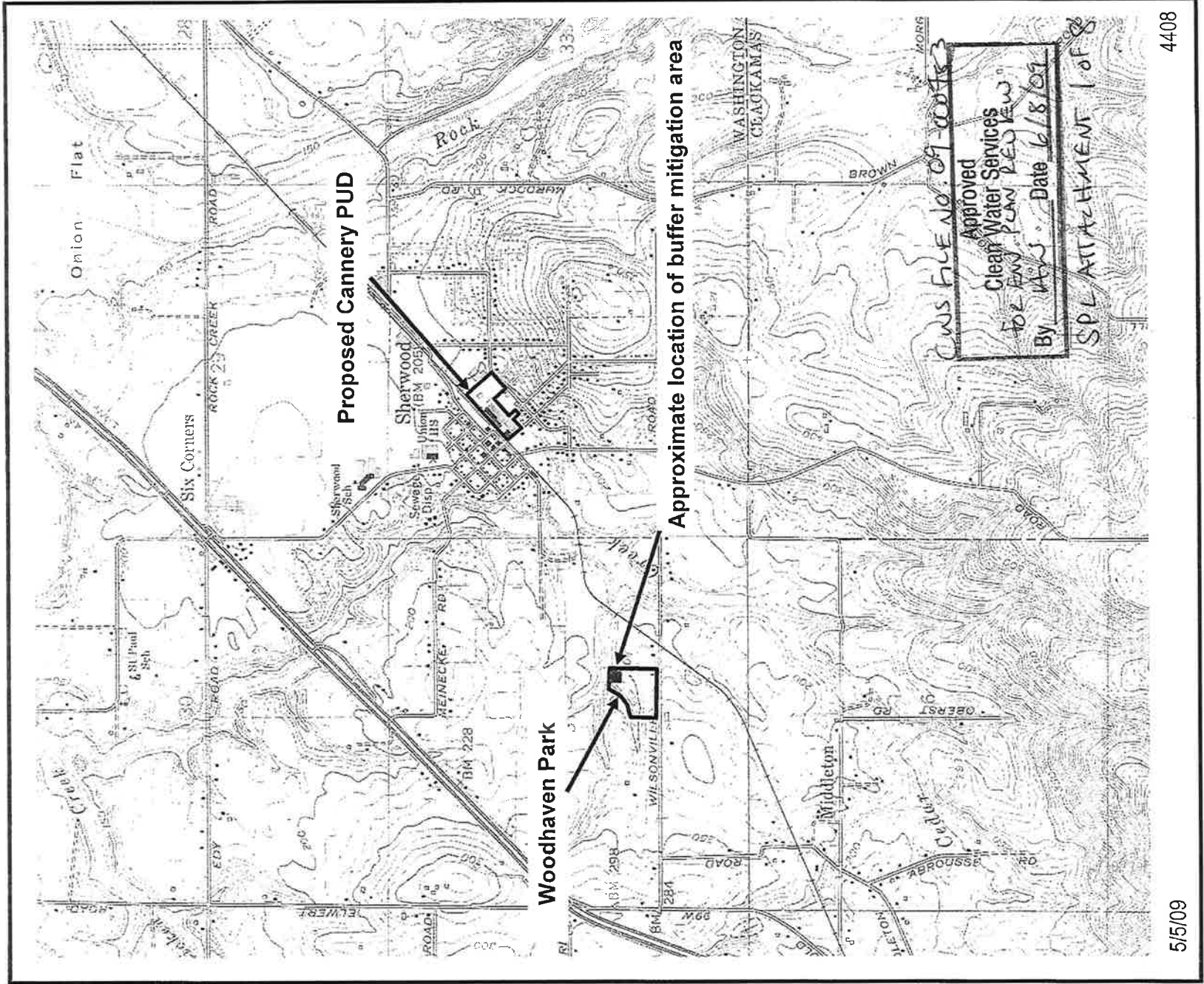
This Service Provider Letter is not valid unless CWS-approved site plan is attached.

Please call (503) 681-3653 with any questions.



Amber Wierck
Environmental Plan Review

Attachments (8)



5/5/09

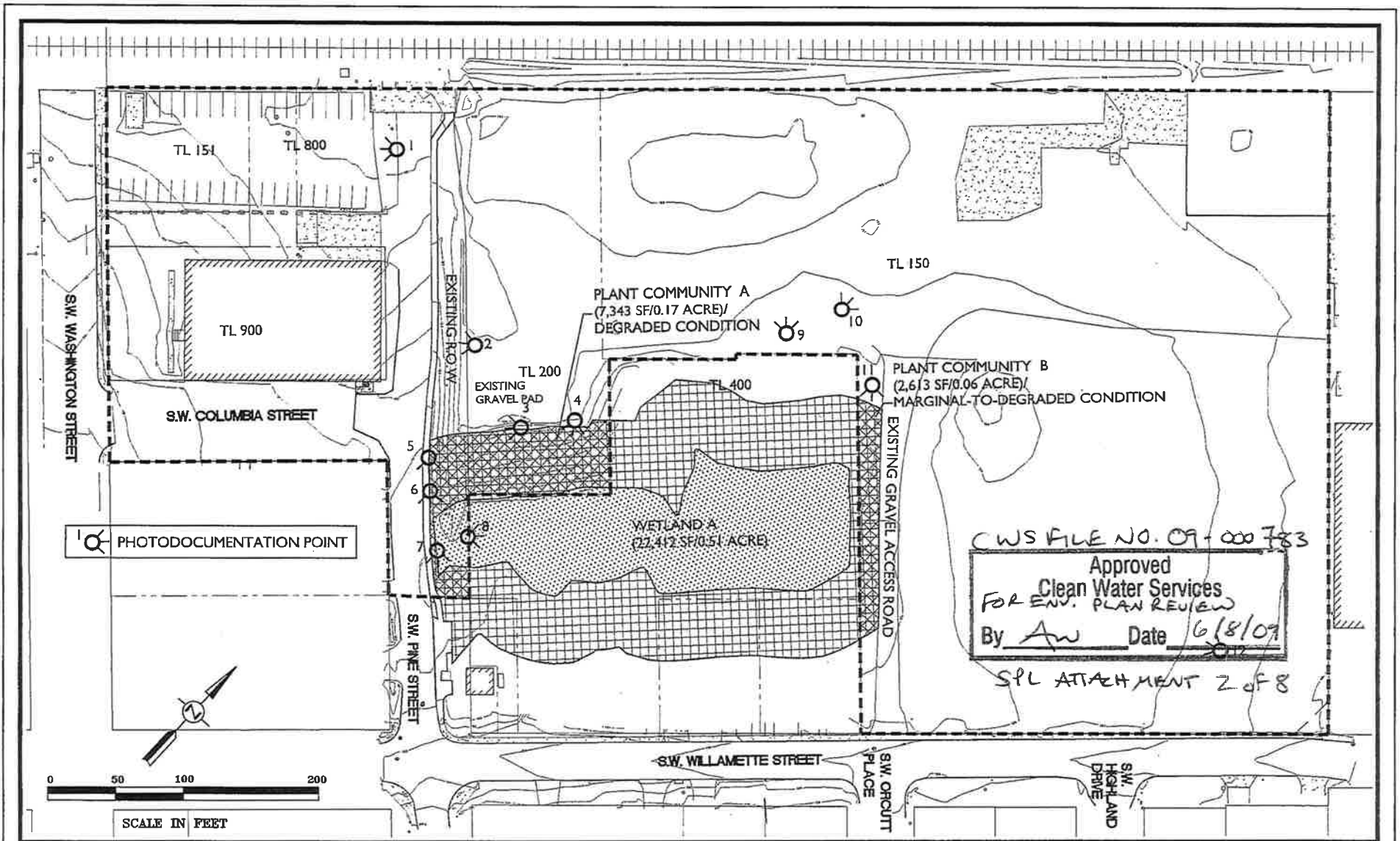
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FIGURE
1

Location and topographic map for the proposed Cannery Site PUD and the proposed off-site buffer mitigation in Woodhaven Park for the proposed Cannery Site PUD in Sherwood, Washington County, Oregon (USGS, Sherwood, Oregon quadrangle, 1961, photorevised 1985).



— Pacific Habitat Services, Inc.



FIGURE

5

CWS regulated vegetated corridor, onsite plant communities A and B, and photodocumentation points at the proposed Cannery Site PUD in Sherwood, Washington County, Oregon. See detail of buffer on Figure 5A.

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5/5/09

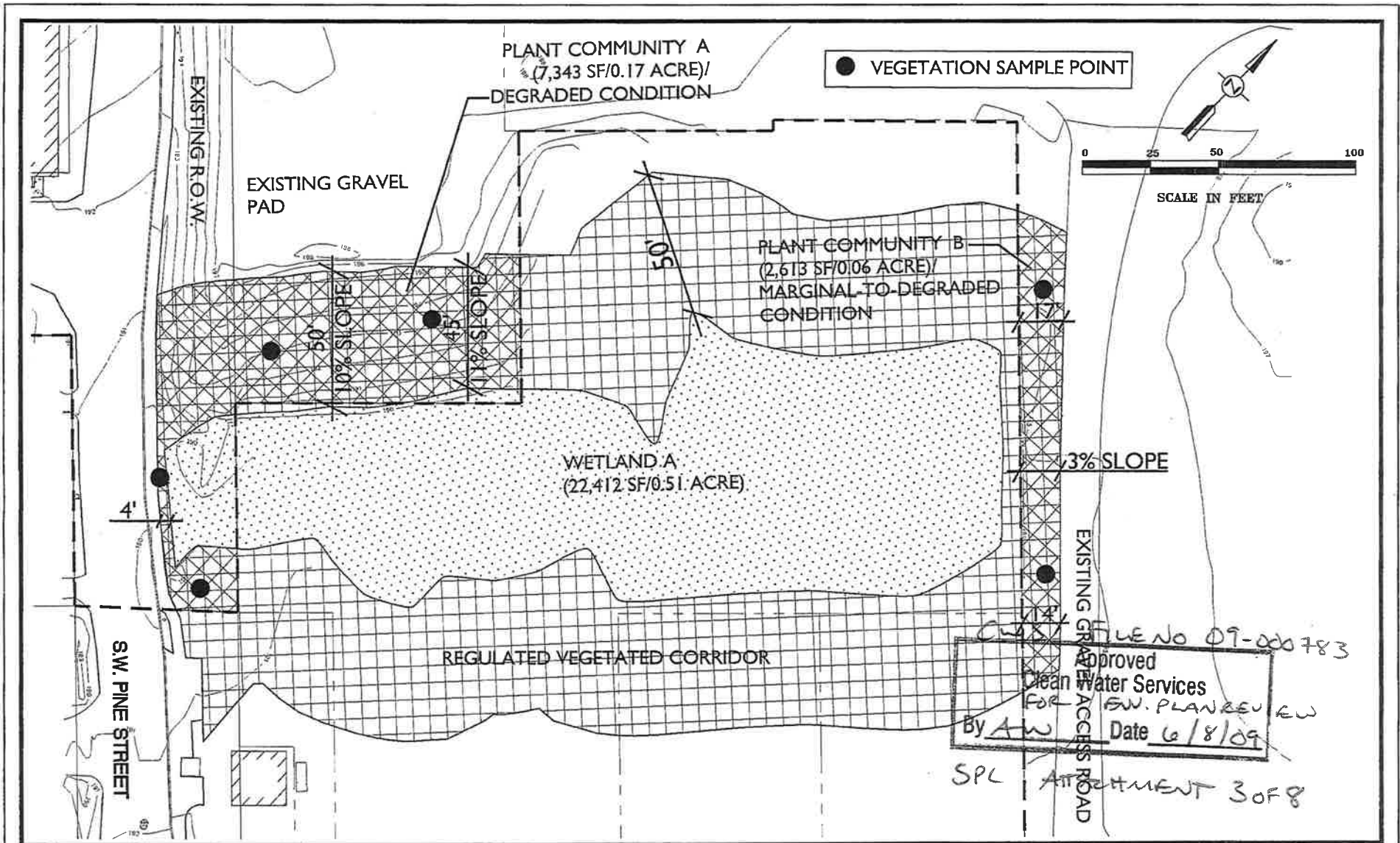


FIGURE
5A

Detail of CWS regulated vegetated corridor, onsite plant communities A and B, vegetation sample points, and slope and corridor measurements at the proposed Cannery Site PUD in Sherwood, Washington County, Oregon.

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5/5/09



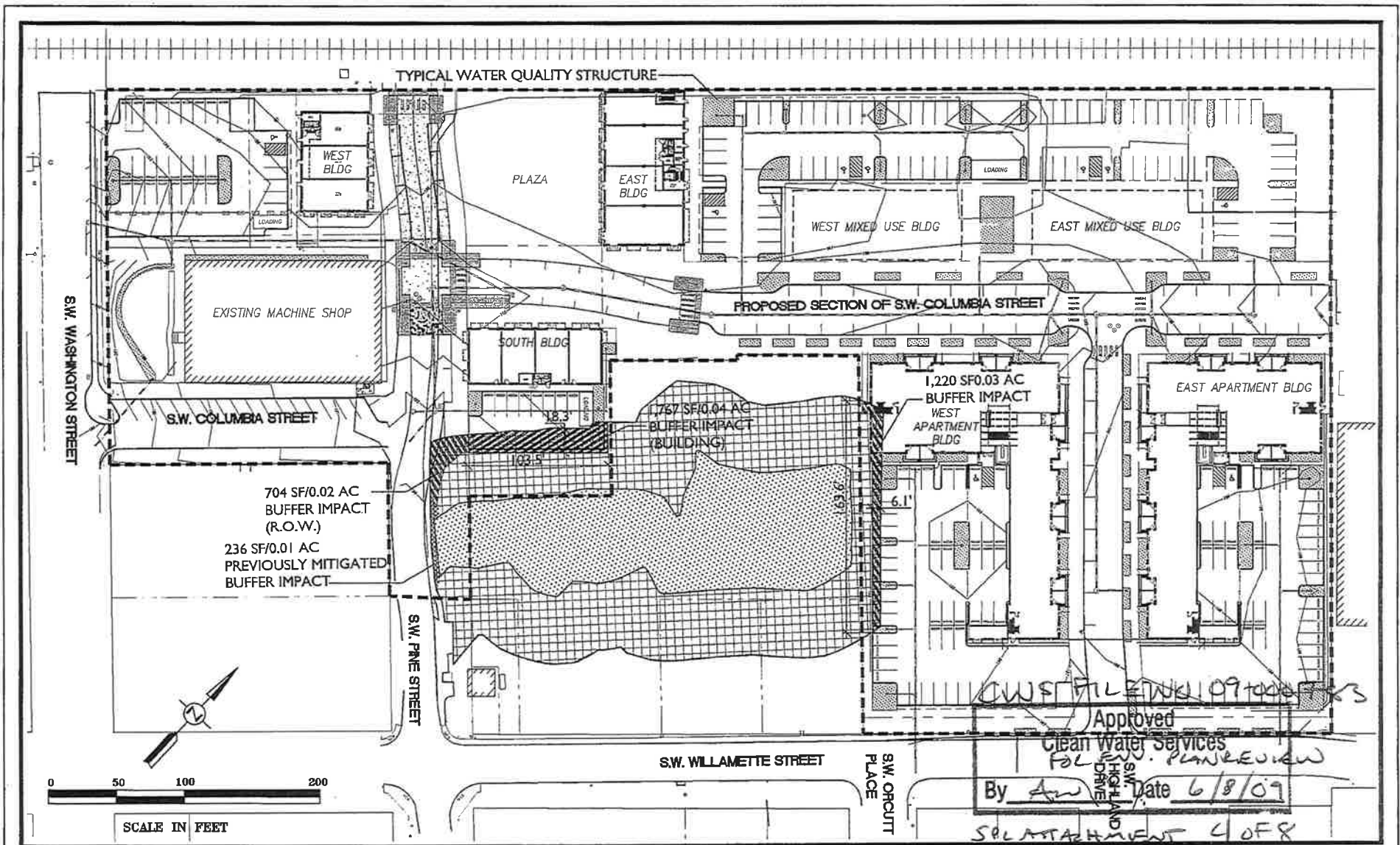


FIGURE
7

Site plan and proposed buffer impacts at the Cannery Site PUD in Sherwood, Washington County, Oregon. 5/5/09

Pacific Habitat Services, Inc.



4408

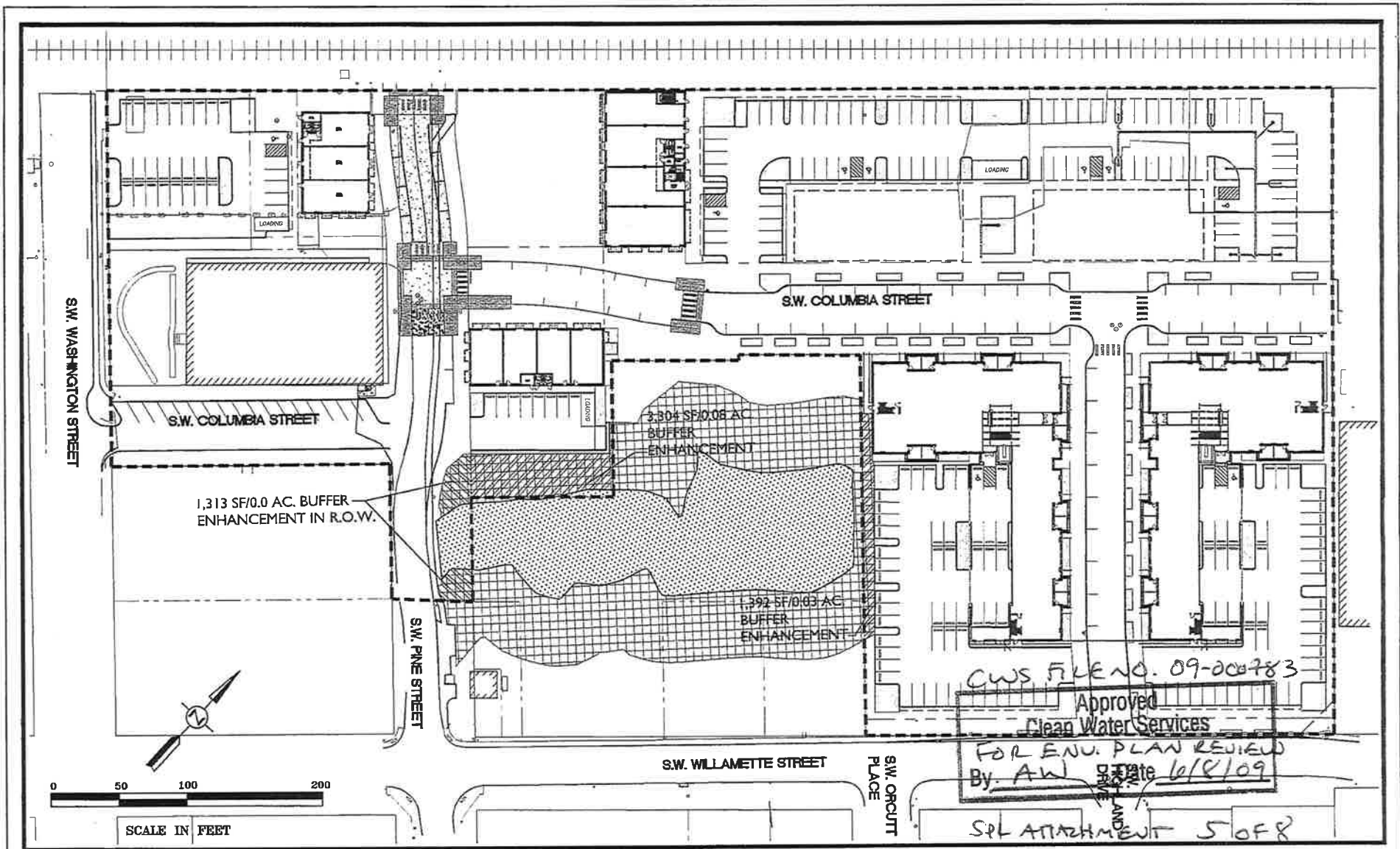


FIGURE
9

Proposed onsite buffer enhancement at the proposed Cannery Site PUD in Sherwood, Washington County, Oregon.

4408
5/5/09



CWS FILE NO. 09-000783

Approved
Clean Water Services
FOR ENV. PLAN REVIEW
By AW Date 6/8/09

Native Plant Communities and Species Diversity

Function: Support of Characteristic Vegetation

The native plant community and species diversity rates low for the wetland and buffer. The wetland and buffer are dominated by non native and noxious plants. Support of characteristic vegetation functions will be improved by planting native trees and shrubs and removing the invasive Himalayan blackberry and non-native grasses in the buffer. SPL Attachment
6 of 8

5.5 On Site Vegetated Corridor Enhancement

The area of regulated on site VC to be enhanced is 6,009 square feet/0.14 acre (Figure 9). The on-site VCs will be enhanced by removing noxious/invasive species and planting native trees, shrubs, herbaceous cover, and an herbaceous seed mix. The existing vegetation will need to be taken into consideration when preparing a landscape plan.

Table 5 lists native plants recommended for installation throughout the vegetated corridor. The plant species were chosen for their suitability to the soils and hydrology of the site, and their natural occurrence in the area.

Table 5. Suggested On Site VC Enhancement Plantings

Botanical Name	Common Name	Minimum rooting size
TREES		60 Total TREES Req'd.
<i>Acer circinatum</i>	Vine maple	2 gallon
<i>Acer macrophyllum</i>	Big leaf maple	2 gallon
<i>Crataegus douglasii</i>	Douglas hawthorn	2 gallon
SHRUBS		300 Total Shrubs Req'd.
<i>Amelanchier alnifolia</i>	Western serviceberry	1 gallon
<i>Berberis aquifolium</i>	Tall Oregon grape	1 gallon
<i>Lonicera involucrata</i>	Black twinberry	1 gallon
<i>Oemleria cerasiformis</i>	Indian plum	1 gallon
<i>Polystichum munitum</i>	Sword fern	1 gallon
<i>Ribes sanguineum</i>	Red flowering current	1 gallon
<i>Rosa nutkana</i>	Nootka rose	1 gallon
<i>Symphoricarpos albus</i>	Snowberry	1 gallon
HERBACEOUS SEED MIX		Application rate
<i>Agrostis exarata</i>	Spike bentgrass	8 lbs per acre
<i>Bromus carinatus</i>	California brome	10 lbs per acre
<i>Elymus glaucus</i>	Blue wildrye	10 lbs per acre

Enhancement will be consistent with Clean Water Services' standards (R&O 07-20). The overall goal of the enhancement is to restore the corridor to 'Good' condition, as required.

5.6 Off Site Vegetated Corridor Mitigation

Mitigation for impacts to the VC are proposed at Woodhaven Park located approximately 1.2 miles southeast of the proposed project (Figure 1). The 7-acre park is owned and operated by the City of Sherwood located at 17375 Sunset Boulevard (Township 2 South, Range 1 West, Section 31 Tax lots 1800, 1900, 2000). The proposed mitigation site will be located on tax lot 1900 (Figures 10A and B). The mitigation site was selected because it is within park property

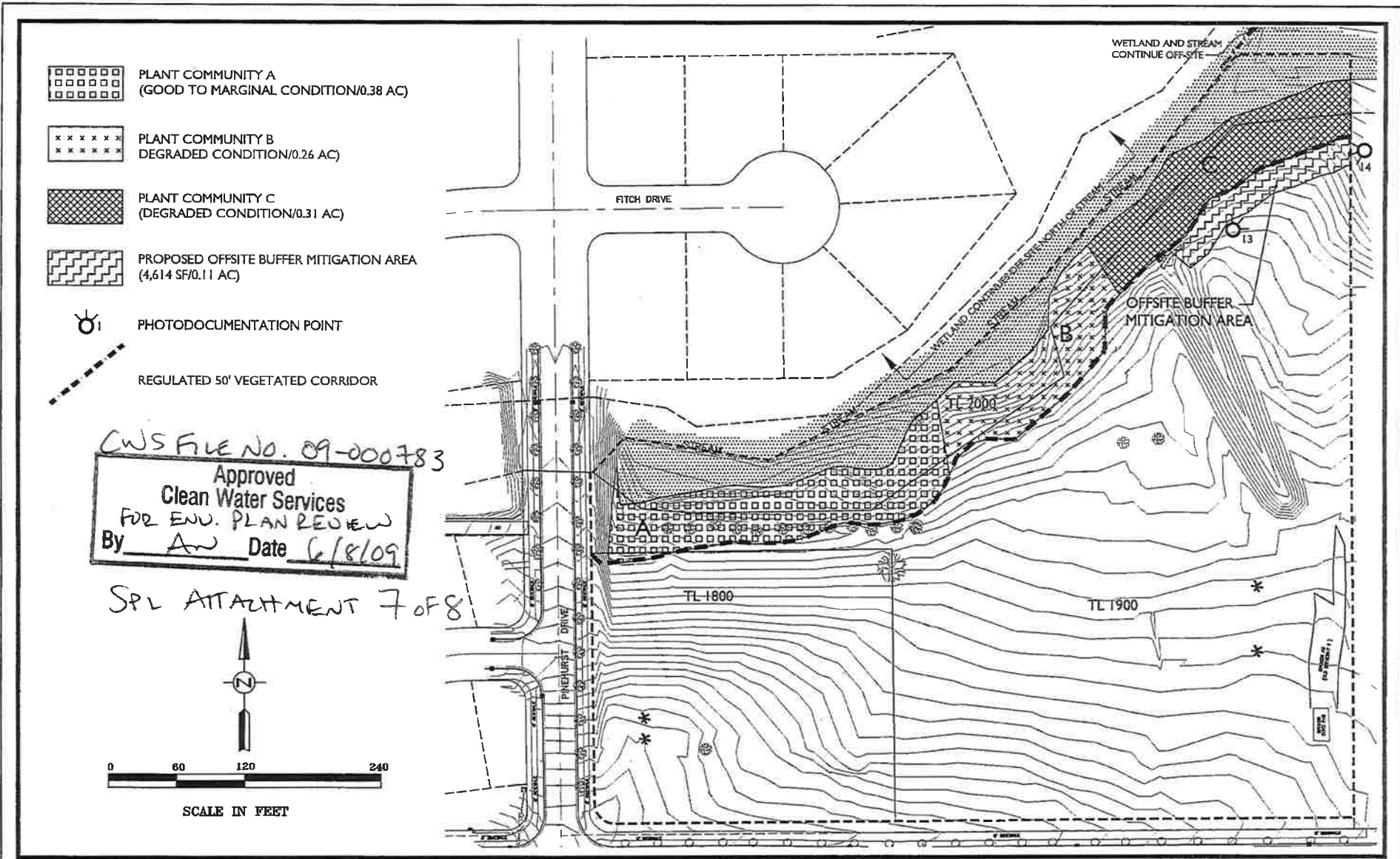


FIGURE
10A

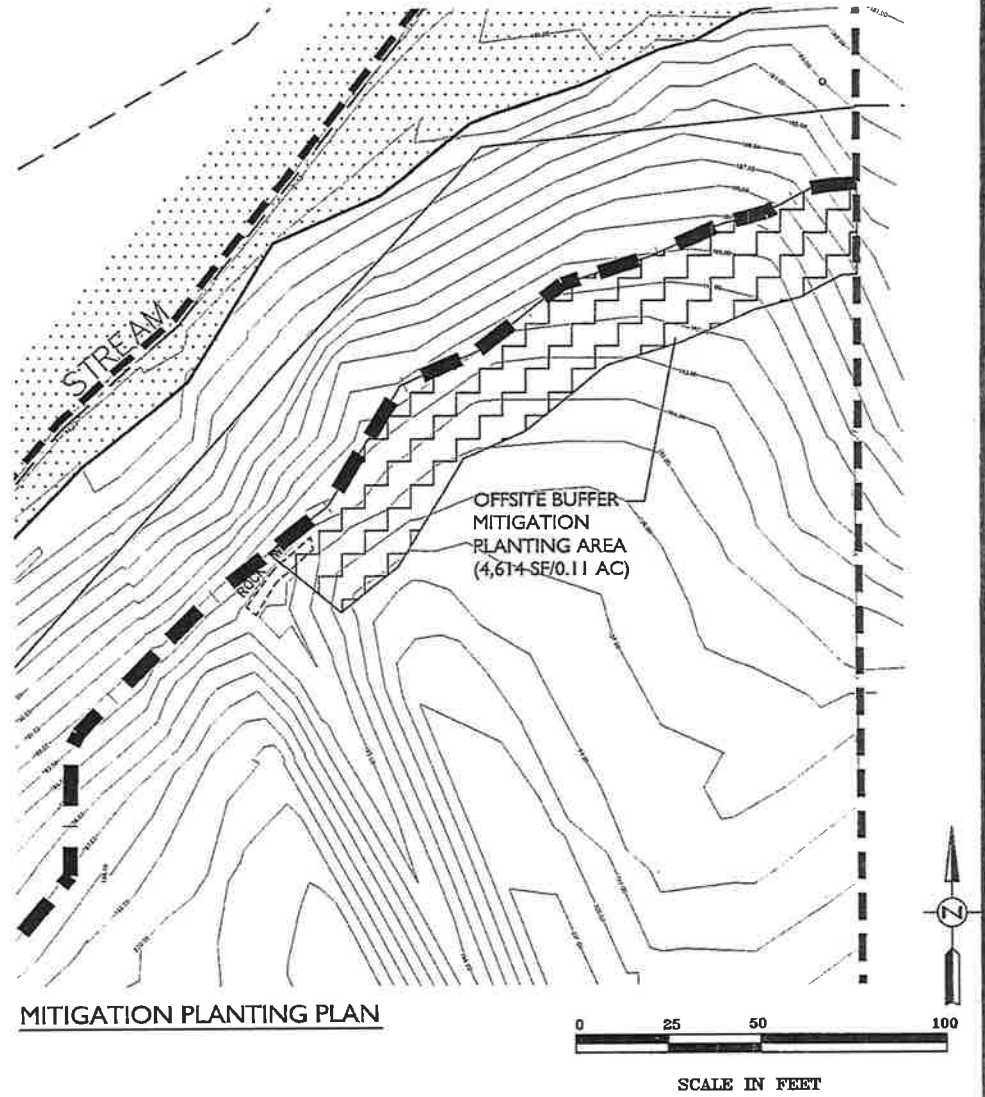
Location of proposed offsite buffer mitigation area at Woodhaven Park in Sherwood, Oregon.
Base map provided by Westlake Consultants, 2001.

4408
5/5/09



PLANT LIST

Botanical Name	Common Name	Size	Quantity
TREES			46
<i>Acer circinatum</i>	Vine maple	2 gallon	12
<i>Acer macrophyllum</i>	Big leaf maple	2 gallon	10
<i>Crataegus douglasii</i>	Douglas hawthorn	2 gallon	10
<i>Pseudotsuga menziesii</i>	Douglas fir	2 gallon	14
SHRUBS			231
<i>Amelanchier alnifolia</i>	Western serviceberry	1 gallon	26
<i>Berberis aquifolium</i>	Tall Oregon grape	1 gallon	30
<i>Lonicera involucrata</i>	Black twinberry	1 gallon	30
<i>Oemleria cerasiformis</i>	Indian plum	1 gallon	25
<i>Polystichum munitum</i>	Sword fern	1 gallon	30
<i>Ribes sanguineum</i>	Red flowering current	1 gallon	30
<i>Rosa nutkana</i>	Nootka rose	1 gallon	30
<i>Symphoricarpos albus</i>	Snowberry	1 gallon	30
SEED MIX		Rate	
<i>Agrostis exarata</i>	Spike bentgrass	8 lbs per acre	0.14 lbs
<i>Bromus carinatus</i>	California brome	10 lbs per acre	0.11 lbs
<i>Elymus glaucus</i>	Blue wildrye	10 lbs per acre	0.11 lbs



CWS FILE NO. 09-000783

Approved
 Clean Water Services
 FOR ENV. PLAN REVIEW
 By AW Date 6/8/09

SPL ATTACHMENT 8 of 8

FIGURE
 10B

Proposed offsite buffer mitigation planting plan at Woodhaven Park in Sherwood, Oregon.
 Base map provided by Westlake Consultants, 2001.

4408
 5/5/09



City of Sherwood
Sherwood Cannery Square Land Use Application
Additional Narrative Addressing Conditional Land-Use Criteria

August 18, 2010

A. All public facilities and services to the proposed use, including but not limited to sanitary sewers, water, transportation facilities, and services, storm drains, electrical distribution, park and open space and public safety are adequate; or that the construction of improvements needed to provide adequate services and facilities is guaranteed by binding agreement between the applicant and the City.

Response: The applicant received approval of the Cannery Square PUD on March 2, 2010 (PUD 09-01). Many of the streets within the PUD are undeveloped or underdeveloped. The applicant proposes to improve all streets with pavement, utilities and drainage.

Since approval of the PUD, final engineering plans were submitted for construction of all public improvements within the development including water, sanitary sewer, storm water, streets and electrical distribution. These plans have been reviewed and approved by the City of Sherwood and are currently out for construction bidding. This review and completion of plans included coordination with Portland General Electric who provides electrical services and Clean Water Services who reviews these plans for storm water compliance. The streets and utilities are anticipated to be installed and completed by the end of 2010.

As part of the preliminary PUD, DKS Associates working for the applicant prepared a traffic study dated January 2009. The study identified on-site and off-site improvements that need to be completed to support the phased development of the PUD. The applicant has been conditioned to complete these improvements and has agreed to install them per the recommendations of the traffic study.

Open space is a requirement of a PUD. Section 16.40.020(C)(2) requires 15% of the developable area of the PUD and 5% for areas close to existing public parks or libraries. The applicant proposed to complete the plaza as part of their obligation under the PUD and meet the 5% requirement.

Therefore the applicant is proposing to provide all need public facilities and services as required by this approval criterion.

B. Proposed use conforms to other standards of the applicable zone and is compatible with abutting land uses in regard to noise generation and public safety.

Response: The preliminary PUD set the standards for development. The applicant has demonstrated that all conditions of approval of the PUD have been complied with. Further, the plaza itself is a support component of the PUD and is required to be provided with the PUD.

No noise concerns or public safety concerns in relationship to the public plaza have been identified through the preliminary PUD approval process.

C. The granting of the proposal will provide for a facility or use that meets the overall needs of the community and achievement of the goals and/or policies of the Comprehensive Plan, the adopted City of Sherwood Transportation System Plan and this Code.

Response: The plaza will be public and is intended to provide a central outdoor meeting area for the entire City and therefore will serve an important public purpose and function.

The proposal complies with the Comprehensive Plan as follows:

Chapter 3 – Growth Management

Policy Objective 2.a - Focus growth into areas contiguous to existing development rather than "leap frogging" over developable property.

Policy Objective 2.b - Encourage development within the present city limits, especially on large passed-over parcels that are available.

Response: Clearly this redevelopment site within Old Town Sherwood will focus development next to the oldest area of town within the central core and prevents leap frog development by redeveloping an area that has been vacant and run down for many years.

The public plaza will bring people downtown to live and work and to enjoy the outdoor space.

Economic Policy 5 The City will seek to diversify and expand commercial and industrial development in order to provide nearby job opportunities, and expand the tax base.

Strategy:

**The City will encourage the revitalization of the Old Town Commercial area by implementation of 1983's "Old Town Revitalization Plan" and the Old Town Overlay Zone.*

Response: The City expanded the Old Town Overlay District to include the Old Cannery area in the early 2000s. The proposal to redevelop the Old Cannery to mixed use planned development will meet the requirements of the Old Cannery District standards and therefore is consistent with planning efforts for Old Town Sherwood. Further, providing the public plaza allows for open space in the downtown area that meets with the scale and urban nature of Old Town encouraging revitalization of Old Town.

Commercial Policy #2 - Commercial uses will be developed so as to complement rather than detract from adjoining uses.

**The older downtown commercial area will be preserved as a business district and unique shopping area.*

Response: The plaza will blend with the brick-themed design of the buildings proposed with the Cannery Square PUD. The size of the plaza as an urban hardscape area will compliment the scale and look of the existing Old Town Area.

Community Design Policy 1 - The City will seek to enhance community identity, foster civic pride, encourage community spirit, and stimulate social interaction through regulation of the physical design and visual appearance of new development.

Strategy:

**Develop a civic/cultural center and plaza park as a community focus.*

Response: The proposed plaza is intended to be the plaza park as envisioned by this policy. Further, the existing library north of the plaza and proposed cultural center west of the plaza will center the plaza around the civic/cultural center of the community.

D. Surrounding property will not be adversely affected by the use, or that the adverse effects of the use on the surrounding uses, the neighborhood, or the City as a whole are sufficiently mitigated by the conditions proposed.

Response: Surrounding property will include additional phases of the PUD and the public library. The plaza and building design as approved with the preliminary PUD is intended to compliment the scale of the development and integrate the outside use with the commercial development that is of pedestrian scale. Therefore the plaza has been design to integrate and compliment the surrounding properties.

No adverse impacts to surrounding properties have been identified.

E. The impacts of the proposed use of the site can be accommodated considering size, shape, location, topography and natural features.

Response: The impacts of the plaza use are anticipated to be positive impacts. The plaza will provide a central meeting space for the City and the site has been selected so it is close to the existing library/city hall and proposed cultural center. This will create a public city center in Old Town as envisioned by the Comprehensive Plan.

F. The use as proposed does not pose likely significant adverse impacts to sensitive wildlife species or the natural environment.

Response: The site contains non sensitive areas as determined by Clean Water Services and the Service Provider Letter issued for the Cannery Square PUD project.

G. For a proposed conditional use permit in the Neighborhood Commercial (NC), Office Commercial (OC), Office Retail (OR), Retail Commercial (RC), General Commercial (GC), Light Industrial (LI), and General Industrial (GI) zones, except in the Old Town Overlay Zone, the proposed use shall satisfy the requirements of Section 16.108.080 Highway 99W Capacity Allocation Program, unless excluded herein.

Response: Does not apply. The proposal is within the Old Town Overlay Zone.

SHERWOOD CANNERY SQUARE - FINAL DEVELOPMENT PLAN

OWNER:
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22560 SW PINE STREET
SHERWOOD, OR 97140
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ECONOMIC DEVELOPMENT DIRECTOR
PH. 503-625-5922

DEVELOPER:
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PORTLAND, OR 97209
CONTACT: JEFF SACKETT, PRINCIPAL
PH. 503-226-1972

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PH. 503-221-1131

ARCHITECT
ANKROM MOISAN ARCHITECTS
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PORTLAND, OR 97219
CONTACT: MURRAY JENKINS, PRINCIPAL
PH. 503-892-1335

ELECTRICAL ENGINEER
SPARLING
111 SW 5TH AVE, SUITE 1575
PORTLAND, OR 97204
CONTACT: MICHAEL HENNING
PH. 503-273-0081

FOUNTAIN DESIGN
FOUNTAIN TECHNOLOGY AND DESIGN, INC.
5637 SW CHELTENHAM DRIVE
PORTLAND, OR 97239
CONTACT: JOHN NARIZNY
503-245-7800



SHEET INDEX

- L001 PUD DEVELOPMENT ILLUSTRATIVE
- L002 PLAZA ILLUSTRATIVE
- L003 PLAZA PERSPECTIVES
- L004 PLAZA PERSPECTIVES
- L101 EXISTING CONDITIONS PLAN
- L102 MATERIALS PLAN
- L103 CANOPY LAYOUT PLAN
- L201 GRADING PLAN
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- L302 EROSION LEGEND
- L401 PLANTING PLAN
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- L502 DETAILS
- A100 CANOPY DETAILS
- C1.0 SITE UTILITY PLAN
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- E0.0 ELECTRIC SYMBOLS
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- E4.1 ELECTRICAL DETAILS
- E5.1 LIGHTING PLAN
- WF1 PIPING DIAGRAMS
- WF2 EQUIPMENT DIAGRAMS

LANGO HANSEN
 LANDSCAPE ARCHITECTS PC
 239 NW 13TH AVE #311 PORTLAND OR 97209 T. 503.295.2467

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON
 CAPSTONE PARTNERS LLC.

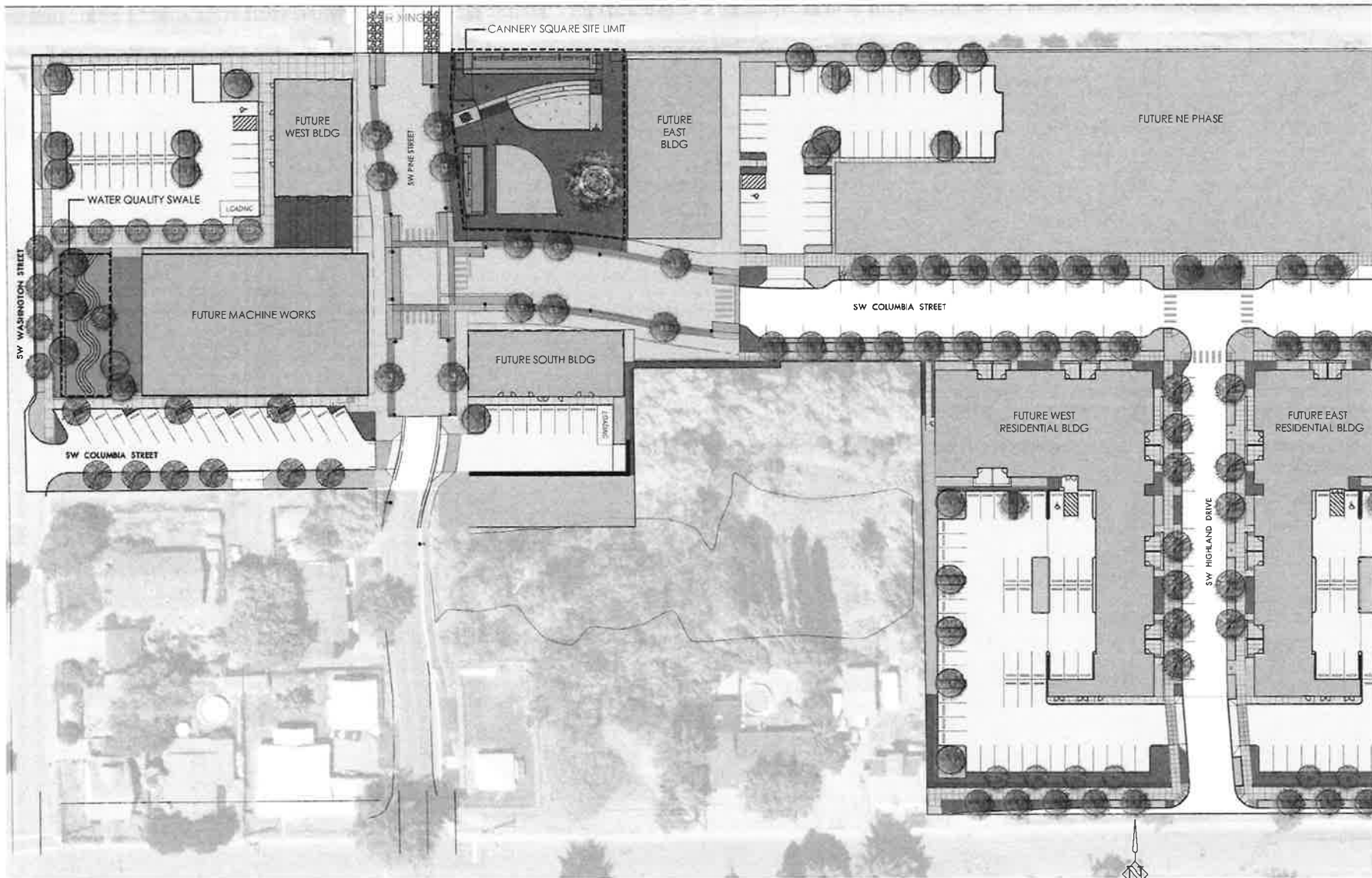
FINAL DEVELOPMENT PLAN
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DATE 05.21.10
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lango+hansen
 LANDSCAPE ARCHITECTS PC
 239 NW 15th + 311 Portland OR 97208 T 503 255 2437

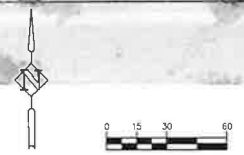
SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON

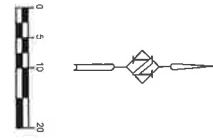
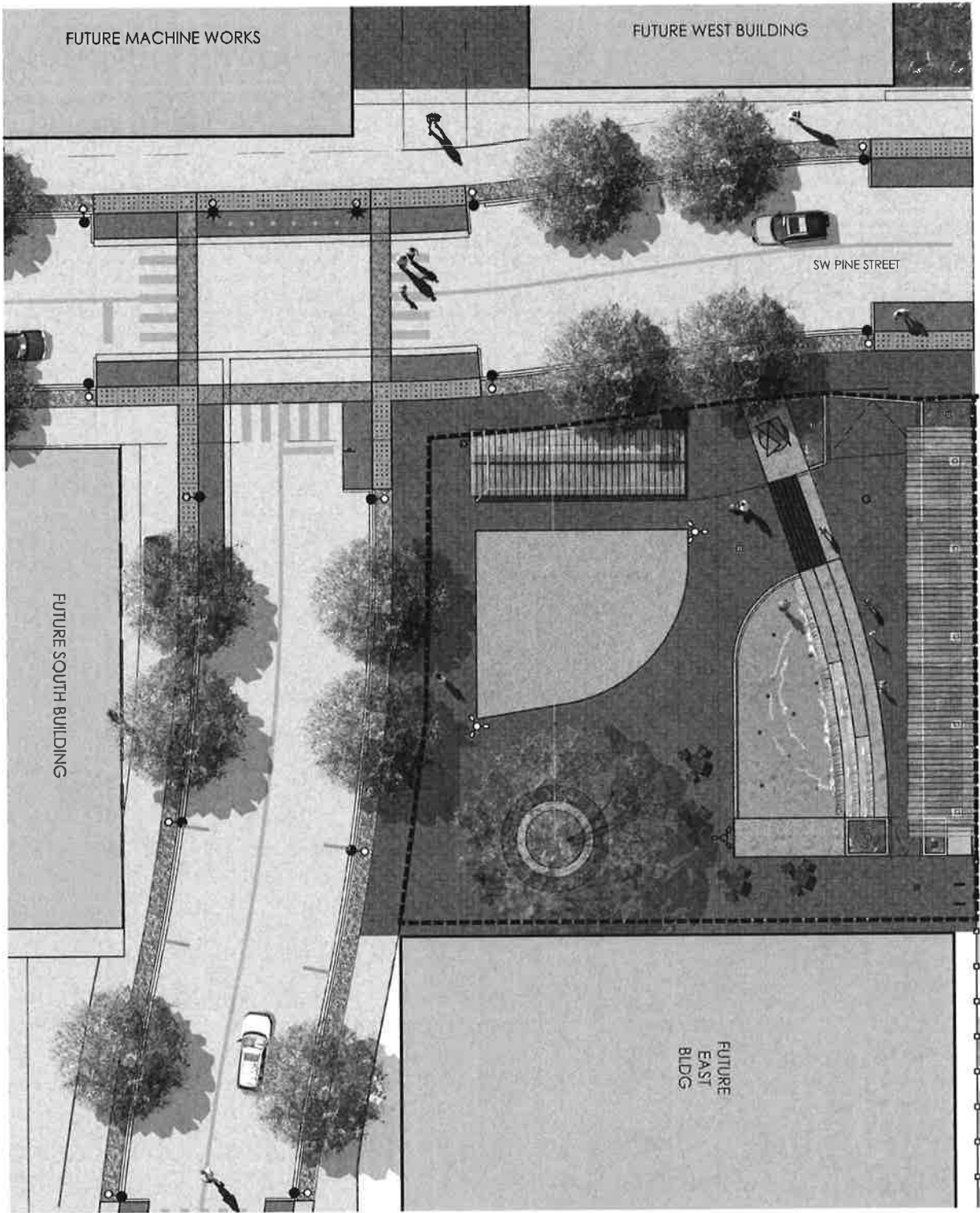
FINAL DEVELOPMENT PLAN
 PUD DEVELOPMENT
 ILLUSTRATIVE PLAN

REVISIONS

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L001



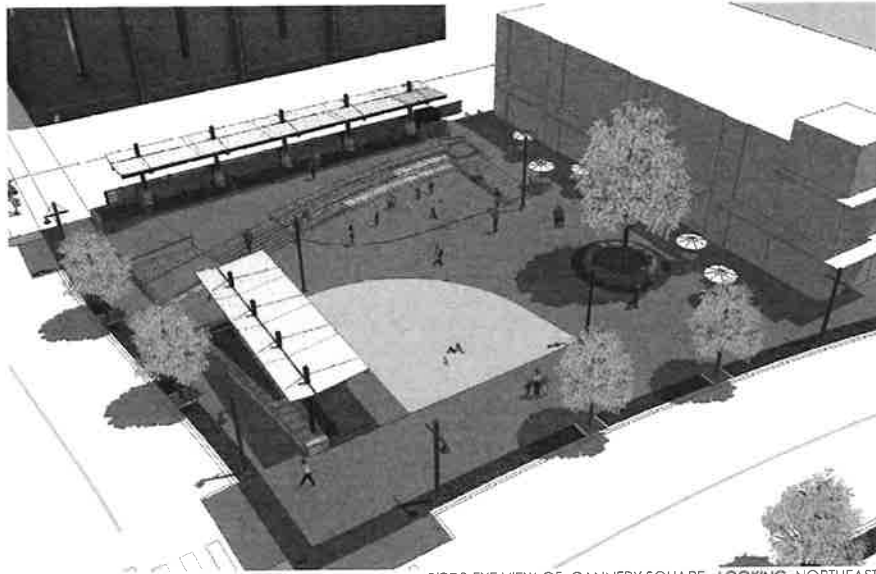
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FINAL DEVELOPMENT PLAN
 PLAZA
 ILLUSTRATIVE PLAN
 SHERWOOD

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON

lango, hansen LANDSCAPE ARCHITECTURE
 239 nw 13th #311 portland OR 97209 T 503.295.2437



BIRDS-EYE VIEW OF CANNERY SQUARE, LOOKING NORTHEAST



BIRDS-EYE VIEW OF CANNERY SQUARE, LOOKING SOUTHWEST

longo.hansen
ARCHITECTS
235 NW 35th, #311
SHERWOOD, OR 97130 T 503.995.2437

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON

FINAL DEVELOPMENT PLAN

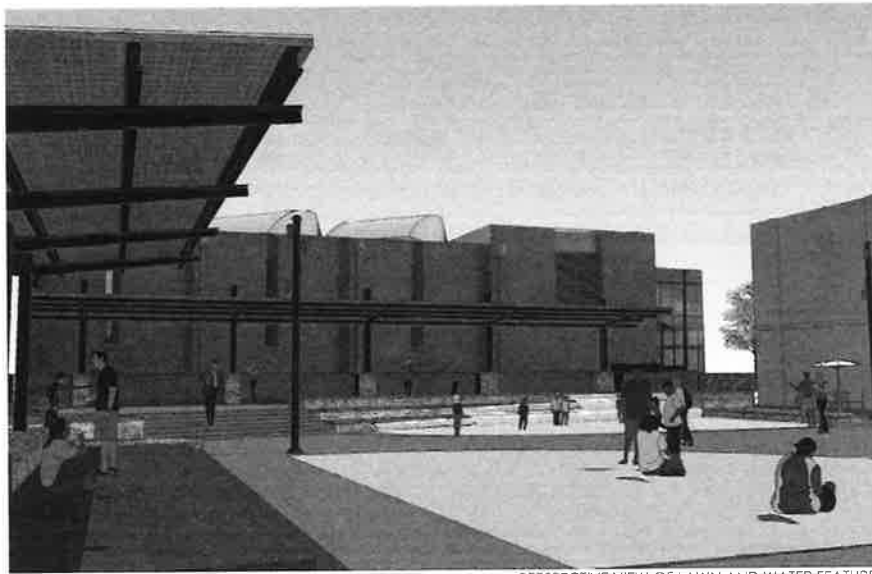
PLAZA
PERSPECTIVE

REVISIONS

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DATE 05.21.10
PROJECT NO. 1005

SHEET

L003



PERSPECTIVE VIEW OF LAWN AND WATER FEATURE



PERSPECTIVE VIEW OF PLAZA WITH HERITAGE TREE

tango-hansen ARCHITECTS
 235 NW 13th, 4th Floor Portland, OR 97209 T 503 295 2437

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON

FINAL DEVELOPMENT PLAN

PLAZA
PERSPECTIVE

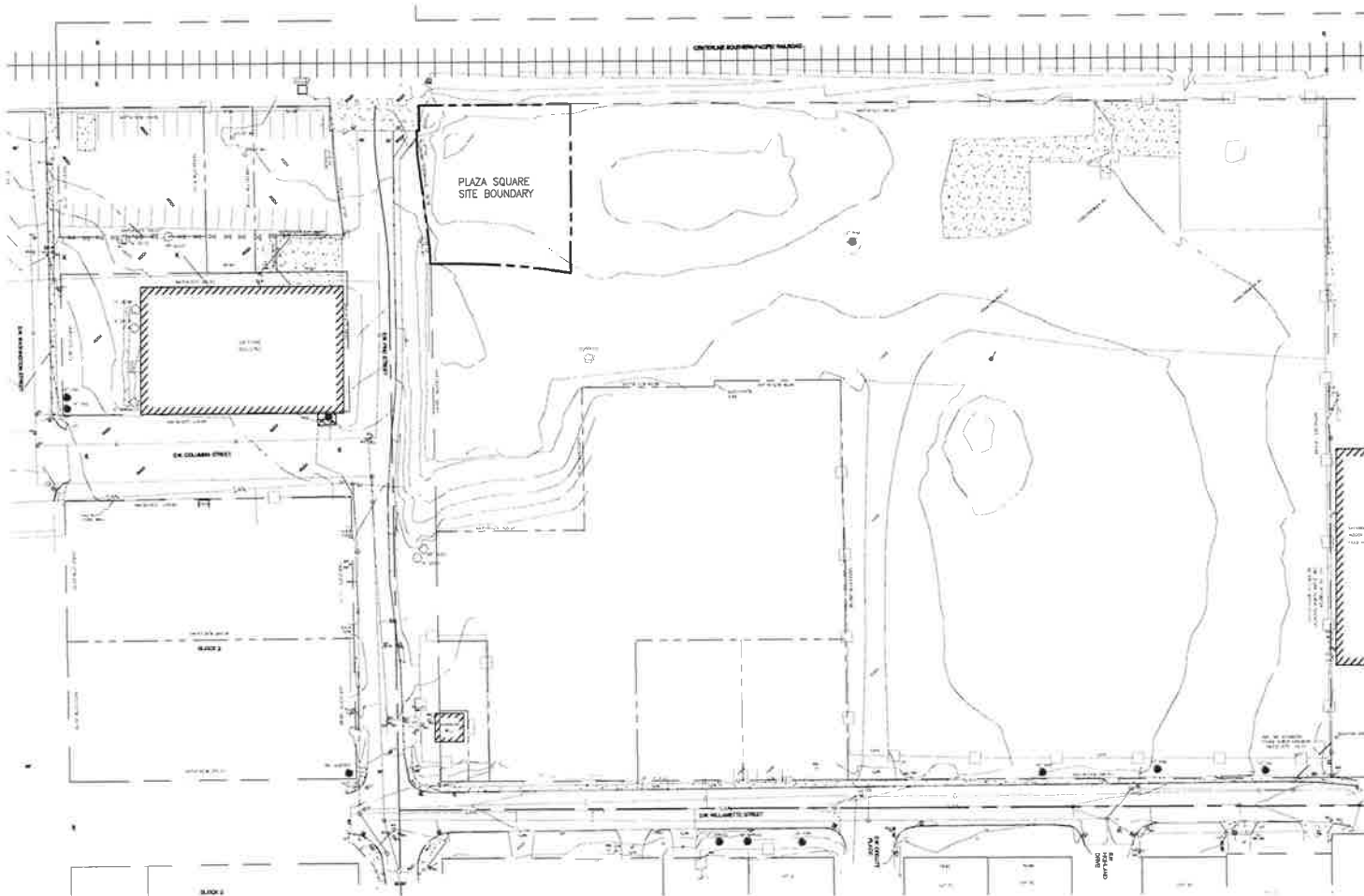
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 DATE: 05.21.10
 PROJECT NO: 1005

SHEET

L004



1 EXISTING CONDITIONS PLAN

EXISTING CONDITIONS

- SITE BOUNDARY
- - - ROW BOUNDARY
- ROAD CENTER LINE
- SS- SANITARY SEWER
- S- STORM SEWER
- G- GAS LINE
- W- WATER LINE
- E- ELECTRICAL LINE
- E/T- OVERHEAD ELECTRICAL/TELEPHONE LINE
- T- TELEPHONE LINE
- D- FENCE

ABBREVIATIONS

- | | |
|-------|-----------------------------|
| AC | ASPHALTIC CONCRETE |
| AD | AREA DRAIN |
| BP | BALLARD POST |
| CB | CATCH BASIN |
| C | CENTERLINE |
| CONC | CONCRETE |
| CSO | CABLE BOX |
| CCP | CONCRETE CULVERT PIPE |
| CO | CLEAN OUT |
| D/W | DRIVEWAY |
| DECID | DECIDUOUS TREE |
| EB | ELECTRIC BOX |
| EP | ELECTRIC PANEL |
| ET | ELECTRIC TRANSFORMER |
| FH | FIRE HYDRANT |
| FO | FIBEROPTICS |
| FOV | FIBER OPTIC VAULT |
| GA | GUY ANCHOR |
| ICV | IRRIGATION CONTROL VALVE |
| IR | IRON ROD |
| RP | IRON PIPE |
| IE | INVERT ELEVATION |
| LP | LIGHT POLE |
| MB | MAILBOX |
| MH | MANHOLE |
| PP | POWERPOLE |
| PVC | PVC CONDUIT UNKNOWN UTILITY |
| RD | ROOF DRAIN |
| SP | SIGN POST |
| SPK | SPRINKLER CONTROL BOX |
| S/W | SIDEWALK |
| TF | TELEPHONE PEDESTAL |
| WV | WATER VALVE |
| WM | WATER METER |
| UG | UNDERGROUND UTILITIES |
| UR | UTILITY RISER |
| UV | UTILITY VAULT |
| VB | VALVE BOX |

NOTES

1. THIS PLAN IS BASED ON A SURVEY BY CASWELL/HERTEL SURVEYORS, INC DATED JULY 24, 2008. NOTIFY ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. VERTICAL DATUM=NGVD 29 FROM GPS MEASUREMENTS TO WASH. CO. BM NO. 163 BEING A BRASS DISK BETWEEN NORTH BOUND AND SOUTH BOUND LANES OF HIGHWAY 99W; 52 FEET NORTH OF CENTERLINE OF BROOKMAN/CHAPMAN ROAD. SET IN CONCRETE FILLED WITH METAL. ELEVATION: 271.62'
3. CONTOUR INTERVALS ARE ONE FOOT.
4. ALL BURIED UTILITIES MAY NOT BE SHOWN.

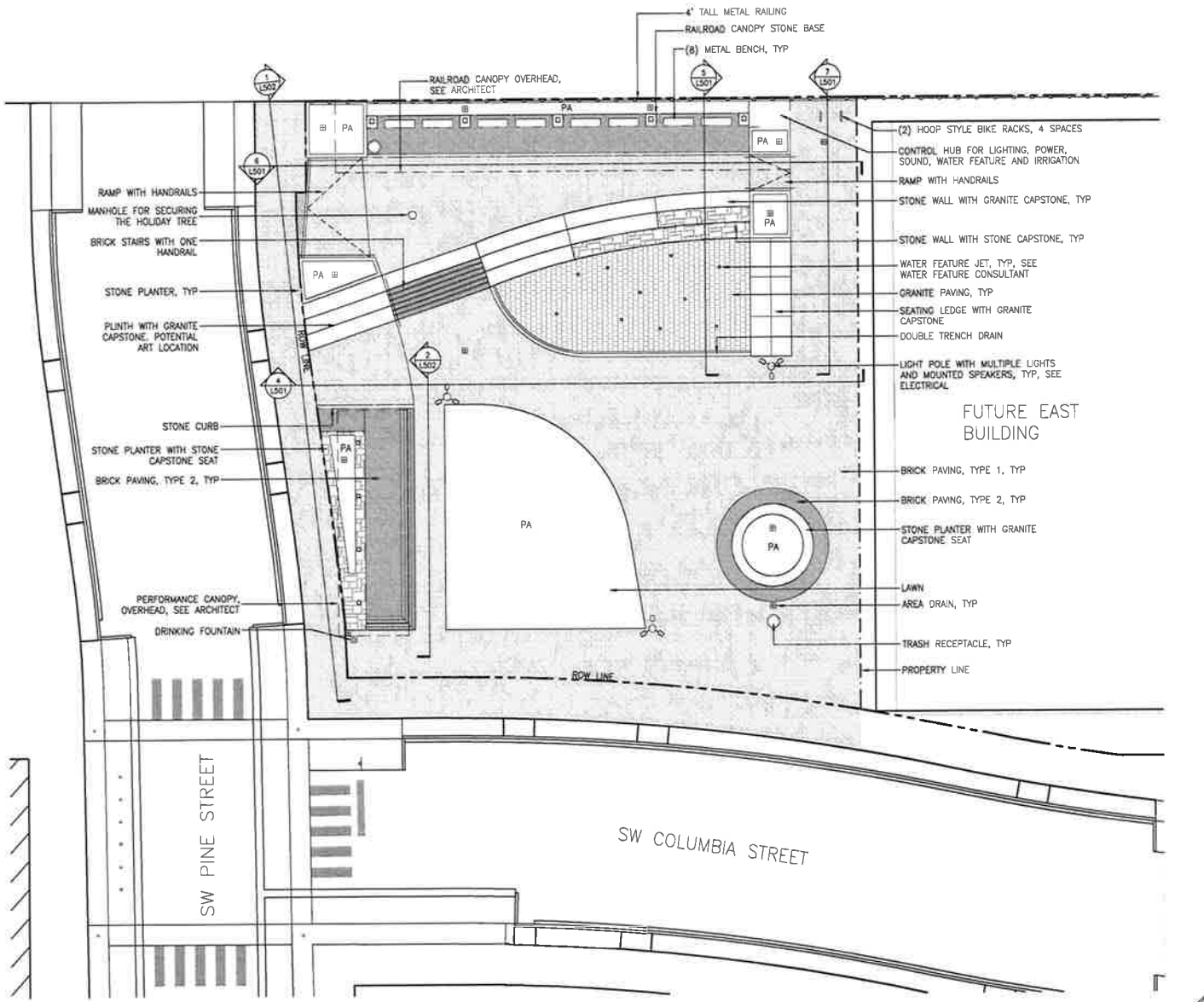
langlo, hansen
LANDSCAPE ARCHITECTS PC
238 NW 13th *313 Portland OR 97209 T 503 255 2437

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON
CAPSTONE PARTNERS LLC.

FINAL DEVELOPMENT PLAN
EXISTING CONDITIONS

SCALE	1" = 40' - 0"
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DATE	05.21.10
PROJECT NO	1005
SHEET	L101



MATERIALS LEGEND

- BRICK PAVING ON CONC SLAB, TYPE 1
- BRICK PAVING ON CONC SLAB, TYPE 2
- GRANITE PAVING
- GRANITE CAPSTONE
- NATURAL STONE CAPSTONE
- PLANTING AREA
- PROPERTY LINE
- ROW LINE
- CANOPY OVERHEAD
- STREETLIGHT, BY OTHERS
- SITE LIGHT, SEE ELECTRICAL
- METAL BENCH
- TRASH RECEPTACLE
- BIKE RACKS
- DRINKING FOUNTAIN
- CATCH BASIN OR AREA DRAIN, SEE CIVIL UTILITY PLAN
- MANHOLE FOR HOLIDAY TREE

ABBREVIATIONS

- | | |
|-------|----------------|
| ARCH | ARCHITECTURAL |
| CONC | CONCRETE |
| DWG | DRAWINGS |
| EQ | EQUAL |
| NO | NUMBER |
| O.C. | ON CENTER |
| PA | PLANTING AREA |
| SIM | SIMILAR |
| SPECS | SPECIFICATIONS |
| TYP | TYPICAL |
| W/ | WITH |

MATERIALS NOTES

- THIS PLAN IS BASED ON A SITE SURVEY BY CASWELL/HERTEL SURVEYORS, INC; DATED JULY 24, 2008. NOTIFY ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
- SEE L103 FOR LOCATION OF CANOPIES

1 MATERIALS PLAN



WAREHOUSES ARCHITECTS PC
 239 NW 13th A311, Portland OR 97209 • tel: 253.2437
 lango_hansen

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON

CA/STONE PARTNERS LLC.

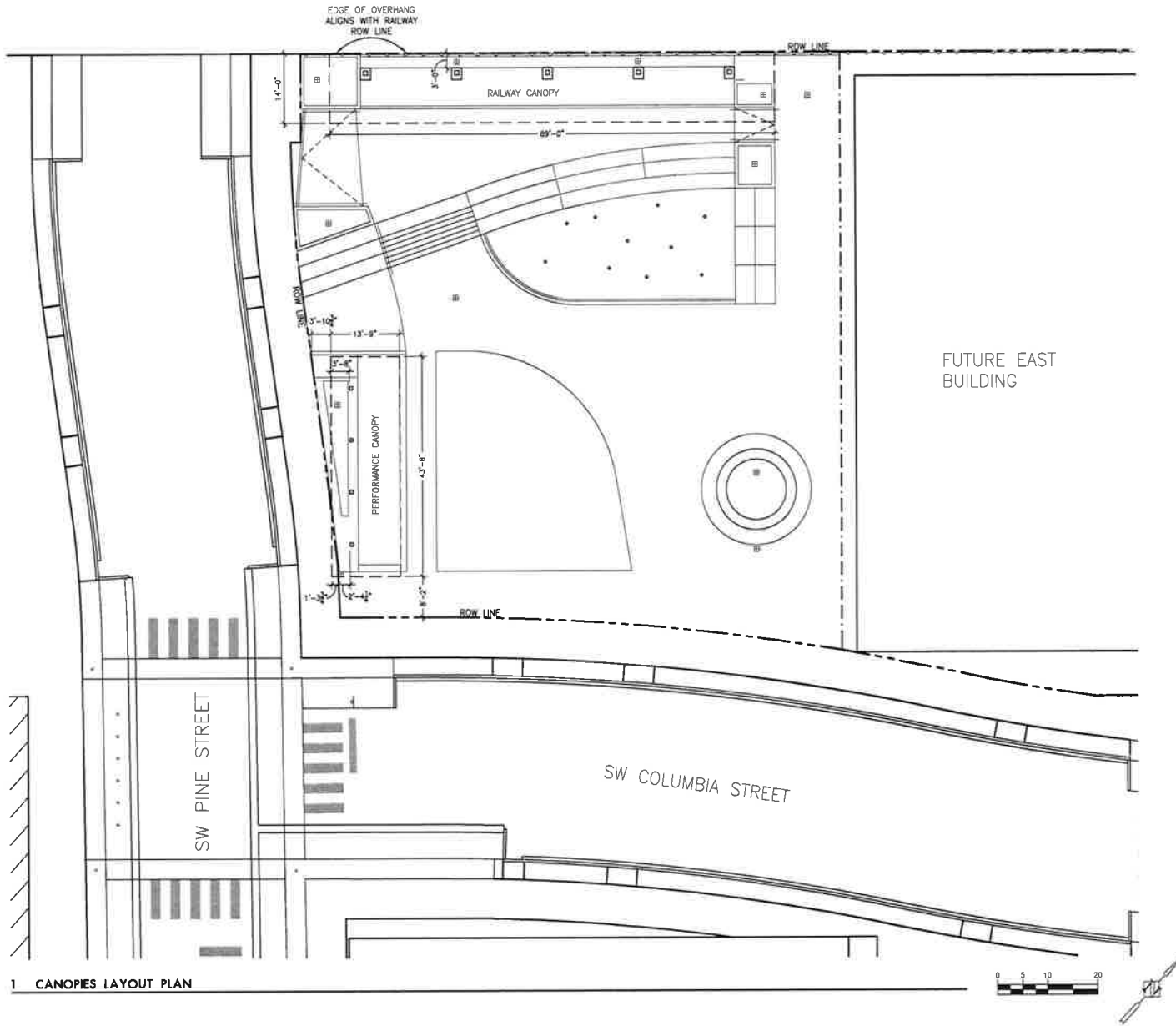
FINAL DEVELOPMENT PLAN
MATERIALS PLAN

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 SHEET

L102



1 CANOPIES LAYOUT PLAN

LAYOUT LEGEND

- PROPERTY LINE
- ROW LINE
- CANOPY OVERHEAD

ABBREVIATIONS

ARCH	ARCHITECTURAL
CONC	CONCRETE
DWG	DRAWINGS
EQ	EQUAL
NO	NUMBER
O.C.	ON CENTER
PA	PLANTING AREA
SIM	SIMILAR
SPECS	SPECIFICATIONS
TYP	TYPICAL
W/	WITH

MATERIALS NOTES

1. THIS PLAN IS BASED ON A SITE SURVEY BY CASWELL/HERTEL SURVEYORS, INC; DATED JULY 24, 2008. NOTIFY ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. SEE A100 FOR CANOPY DETAILS

hango.hansen ARCHITECTS PC
 4290 NW 13th, #311 Portland, OR 97209 Tel: 503.295.2437

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON
 CAPSTONE PARTNERS LLC

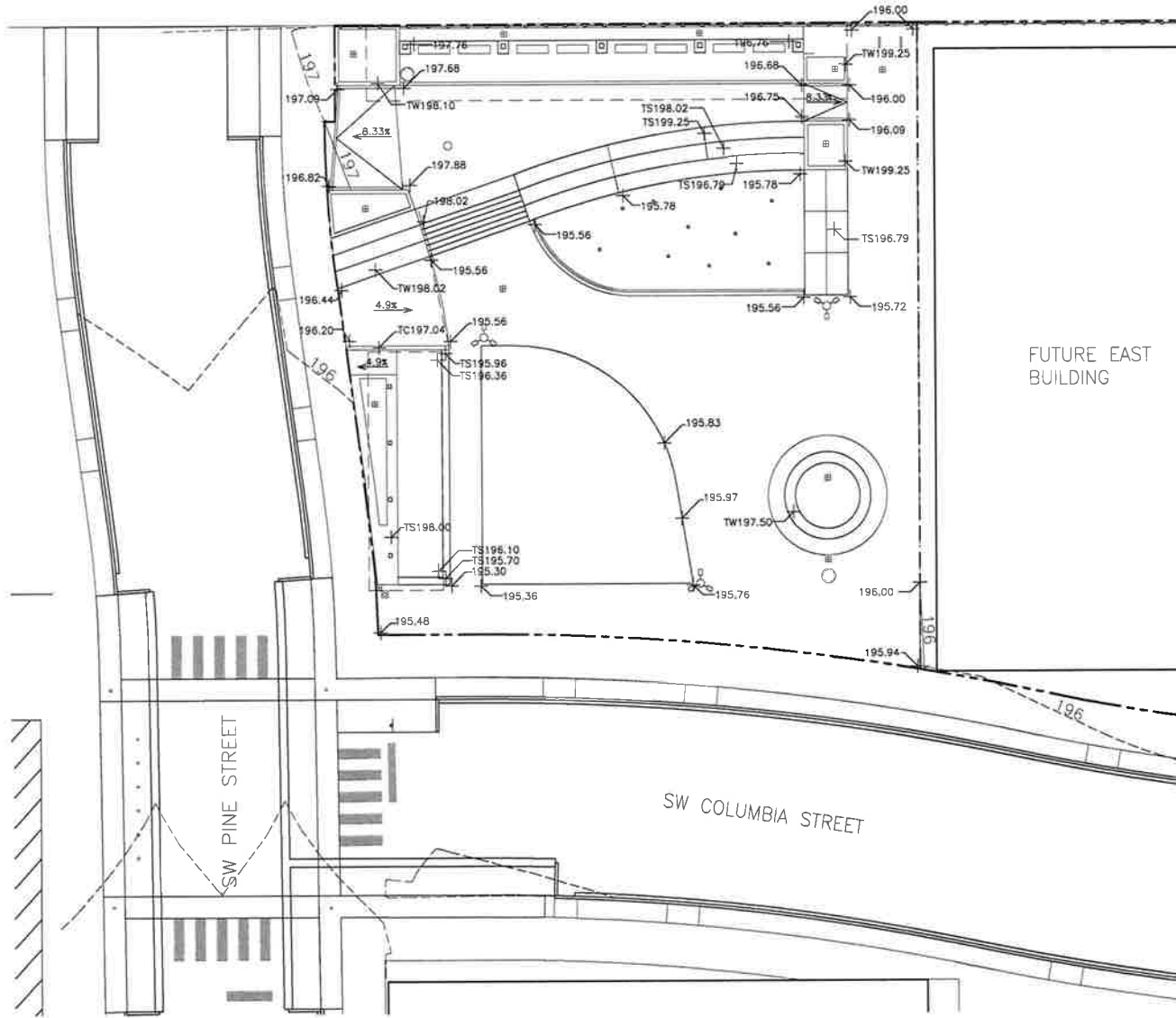
FINAL DEVELOPMENT PLAN
CANOPIES LAYOUT PLAN

REVISIONS

NO.	DATE	DESCRIPTION

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 DATE: 05.21.10
 PROJECT NO: 1005

SHEET
L103



1 GRADING PLAN

GRADING LEGEND

- -387--- EXISTING CONTOUR
- 387 — PROPOSED CONTOUR
- - - - GRADE BREAK LINE
- TS198.00 SPOT ELEVATION
- 8.33% PERCENTAGE OF SLOPE
- ← DIRECTION OF SLOPE
- - - - PROPERTY LINE
- - - - ROW LINE
- ▣ CATCH BASIN OR AREA DRAIN, SEE CIVIL UTILITY PLAN

ABBREVIATIONS

- AD AREA DRAIN (RIM ELEVATION)
- BC BOTTOM OF CURB
- BF BOTTOM OF FOOTING
- BW BOTTOM OF WALL (FINISHED GRADE)
- CB CATCH BASIN (RIM ELEVATION)
- CTV CONTRACTOR TO VERIFY
- EL ELEVATION
- EQ EQUAL
- EX EXISTING
- FFE FINISH FLOOR ELEVATION
- HP HIGH POINT
- IE INVERT ELEVATION
- LP LOW POINT
- MATCH MATCH EXISTING GRADE
- MAX MAXIMUM
- MIN MINIMUM
- RIM RIM ELEVATION
- SIM SIMILAR
- TC TOP OF CURB
- TF TOP OF FOOTING
- TW TOP OF WALL (FINISHED)
- TYP TYPICAL

MATERIALS NOTES

1. THIS PLAN IS BASED ON A SURVEY BY CASWELL/HERTEL SURVEYORS, INC DATED JULY 24, 2008. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. SET STRAIGHT GRADES BETWEEN GIVEN ELEVATIONS UNLESS OTHERWISE INDICATED.
3. GRADE BREAK LINES ARE SHOWN GRAPHICALLY TO ILLUSTRATE DRAINAGE PATTERNS, AND ARE NOT INTENDED TO BE ACTUAL JOINT LINES, UNLESS THEY FALL ON EXPANSION JOINT LOCATIONS.
4. SEE CIVIL DRAWINGS FOR UNDERGROUND UTILITIES AND DRAINAGE FEATURES.
5. SPOT ELEVATIONS TAKE PRECEDENCE OVER LANDSCAPE CONTOURS.
6. DO NOT DISTURB AREAS NOT TO BE GRADED.
7. THIS GRADING PLAN IS TO BE COORDINATED WITH THE STREET PLANS. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES.
8. SITE WILL BE ALL CUT AND STRUCTURAL FILL WILL NOT BE REQUIRED.

HANSELL AND HEFFNER PC
 large_hansen
 239 nw 13th #311, portland, OR 97209 Tel: 255 2437

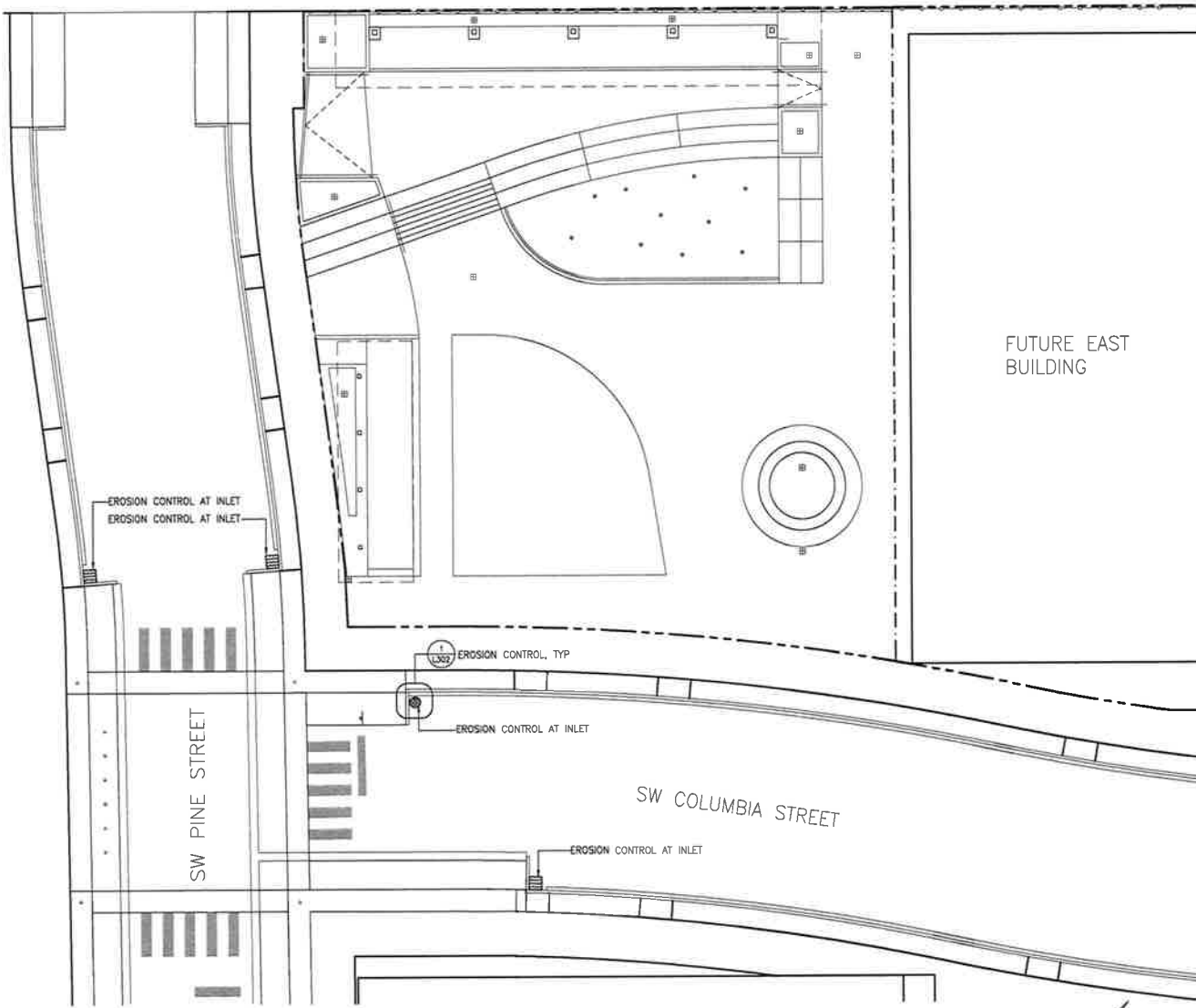
SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON
 CAPSTONE PARTNERS LLC

FINAL DEVELOPMENT PLAN
GRADING PLAN

SCALE	1" = 10' - 0"
DRAWN BY	AJF
DATE	05.21.10
PROJECT NO.	1005
SHEET	

L201



EROSION LEGEND

- - - PROPERTY LINE
- ROW LINE
- CANOPY OVERHEAD
- ☒ ⊗ EROSION INLET CONTROL

NOTE: SEE EROSION CONTROL NOTES ON PAGE L302

1 EROSION CONTROL PLAN

lango, hansen
 2284 ave. l310 #313 pullman wa 99124 * 509.295.2437

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON
 CAPSTONE PARTNERS LLC

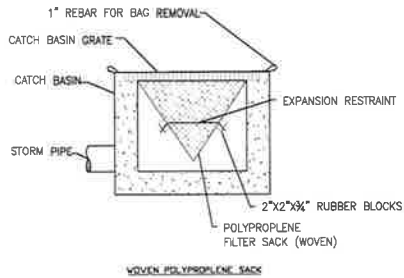
FINAL DEVELOPMENT PLAN
EROSION CONTROL PLAN

REVISIONS

SCALE: 1" = 10' - 0"
 DRAWN BY: AJ
 DATE: 05.21.10
 PROJECT NO: 1005

SHEET

L301



NOTE:

1. RECESSED CURB INLET CATCH BASINS MUST BE BLOCKED WHEN USING FILTER FABRIC INLET SACKS. SIZE OF FILTER FABRIC INLET SACKS TO BE DETERMINED BY MANUFACTURER.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

INLET PROTECTION TYPE 5



2 INLET PROTECTION

Section
NTS

EROSION NOTES

1. THIS PLAN IS BASED ON A SITE SURVEY BY CASWELL/HERTEL SURVEYORS, INC; DATED JULY 24, 2008. NOTIFY ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. ALL EROSION, SEDIMENT AND POLLUTION CONTROL PLAN (ESPCP) MEASURES SHOWN SHALL BE INSTALLED AS PER THE DETAIL DRAWINGS IN CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL MANUAL.
3. TEMPORARY ESPCP MEASURES SHALL BE INSTALLED, INSPECTED AND APPROVED BY SHERWOOD INSPECTOR BEFORE STARTING GROUND DISTURBING ACTIVITIES.
4. ESPCP MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT LANDSCAPING HAS BEEN INSTALLED AND A FINAL INSPECTION HAS BEEN REQUESTED AND APPROVED BY A SHERWOOD INSPECTOR.
5. THE IMPLEMENTATION OF THIS ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES AT NO ADDITIONAL COST TO THE OWNER, IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED, AND LANDSCAPING IS ESTABLISHED.
6. THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS, DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
7. THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BETWEEN OCTOBER 1 AND APRIL 30 BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. ALL INSPECTIONS SHALL BE NOTED IN AN INSPECTION LOG WHICH SHALL BE MADE AVAILABLE TO THE SHERWOOD INSPECTOR UPON REQUEST.
8. THE ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF EVERY TWO WEEKS OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
9. APPLY PERMANENT OR TEMPORARY SOIL STABILIZATION TO DENUDED DEVELOPMENT SITE AREAS IN CONFORMANCE WITH THE FOLLOWING SCHEDULE:
 - BETWEEN OCTOBER 1 AND APRIL 30, ALL DENUDED SITES SHALL IMMEDIATELY BE PROVIDED WITH EITHER TEMPORARY OR PERMANENT SOIL STABILIZATION.
 - BETWEEN MAY 1 AND SEPTEMBER 30, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPLIED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER GROUND DISTURBING ACTIVITY OCCURS.
10. TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE ESTABLISHED.
11. SECURE OR PROTECT SOIL STOCKPILES THROUGHOUT THE PROJECT WITH TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES. THE RESPONSIBLE PARTY IS ACCOUNTABLE FOR THE PROTECTION OF ALL STOCKPILES ON THE SITE, AND THOSE TRANSPORTED FROM THE SITE. DEPOSITION OF SOIL MAY BE SUBJECT TO ADDITIONAL REGULATIONS REQUIRING PERMIT, REVIEW OR EROSION CONTROL.
12. SIGN WITH SHERWOOD'S EROSION CONTROL HOTLINE NUMBER, PROJECT ADDRESS, AND PERMIT NUMBER SHALL BE POSTED AT A LOCATION CLEARLY VISIBLE FROM THE RIGHT OF WAY AND MAINTAINED UNTIL PROJECT COMPLETION.

lango-hansen
239 W. 13th, #311 PORTLAND, OR 97208 * Fax: 253-2437

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON
CAPSTONE PARTNERS LLC

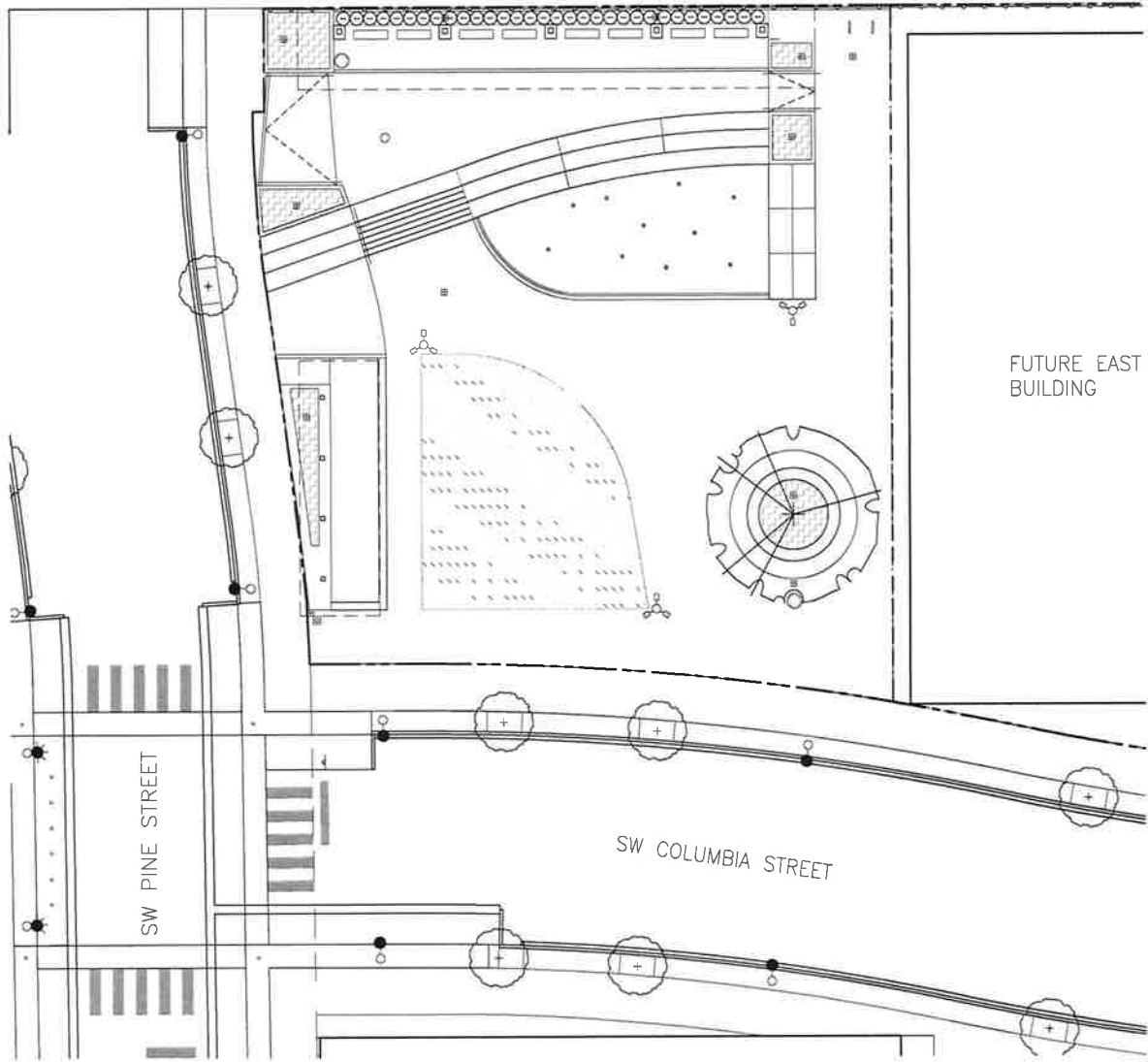
FINAL DEVELOPMENT PLAN
EROSION CONTROL PLAN

REVISIONS

SCALE 1" = 10' - 0"
DRAWN BY AJ
DATE 05/21/10
OF CHG 1005

SHEET

L301



1 PLANTING PLAN

PLANTING LEGEND

- PROPERTY LINE
- ROW LINE
- - - CANOPY OVERHEAD
- STREETLIGHT, BY OTHERS
- ⊙ SITE LIGHT, SEE ELECTRICAL
- ▭ METAL BENCH
- TRASH RECEPTACLE
- || BIKE RACKS
- ⊠ DRINKING FOUNTAIN
- ⊕ STREET TREES, NIC

PLANT SCHEDULE

Symbol	Botanical Name	Common Name	Size/Condition
HERITAGE TREE			
⊕	Gleditsia 'Skyline'	Ash	3" cal./B&B
SHRUBS, PERENNIALS AND GROUNDCOVER			
○	Ilex glabra 'Shamrock'	Shamrock Inkberry	#3/cont.
⊕	Agapanthus 'Blue Heaven'	Blue Heaven African Lily	#1/cont.
⊕	Cistus 'Ann Palmer'	Ann Palmer Rockrose	#2/cont.
⊕	Dianthus deltooides 'Arctic Fire'	Arctic Fire Maiden Pink	#1/cont.
⊕	Hemerocallis 'Stella De Oro'	Stella de Oro Daylily	#2/cont.
⊕	Heuchera 'Green Spice'	Green Spice Coral Bells	#1/cont.
⊕	Lavandula stoechas 'Hazel'	Hazel Lavender	#1/cont.
⊕	Itea virginica 'Little Henry'	Little Henry Sweetspire	#2/cont.
⊕	Spiraea japonica 'Goldmound'	Goldmound Spirea	#2/cont.
TURF			
▨	3-way perennial rye seed mix by Sunmark Seeds		10lbs/1000sf

PLANTING NOTES

1. THIS PLAN IS BASED ON A SITE SURVEY BY CASWELL/HERTEL SURVEYORS, INC; DATED JULY 24, 2008. NOTIFY ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. ALL PLANTING MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
3. CLEAR PLANT BEDS OF ALL GRAVEL AND DEBRIS PRIOR TO SOIL PREPARATION AND PLANTING, FOR APPROVAL BY LANDSCAPE ARCHITECT.
4. ALL PLANTING AREAS ARE TO BE IRRIGATED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM.

lango, hansen
 2597 NW 13th AVE, SUITE 100, PORTLAND, OR 97209 • 503.253.2437

SHERWOOD CANNERY SQUARE

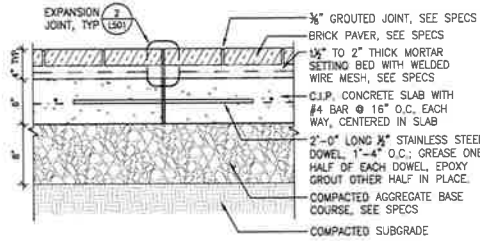
SHERWOOD, OREGON

CAPSTONE PARTNERS LLC.

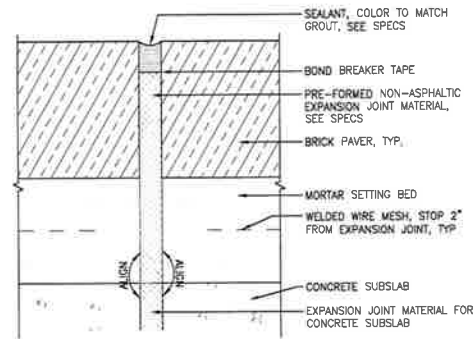
FINAL DEVELOPMENT PLAN
PLANTING PLAN

VISIONS	
SCALE	1" = 10' - 0"
DRAWN BY	AJ
PROJECTING	05.21.10
	1005
SHEET	

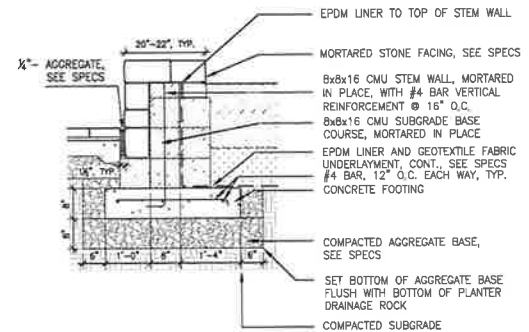
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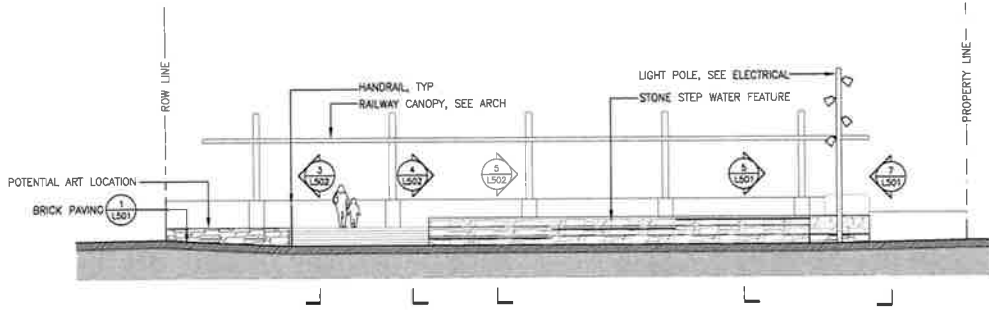
1 BRICK PAVING ON SLAB Section 1-1/2"=1'-0"



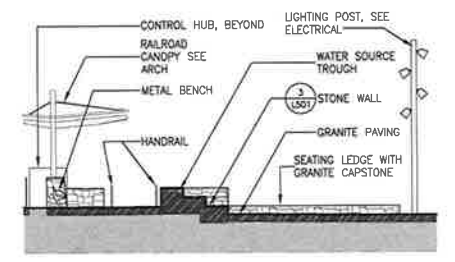
2 BRICK PAVING EXPANSION JOINT Section SCALE



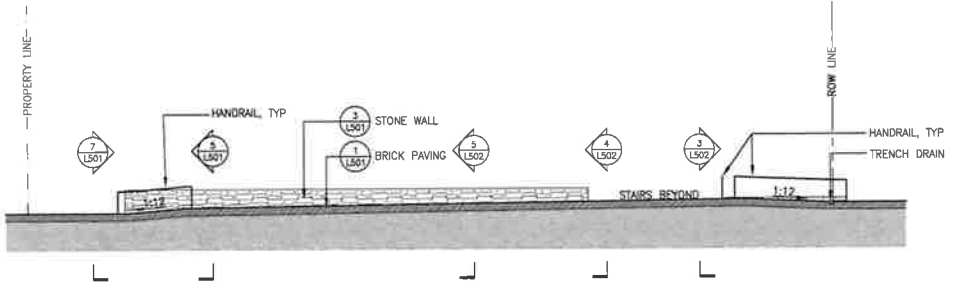
3 STONE CLAD WALL Section 3/4"=1'-0"



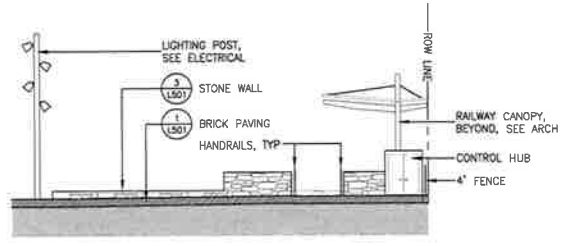
4 PLAZA CROSS SECTION Section 1/8"=1'-0"



5 PLAZA CROSS SECTION Section 1/8"=1'-0"



6 PLAZA CROSS SECTION Section 1/8"=1'-0"



7 PLAZA CROSS SECTION Section 1/8"=1'-0"

lango-hansen ARCHITECTS

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON
CAPSTONE PARTNERS LLC

FINAL DEVELOPMENT PLAN
DETAILS

REVISIONS

NO.	DATE	DESCRIPTION

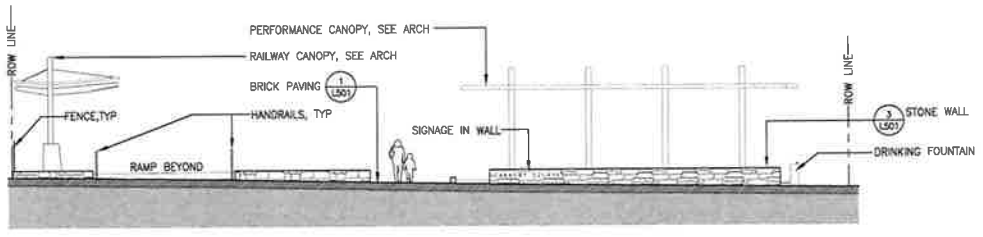
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DRAWN BY	AJ
DATE	05.21.10
PROJECT NO.	1005

SHEET L501

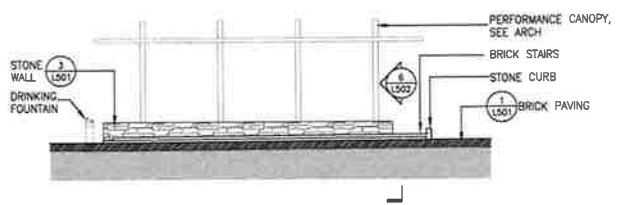
REVISIONS

NO.	DESCRIPTION	DATE

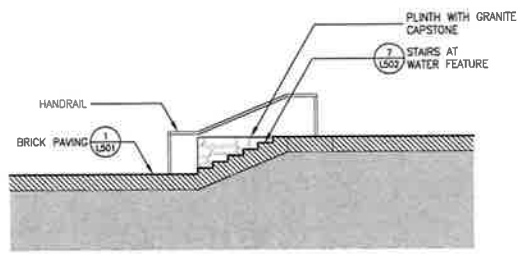
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 DATE: 05.21.10
 PROJECT NO: 1005
 SHEET



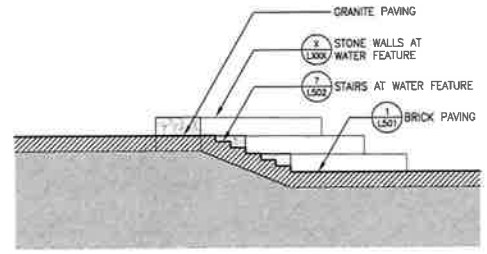
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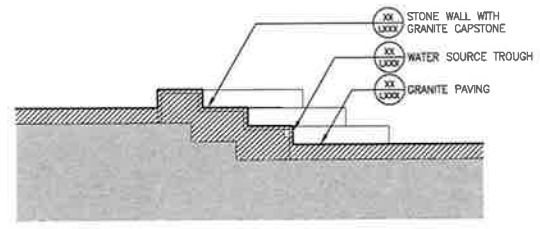
2 PERFORMANCE AREA Section 1/8"=1'-0"



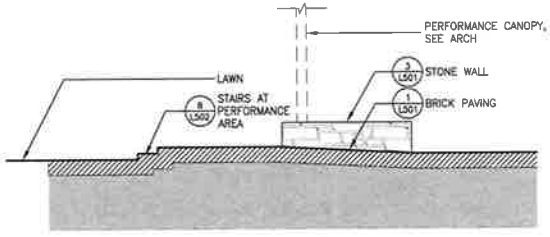
3 STAIR AT FOUNTAIN Section 1/4"=1'-0"



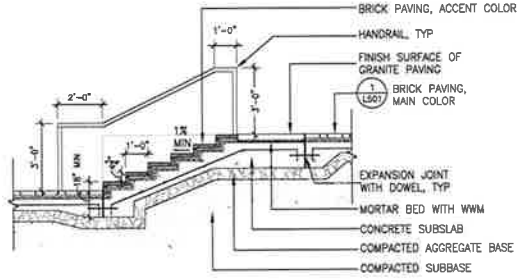
4 STAIR AT FOUNTAIN Section 1/4"=1'-0"



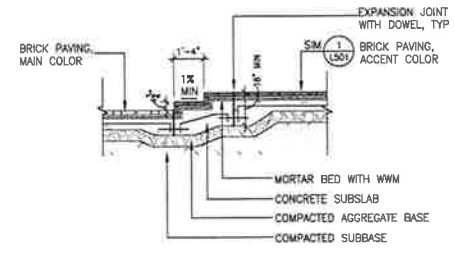
5 STONE WALLS AT FOUNTAIN Section 1/4"=1'-0"



6 PERFORMANCE AREA Section 1/4"=1'-0"



7 STAIRS AT WATER FEATURE Section 3/8"=1'-0"



8 STAIRS AT PERFORMANCE AREA Section 3/8"=1'-0"

SHERWOOD CANNERY SQUARE

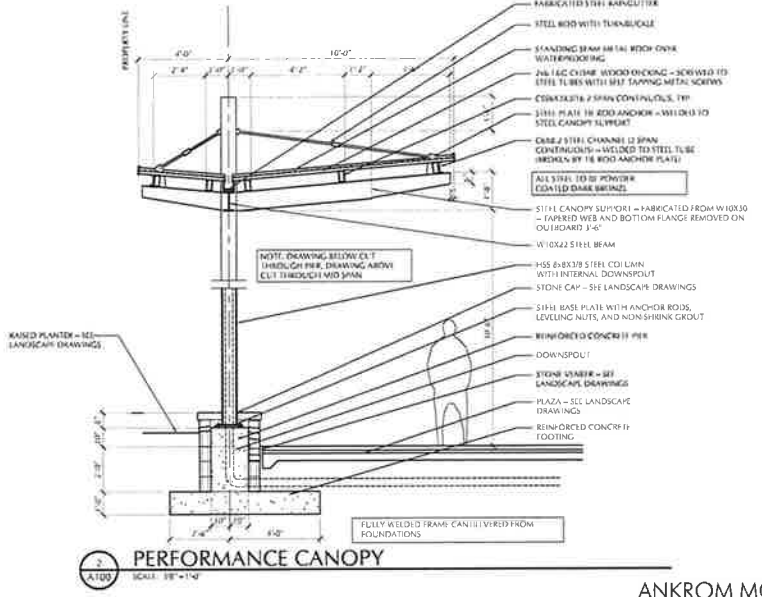
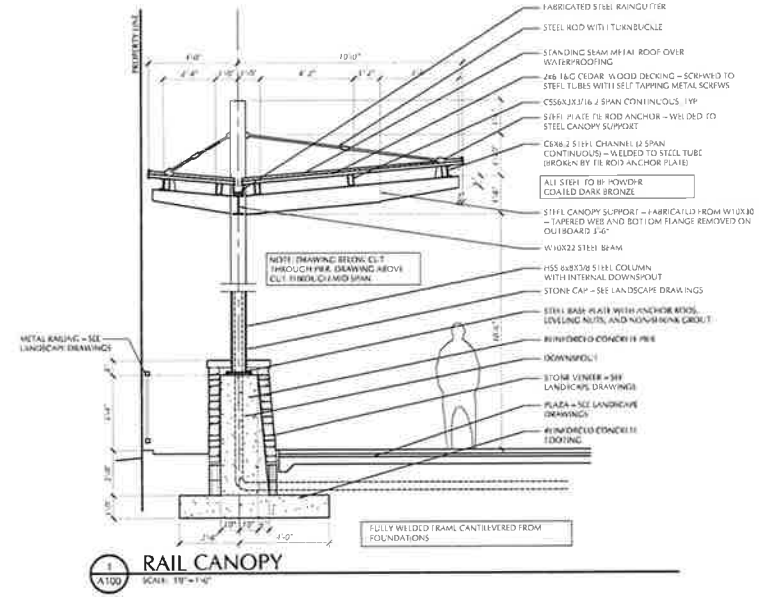
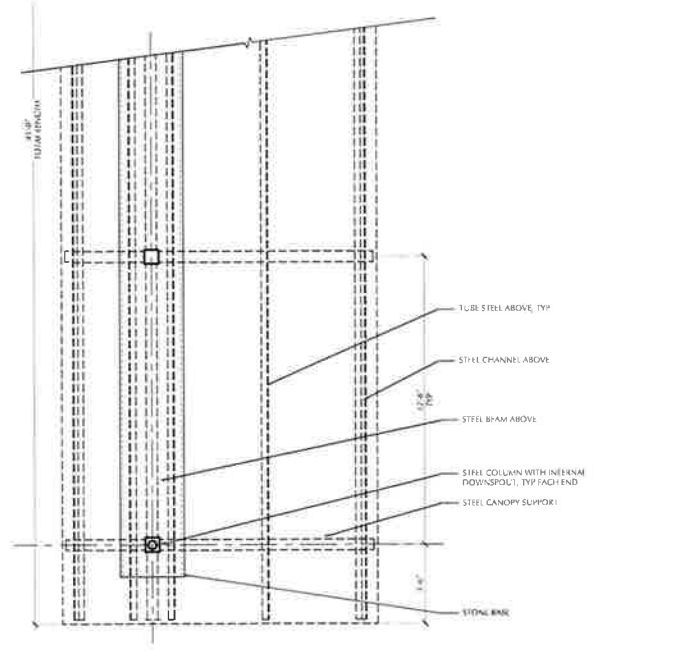
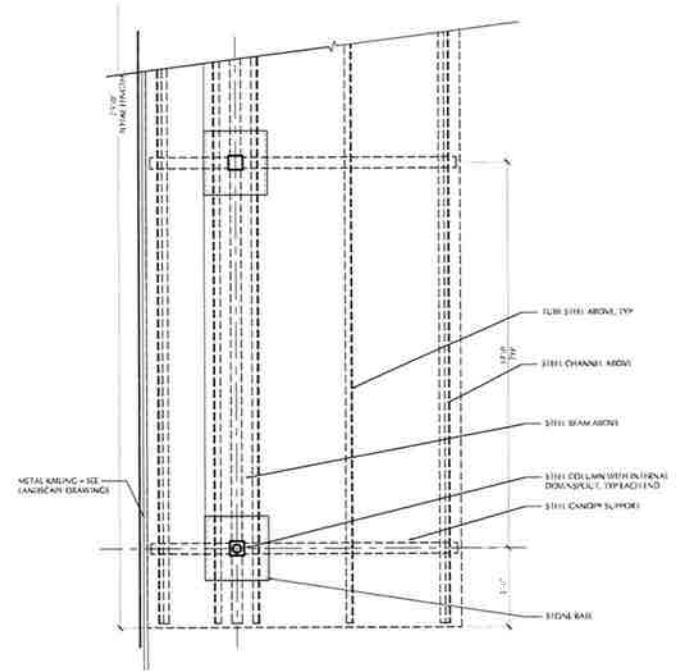
SHERWOOD, OREGON

FINAL DEVELOPMENT PLAN
CANOPY DETAILS

REVISIONS

SCALE VARIES
 DRAWN BY MJ
 DATE 05.21.10
 PROJECT NO. 1005

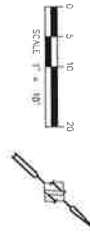
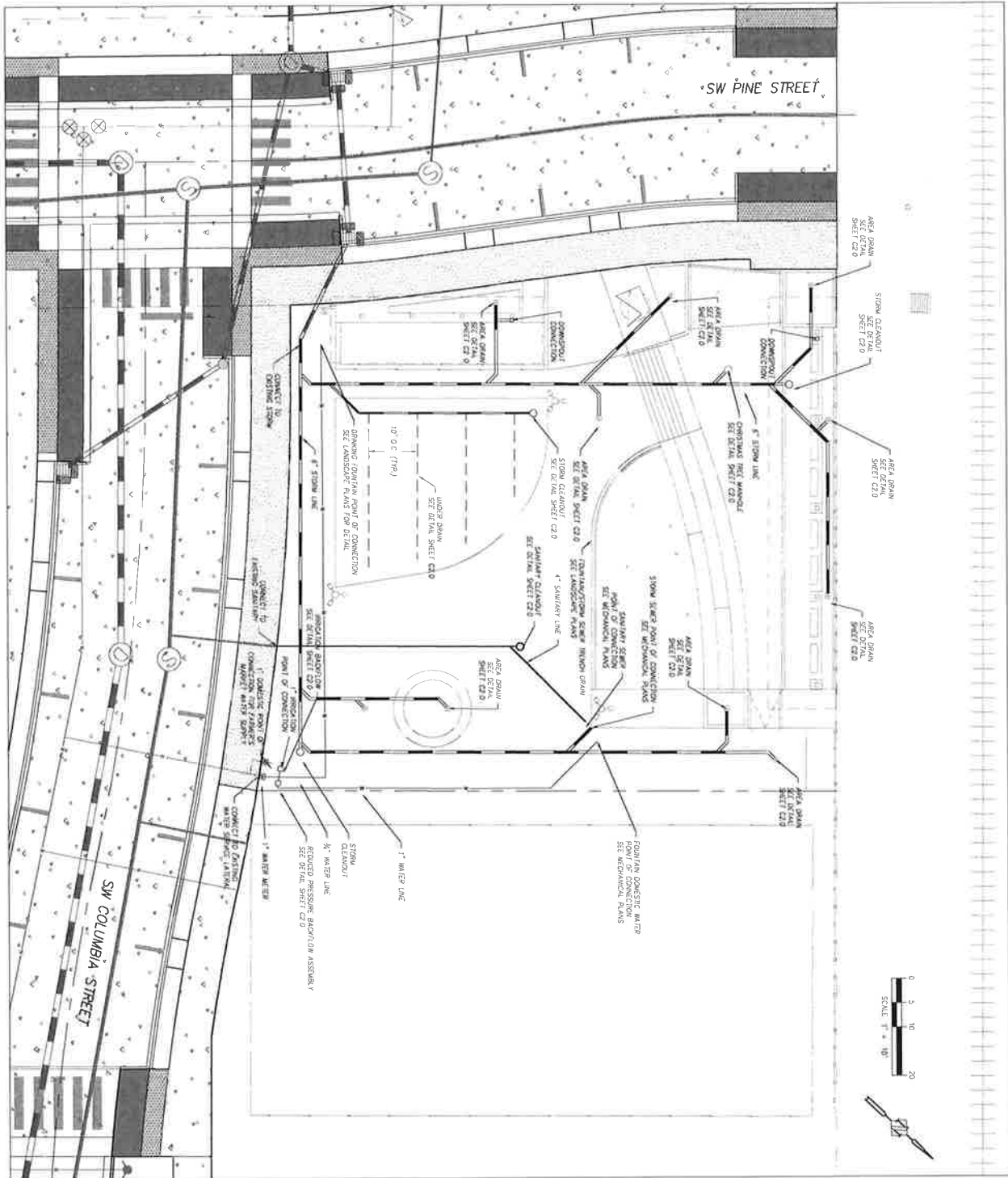
SHEET **A100**



1 RAIL CANOPY
 SCALE: 1/8"=1'-0"

2 PERFORMANCE CANOPY
 SCALE: 1/8"=1'-0"

ANKROM MOISAN



Harper
Holt Peterson
Righellis Inc.
 203 S. Yakamat Street, Suite 200, Portland, OR 97202
 phone: 503.221.1131 www.hrp.com fax: 503.221.1131
 MAY-112 DESIGNED BY: HARPER, SHAWNEE BY: HARPER, CHECKED BY: HMA

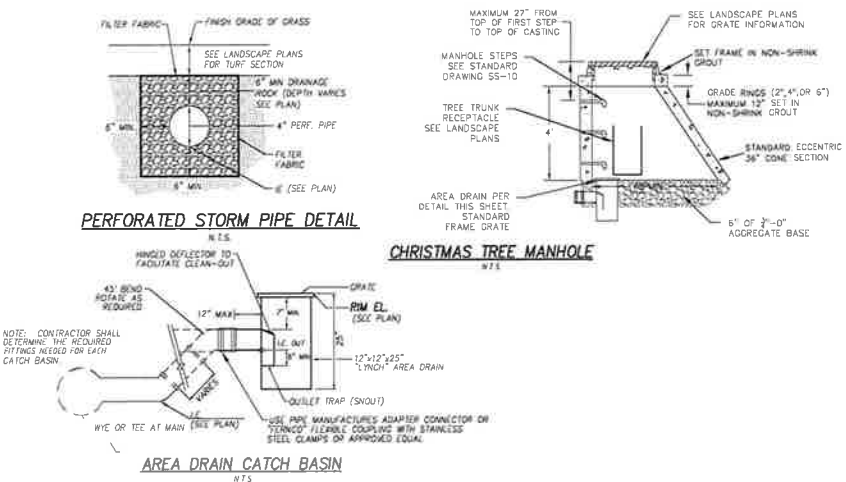
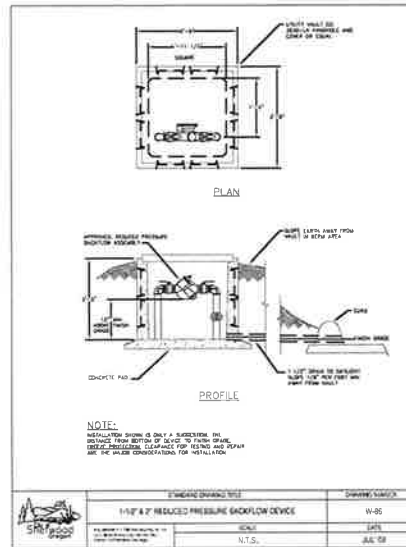
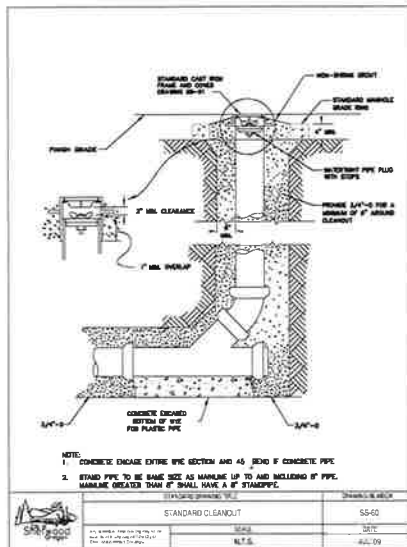
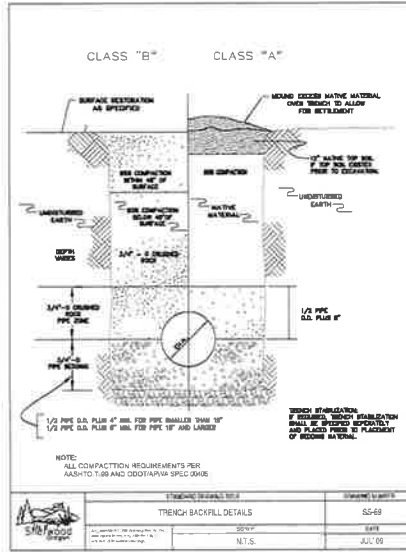
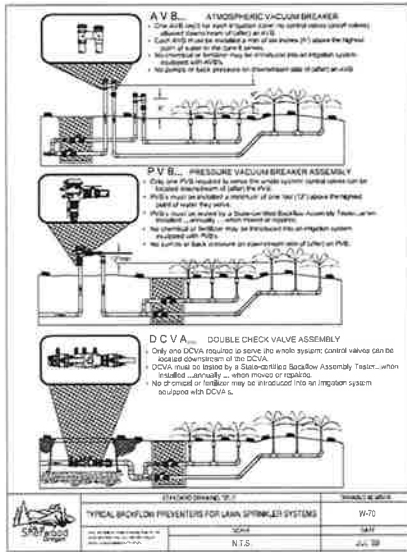
DATE	11-09-07
BY	KAW
DATE	05-21-10
PROJECT NO.	1005
SHEET	C1.0

FINAL DEVELOPMENT PLAN
 SITE UTILITY PLAN

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON

lango.hansen LANDSCAPE ARCHITECTS P.A.
 239 nw 13th #311 portland OR 97209 T 503 295 2437



GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE CITY OF SHERWOOD, WASHINGTON COUNTY, UNIFORM PLUMBING CODE, INTERNATIONAL BUILDING CODE, CLEAN WATER SERVICES AND TULALUM VALLEY FIRE AND RESCUE STANDARDS & SPECIFICATIONS.
2. THE LOCATION AND DESCRIPTION OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND FIELD SURVEY COMPLETED BY CASSELL/HEITEL SURVEYORS INC. DATED JULY 24, 2008. THE CITY OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF SUCH RECORDS.
3. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF OPS 757.541 TO 757.571. THE CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY AS AT LEAST 48 BUSINESS-DAY HOURS PRIOR TO EXCAVATING, BORING, OR POTHOLING. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.
4. PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION.
5. UTILITIES, OR INTERFERING PORTIONS OF UTILITIES, THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL PLUG THE REMAINING EXPOSED ENDS OF ABANDONED UTILITIES PER LOCAL REQUIREMENTS.
6. LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE ONLY AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST!
7. TOPOGRAPHY SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION.
8. ADJUST ALL RIMS, COVERS AND FRAMES TO FINISH GRADE.
9. CONSTRUCTION NOISE AND PROJECT WORK TIMES SHALL COMPLY WITH THE CURRENT ORDINANCES AND "GENERAL CONSTRUCTION PRACTICES" POLICY OF THE CITY OF SHERWOOD.
10. PRIOR TO CONSTRUCTING ANY OF THE UTILITY SYSTEMS, THE CONTRACTOR SHALL POTHOLE ALL CONNECTION POINTS AND UTILITY CROSSINGS TO VERIFY INVERTS, SIZES, LOCATIONS AND POTENTIAL CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION OR RE-DESIGN.
11. THE CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS WITH ALL APPROVED REVISIONS ON THE PROJECT SITE AT ALL TIMES. ANY CHANGES SHALL BE DESIGNED BY THE ENGINEER AND SUBMITTED TO THE AFFECTED AGENCY FOR APPROVAL. THIS SET OF PLANS WITH ALL CHANGES MARKED SHALL BE SUBMITTED TO THE OWNER FOR AS-BUILTS.
12. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THIS SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THESE PLANS, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND TENDING SHALL BE REPAIRED IN KIND.
13. ANY ALTERATION OR VARIANCE FROM THESE PLANS, EXCEPT MINOR FIELD ADJUSTMENTS NEEDED TO MEET EXISTING FIELD CONDITIONS, SHALL BE DESIGNED/APPROVED BY THE ENGINEER, AND BE APPROVED BY THE APPLICABLE AGENCY REPRESENTATIVE. CONTRACTOR TO LOCATE ALL EXISTING PROPERTY MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISBURSED DURING CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE. A SURVEY SHALL BE RECORDED WITH WASHINGTON COUNTY FOR ANY RESET PLANS.
14. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE APPLICABLE CONSTRUCTION DRAWINGS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND PROVIDE A COMPLETED PROJECT.
15. CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, AND TRAFFIC CONES PER CITY, COUNTY AND ODOT REQUIREMENTS IN ACCORDANCE WITH THE MUTCD (INCLUDING OREGON AMENDMENTS) ACCESS TO DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
16. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED OR NECESSARY INSPECTIONS ARE COMPLETED BY AUTHORIZED INSPECTORS PRIOR TO PROCEEDING WITH SUBSEQUENT WORK WHICH COVERS OR THAT IS DEPENDENT ON THE WORK TO BE INSPECTED. FAILURE TO OBTAIN NECESSARY INSPECTION(S) AND APPROVAL(S) SHALL RESULT IN THE CONTRACTOR BEING FULLY RESPONSIBLE FOR ALL PROBLEMS ARISING FROM UN-INSPECTED WORK.

PRIVATE STORM DRAINAGE

1. STORM DRAIN PIPE, BENDS AND FITTINGS SHALL BE PVC C900, OR SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE PIPE, DUCTILE IRON OR PVC (30314 SDR 35) ADJUST MANHOLE AND CLEAROUT RIMS TO FINISH GRADE.
2. STORM DRAIN PIPE & FITTINGS WITH LESS THAN 3' OF COVER SHALL BE C900.
3. ALL INLET AND OUTLET CONNECTIONS SHALL BE MADE BY THE USE OF A FLEXIBLE COMPRESSION JOINT NO CLOSER THAN 12" AND NOT FARTHER THAN 36" FROM THE MANHOLE.
4. STORM SEWER INSTALLED UNDER OR WITHIN 3' OF THE BUILDING SHALL BE CONSTRUCTED OF MATERIALS SPECIFIED IN THE UNIFORM PLUMBING CODE.
5. PIPE BEDDING AND BACKFILL FOR SHALL BE IN ACCORDANCE WITH DETAIL ON THIS SHEET.

WATER

1. ALL PRIVATE WATER SERVICE PIPE SHALL BE TYPE "K" COPPER.
2. ALL PRIVATE WATERMAIN PIPE SHALL BE PVC AWWA C900, CLASS 150 PIPE, OR IR, DUCTILE IRON OR APPROVED EQUAL.
3. ALL PIPE SHALL HAVE 36" MINIMUM COVER MEASURED FROM FINISH GRADE. DEEPER DEPTHS MAY BE REQUIRED AS NOTED ON THE PLANS TO AVOID OBSTRUCTIONS.
4. ALL IRRIGATION SERVICES SHALL HAVE A STATE APPROVED DOUBLE CHECK VALVE ASSEMBLY INSTALLED PER CITY OF SHERWOOD REQUIREMENTS.
5. UPON COMPLETION OF THE INSTALLATION OF THE WATER SYSTEM, ALL LINES SHALL BE FLUSHED AND DISINFECTED IN CONFORMANCE WITH HEALTH DEPARTMENT GUIDELINES AND TWO REQUIREMENTS. THE CONTRACTOR SHALL TEST ALL LINES PER THE CITY OF SHERWOOD REQUIREMENTS.
6. PIPE BEDDING AND BACKFILL SHALL BE IN ACCORDANCE WITH DETAIL ON WATER DETAIL SHEET THIS SHEET.
7. INSTALL PIPING MATERIALS AS INDICATED WITH OFFSETS, FITTINGS AND CHANGES IN ELEVATIONS AS REQUIRED TO MAKE ADJUSTMENTS FOR OBSTACLES OR INTERFERENCES.
8. THE INSTALLATION SHALL MEET THE REQUIREMENTS OF THE CITY OF SHERWOOD STANDARDS AND SPECIFICATIONS.
9. WATER/SEWER LINE CROSSINGS AND SEPARATIONS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE OREGON STATE HEALTH DEPARTMENT AND THE DEPARTMENT OF ENVIRONMENTAL QUALITY.
10. WHEREVER IT IS NECESSARY TO DEFLECT THE PIPE FROM A STRAIGHT LINE, EITHER VERTICALLY OR HORIZONTALLY, THE AMOUNT OF DEFLECTION ALLOWED SHALL NOT EXCEED THAT SPECIFIED BY THE JOINT MANUFACTURERS.

SANITARY

1. SANITARY SEWER PIPE SHALL BE PVC (30314 SDR35).
2. PIPE BEDDING AND BACKFILL SHALL BE IN ACCORDANCE WITH PIPE BEDDING AND BACKFILL DETAIL THIS SHEET.
3. PIPE CONNECTIONS SHALL BE MADE WITH GASKETED SADDLE TEES.

PRELIMINARY

HPRP Houf Peterson Righellis Inc.

215 SE Spokane Street Suite 200, Portland, OR 97202
phone: 503.221.1131 w w w . h p r p . c o m fax: 503.221.1171

DESIGNED BY: HPRP DRAWN BY: HPRP CHECKED BY: BRA

largo, hansen

SHERWOOD CANNERY SQUARE

FINAL DEVELOPMENT PLAN

DETAILS

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: 1" = 20' ± 0"

DRAWN BY: KMW

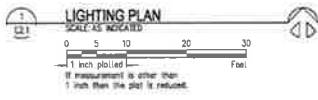
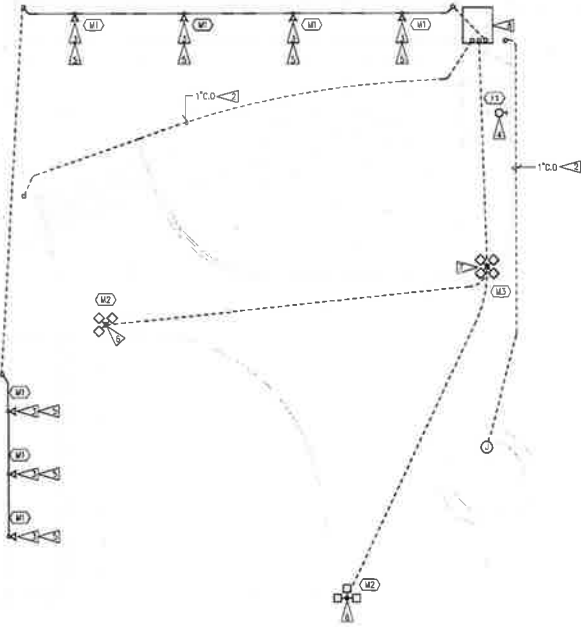
DATE: 05.21.10

PROJECT NO.: 1005

SHEET

C2.0

S.W. PINE STREET



GENERAL NOTES:

CALL 2 DAYS BEFORE YOU DIG AT 1-800-424-5555 TO HAVE ALL UTILITY LINES LOCATED. IT IS CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCING WITH ANY EXCAVATION.

FLAG NOTES:

- ▽ EXISTING STREET LIGHTING FIXTURE
- ▽ PROVIDE SPARE CONDUIT WITH PULL STRING TO LOCATION SHOWN FOR FUTURE LIGHTING FIXTURE.
- ▽ FIXTURE MOUNTED TO CANOPY STRUCTURE. COORDINATE EXACT LOCATION AND CONDUIT ROUTING WITH ARCHITECT PRIOR TO ROUGH-IN.
- ▽ FIXTURE TYPE F1: WALL MOUNT VAPOR PROOF ENCLOSED AND GASKETED FIXTURE WITH (1) 26 WATT COMPACT FLUORESCENT LAMP R10-A-LITE VP-W5-1-26-F-04 OR APPROVED. FIXTURE TO BE WALL MOUNTED IN FOUNTAIN SYSTEM WALL.
- ▽ FIXTURE TYPE M1: 70WATT METAL HALIDE FLOOD LIGHT ARM MOUNT FOR AMABLE OPTIONS. BECA 8325M1 OR APPROVED.
- ▽ FIXTURE TYPE M2: 23' TAPERED POLE WITH (3) 70 WATT METAL HALIDE FLOOD LIGHTS. FIXTURE IS BECA 8325M4 OR APPROVED. POLE TOP IS BECA 764 OR APPROVED. PROVIDE BRACKETS ON POLE FOR MOUNTING SPEAKERS SHOWN ON E3.1.
- ▽ FIXTURE TYPE M3: 23' TAPERED POLE WITH (4) 70 WATT METAL HALIDE FLOOD LIGHTS. FIXTURE IS BECA 8325M4 OR APPROVED. POLE TOP IS BECA 764 OR APPROVED. PROVIDE BRACKETS ON POLE FOR MOUNTING SPEAKERS SHOWN ON E3.1.
- ▽ CUSTOM METAL ENCLOSURE BY OTHERS.

LANGO-HANSEN
 LANDSCAPE ARCHITECTURE PC
 239 NW 23rd 1311 Portland OR 97209 T 503 285 5437

SHERWOOD CANNERY SQUARE
 SHERWOOD, OREGON

FINAL DEVELOPMENT PLAN

LIGHTING PLAN

NO.	REVISION

SCALE
 DRAWN BY
 DATE
 PROJECT NO. 05.21.10
 1005

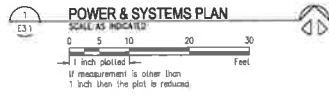
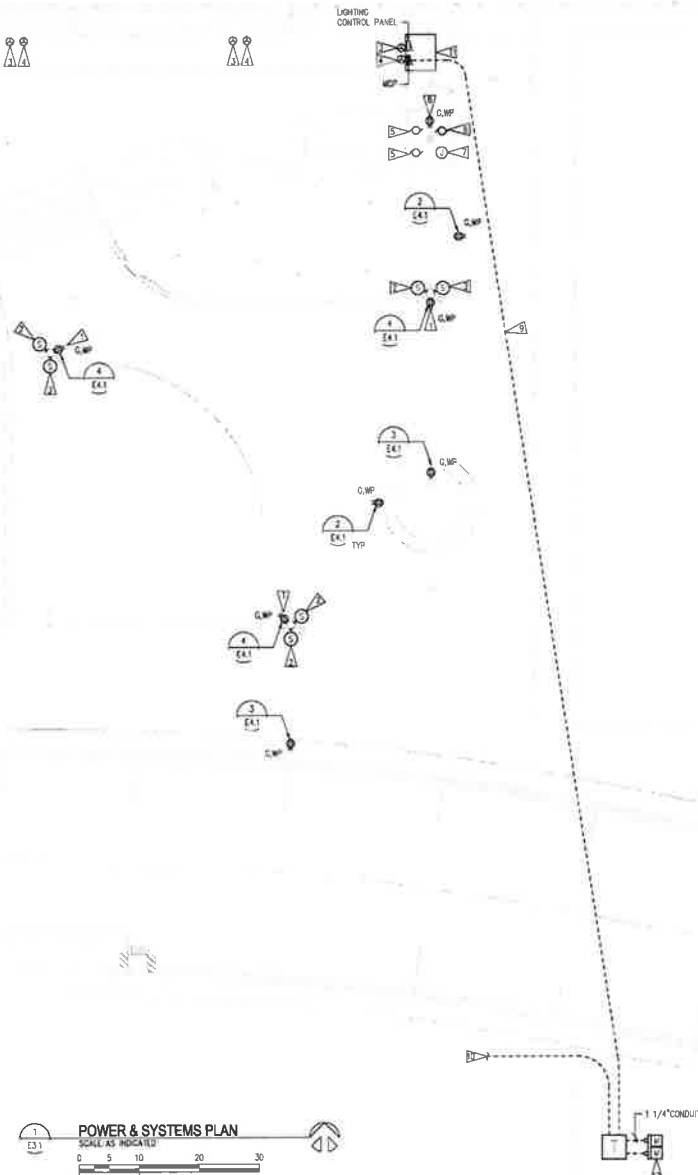
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SHEET
E2.1

K:\10023\CADWORK\31_May_21_2010 2:12 PM By:ALM

S.W. PINE STREET



GENERAL NOTES:

- 1. CALL 2 DAYS BEFORE YOU DIG AT 811 TO HAVE ALL UTILITY LINES LOCATED. IT IS CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCING WITH ANY EXCAVATION.

FLAG NOTES:

- ▽ DUPLEX RECEPTACLE MOUNTED IN LIGHT FIXTURE POLE. SEE E2.1 FOR POLE.
- ▽ SPEAKERS MOUNTED AT THE TOP OF LIGHT FIXTURE POLE AS SHOWN. SEE E2.1 FOR POLE.
- ▽ EXTERIOR RECESSED MOUNTED SPEAKER SYSTEM CONNECTION BOX WITH LOCKABLE COVER. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- ▽ EXTERIOR RECESSED MOUNTED POWER SYSTEM CONNECTION BOX WITH LOCKABLE COVER. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- ▽ FOUNTAIN SYSTEM PUMP CONNECTION.
- ▽ FOUNTAIN SYSTEM FILTER PUMP CONNECTION.
- ▽ FOUNTAIN SYSTEM TRAP PRIMER AND SOLENOID CONNECTIONS.
- ▽ DUPLEX RECEPTACLE MOUNTED IN FOUNTAIN SYSTEM VAULT.
- ▽ PROVIDE (1) 4" CONDUIT FOR UTILITY SECONDARY POWER CONDUCTORS. COORDINATE EXACT REQUIREMENTS WITH UTILITY PRIOR TO ROUGH-IN.
- ▽ PROVIDE (1) 4" CONDUIT FOR UTILITY PRIMARY POWER CONDUCTORS. COORDINATE EXACT REQUIREMENTS.
- ▽ CUSTOM METAL ENCLOSURE BY OTHERS.
- ▽ METER AND CONDUIT FOR STREET LIGHTING BY OTHERS.

LANDSCAPE ARCHITECTURE INC.
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289 nw 13th st.11, Portland OR 97209 T 503 285 2437

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON

FINAL DEVELOPMENT PLAN

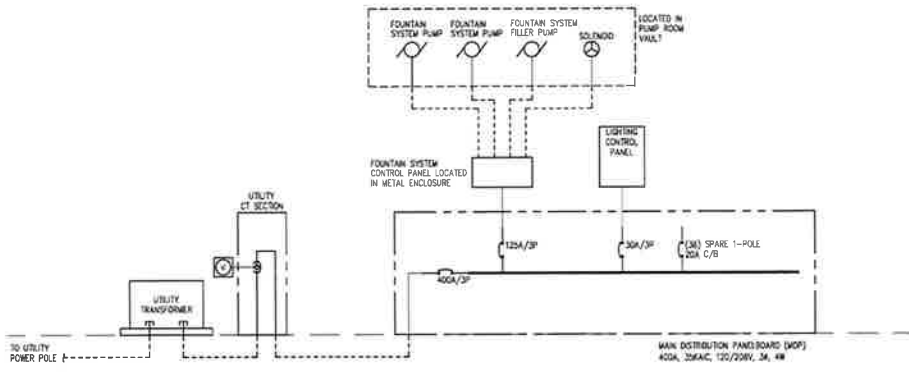
POWER & SYSTEMS PLAN

REVISIONS

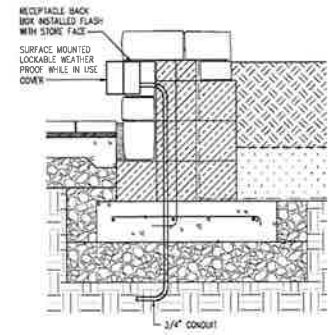
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DRAWN BY
DATE 05.21.10
PROJECT NO. 1005

SHEET
E3.1

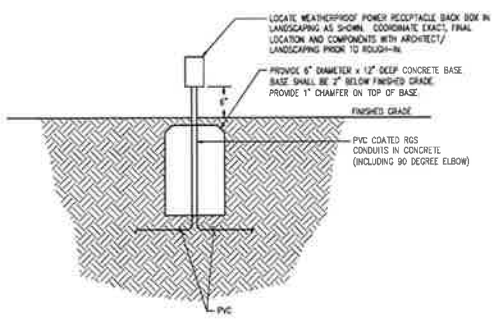
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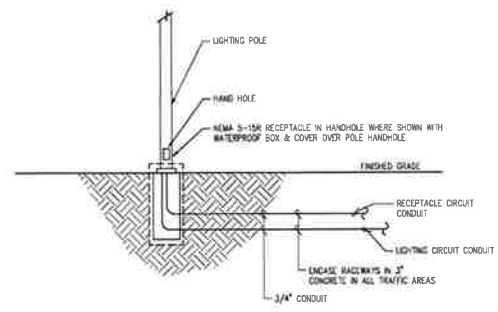
1 ONE-LINE RISER DIAGRAM
SCALE: NONE



2 TYPICAL RECESSED DUPLEX RECEPTACLE DETAIL
SCALE: AS INDICATED
0 0.5 1 2 3 Feet
1 inch plotted
If measurement is other than 1 inch then the plot 1/4 reduced.



3 TYPICAL LANDSCAPING RECEPTACLE DETAIL
SCALE: NONE



NOTE:
1. RECEPTACLE MUST BE CONNECTED TO GFCI TYPE CIRCUIT BREAKER

4 EXTERIOR LIGHTING DETAIL
SCALE: NONE

Load Summary

	kVA
Lighting	10
Water Feature Pumps	33
Misc	10
Total kVA	53
Total Amps @ 208V	146

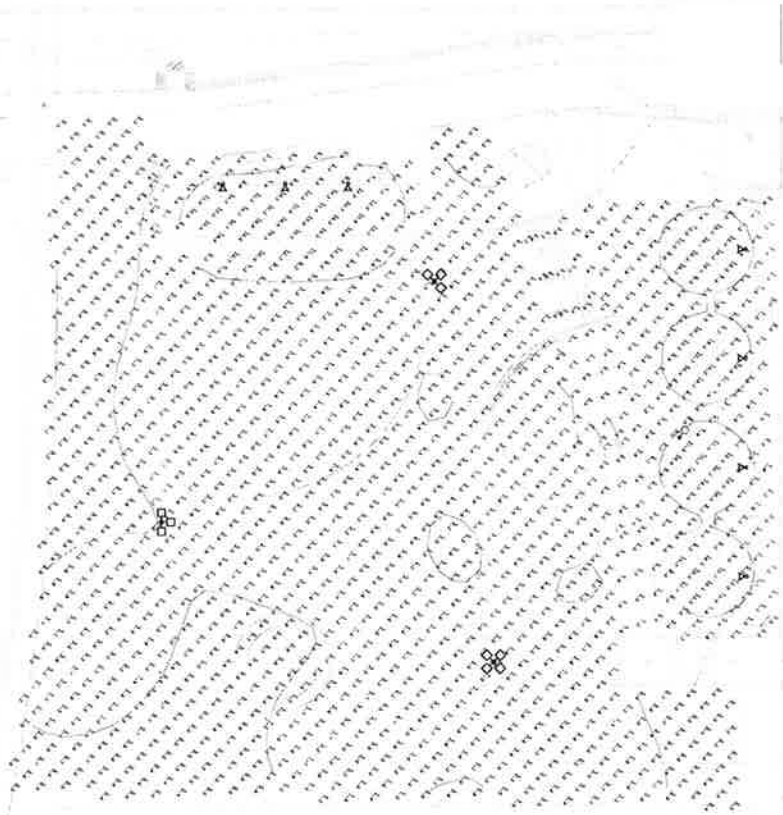
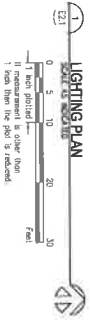
REVISIONS

SCALE
DRAWN BY
DATE PROJECT NO. 05.21.10
1005

SHEET

E4.1

S.W. PINE STREET



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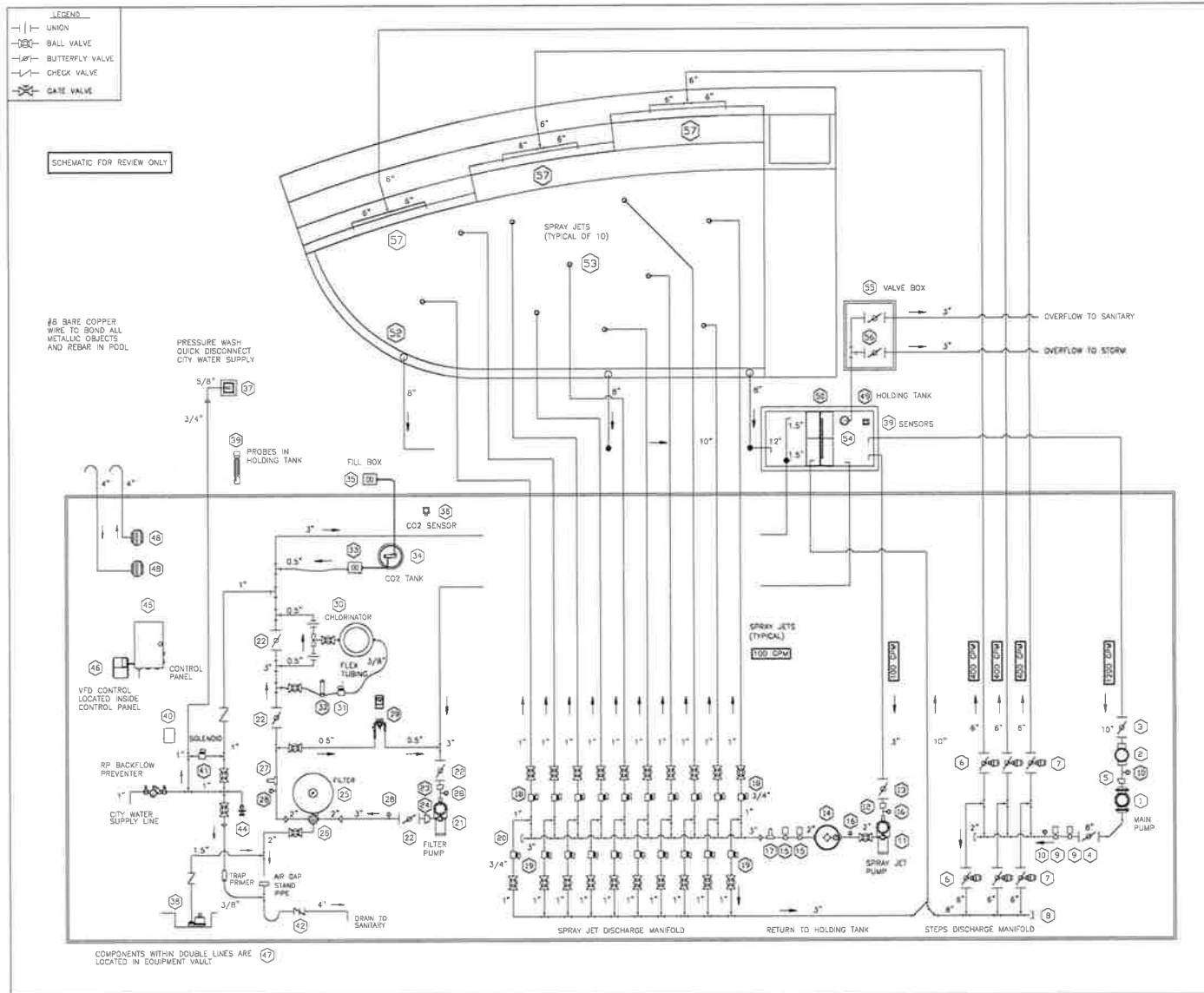
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	BY	005
SHEET	E5.1	

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON

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1 PIPING DIAGRAM
WF-1 SCALE: N. T. S.

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231 NW 131st Ave Portland, OR 97209 1 503 255 2437

CONTRACT CONSULTANT
FORWARD ENGINEERING AND DESIGN, INC.
10000 NE MULTNOMAH AVENUE PORTLAND, OR 97220
PHONE: 503.251.3800
FACSIMILE

SHERWOOD CANNERY SQUARE
SHERWOOD, OREGON

FINAL DEVELOPMENT PLAN

REVISIONS:

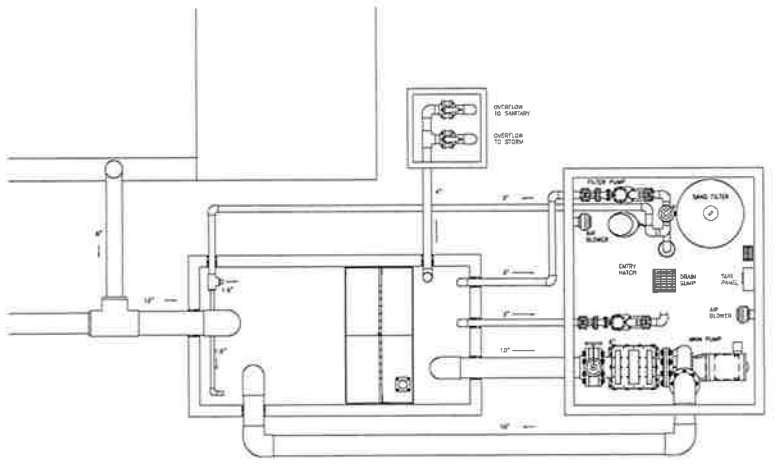
NO.	DATE	DESCRIPTION

SCALE: N. T. S.
DRAWN BY: J. CHAMBERS
DATE: 05.21.10
PROJECT NO.: 1005

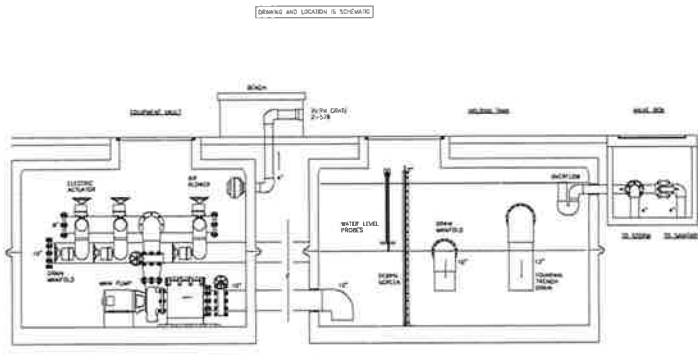
SHEET
WF-1

NO.	QTY.	ITEM	EQUIPMENT SCHEDULE - DESCRIPTION
1	1	Main pump	10 HP in-line mounted centrifugal pump, model #48V8.5, series 80, 208 volts, 3 phase, 1150 RPM, 1300 GPM at 23' head, 155' maximum pump, WFO model, by Bell and Gossett
19	1	Strainer basket	10" aluminum steel horizontal bonnet flow strainer basket model PS 1008 5C with an integral 10" by 8" reducer and 1/4" hexagon strainer by ProFlo (303) 972-9144
3	1	Butterfly valve	10" water style butterfly valve, ductile iron, gear operated, EPDM seal by Nibco
4	1	Butterfly valve	8" water style butterfly valve, ductile iron, EPDM seal by Nibco
5	1	Eccentric reducer	10" by 8" eccentric fiberglass reducer by Mer-Made, or equal
6	1	Butterfly valve	8" water style butterfly valve, ductile iron, EPDM seal by Nibco
7	4	Electric actuator	Motorized electric actuator mounted on butterfly valve Quarter Master series 92 with 10 second cycle time by Acme-America, or equal, programmed to operate in normally open or closed position
8	1	Steps manifold	8" custom welded manifold, stainless steel schedule 10, flanged end cast by Fountain Supply, or local welder
9	2	Pressure switch	1/4" NPT Mercoid diaphragm, low and high pressure switches, model CS-30 available at Dwyer Instruments
10	2	Pressure gauge	1/4" NPT pressure gauge, rated 0 to 30 psi, model 64030 glycerin filled by Dwyer Instruments
11	1	Spray jet pump	2 HP self priming pump, model WFK-8, 208 volts, three phase, 3450 RPM, 110 GPM at 60' TDH, 2" suction and 2" with integral strainer basket by WhisperFlo
12	1	Eccentric reducer	3" by 2" fiberglass eccentric reducer by Mer-Made
13	1	Butterfly valve	3" water style butterfly valve, ductile iron, EPDM seal by Nibco
14	1	Cartridge filter	125 S.F. cartridge filter, model PAC125 Paa-Clear by Penion, not to exceed 125 GPM flow rate, provide top mounted pressure gauge and 1/2" NPT valve
15	2	Pressure switch	1/4" NPT Mercoid diaphragm, low and high pressure switches, model CS-30 available at Dwyer Instruments
16	2	Pressure gauge	1/4" NPT pressure gauge, rated 0 to 30 psi, model 64030 glycerin filled by Dwyer Instruments
17	1	Fibermeter	2" acrylic fibermeter model F-30200P for 40-150 GPM flow rate, by Blue White
18	10	Solenoid valves	3/4" NPT normally closed solenoid valve series EASAT, viton seal, by Pilot-O-Matic
19	10	Solenoid valves	3/4" NPT solenoid valve series EASAT, viton seal, by Pilot-O-Matic, programmed to begin in open position
20	1	Spray jet manifold	3" stainless steel manifold, stainless steel schedule 10, flanged end cast by Fountain Supply, or local welder
21	1	Filter pump	10 HP self priming pump, model WFK-8, 208 volts, three phase, 3450 RPM, 110 GPM at 60' TDH, 2" suction and 2" with integral strainer basket by WhisperFlo
22	4	Butterfly valves	3" water style butterfly valve, ductile iron body, EPDM seal by Nibco
23	1	Eccentric reducer	3" by 2" fiberglass eccentric reducer by Mer-Made
24	1	Concentric reducer	3" by 2" fiberglass concentric reducer by Mer-Made
25	1	Sand filter	125 S.F. high rate sand filter, model TR-140, Triton by Pro-Flo, listed at 105-141 GPM, provide 750 lbs of filter sand
26	1	Ball valve	3" stainless steel ball valve, ball mounted on TR-145 sand filter for manual backwashing
27	1	Fibermeter	3" NPT fibermeter acrylic model F-30200P Blue White, or equal
28	3	Pressure gauges	1/4" NPT pressure gauge, rated 0 to 30 psi, model 64030 glycerin filled by Dwyer Instruments
29	1	Sonolizer controls	Tri-3 style Sonolizer system, 30 chemical controller with sensing probes, floccul assembly, solenoid flocculath, model S315M 3P-04 by Siemens
30	1	Chlorinator	Automatic chlorine feeder system, model FC, includes solenoid valves, fibermeter, and venturi
31	1	Solenoid valve	Solenoid valve included in number 30 Fluor components above
32	1	Fibermeter	Fibermeter included in number 30 Fluor components above
33	1	pH control	CO2 leader controls model CO2-30 available at Knorr Systems 503-781-7066 or 800-576-7046
34	1	CO2 tank	CO2 tank model CC-300 by Taylor-Wharton, 300 lbs, capacity, see TaylorWharton.com
35	1	Fill box	Fill box exterior flush-mounted model LF40-85C1, with 15" hose model LF15-85C1 by Taylor-Wharton
36	1	CO2 sensors	CO2 detector series 4584 80 Gas Plus related transmitter LCD display by Scott of southwesthaley.com Provides contact closure for optional light or audible alarm, available at Acme Northeast 425.576.9123
37	1	Quick coupling	5/8" NPT brass water hose quick connect/disconnect set for pressure washing provide an additional 1/2" water hose included at United Pipe and Supply
38	2	Sump pumps	1/2 HP sump pump, model 75 Aquad Mate, 115 volts, 1.5" discharge by Zoeller pump
39	1	Water level controls	Combination water level control and low water cut-off by Worrick, includes
40	1	Sensor	Pipe mounted electrode fitting (3" pipe in equipment vault) model 3E40 by Worrick Controls includes address steel probes model 3E100 available through Brannan Instruments
41	1	Control panel	Controls by Worrick model 16M01A0, (to be included in control panel number 43)
42	1	Solenoid valve	1" NPT stop-closing solenoid valve series 8221 by Asco, normally closed
43	1	Backwater valve	4" slip fitting swing check ABS backwater valve by Flo Controls, or equal
44	1	Ball valves	3" PVC, sch. 80 ball valves, true union, viton, by Siemens
45	1	Gate valves	2" bronze gate valves, threaded ends, by Milwaukee Valve, or equal
46	1	Ball valves	1" 1/2" PVC, sch. 80 ball valves, true union, viton, by Siemens
47	1	Gate valves	1" bronze ball valve, threaded, for water supply
48	1	Gate valves	1" bronze gate valves, threaded ends, by Milwaukee Valve, or equal
49	1	Check valve	1" bronze swing check valve
50	1	Hose bibb	1/2" NPT brass/bronze hose bibb
51	1	Control panel	NEMA 4 outdoor rated enclosure, 3 phase, 208 volts, factory assembled control panel with HGA switches for (1) 10 HP main pump, (1) 2 HP spray jet pump, (1) 2 HP filter pump, pressure switches, chemical injection, water level sensor, CO2 sensor, (2) solenoid for water supply and water level control, (2) solenoid for water level control, PLC controller for motor solenoids, chlorinator, air blower, (2) sump pumps, (2) fibermeter actuators, reset button for pressure switches, (2) solenoid, internal or wireless number also fits a remote monitor, integral and hardwired by HCC at (840) 594-7121, (alternator), M, or equal
52	1	WFO controls	WFO controls and for 10 HP pump by Allen-Bradley, or equal, located inside control panel
53	1	Equipment vault	8' x 10' x 7' (10' high concrete vault model 810-LA by Utility Vault, 12' risers, 4' by 4' diamond plated spring steel door, with aluminum water-tight cover, provide a polypropylene coated security ladder with a safety extension, key lockable
54	2	Air blowers	100 CFM air blowers mounted on each 4" duct, model FR 100 by Fantech, exhaust location to be determined
55	1	Holding tank	6' x 12' x 7' (10' high concrete vault model 812-02 by Hanson Pipe, 12' risers, key lockable, 3' by 3' diamond plated spring steel door, provide a polypropylene coated security ladder and a safety extension, after-pipe installation waterproof inside of vault, with Rotolux pool paint, or equal
56	1	Debris screen	6' by 6.5' mesh screen, 3/8" woven wire, stainless steel mounted on a rigid 1.5" mesh fiberglass grate divide into 3 panels, and attach to vault with stainless steel angles and bolts
57	1	Room lights	500-watt lights in equipment vault of exterior grade quality
58	1	Flaming coating	12" wide by 60" long stainless steel grating model KD-08 with 1/4" spacing, concrete curb angle, and hidden lockdown by Kasser Industries, powder coating color to be determined
59	10	Spray jets	3/4" NPT brass nozzle model 3002 by PMA, specify a 3/8" orated orifice, provide 10 water covers model 32-2, include removal tool model 32-1 Provide a 24" unobstructed vertical pipe run to each jet.
60	1	Overflow	4" overflow PVC schedule 40 pipe inside holding tank, on clean side of debris screen
61	1	Valve box	42" x 42" x 36" deep (10) concrete valve box, L-bolt lock, model 444-13 by Hanson Pipe, provide 2" floor drain, contain (2) 4" butterfly valves to vent overflow to storm system during winterizing of fountain
62	1	Butterfly valve	4" water style butterfly valve, ductile iron, EPDM seal by Nibco
63	1	Well trough	Approximately 18' long by 18" wide by 24" deep concrete trough with custom stone caps, see architectural drawings
64	1	Link trough	Through well link trough, size to be determined
65	1	Waterstops	Provide waterstops, as needed, for all concrete wall penetrations that contain water, either bronze or PVC schedule 40 available at Harrington Plastics

1 EQUIPMENT SCHEDULE
SCALE: N.T.S.



2 TANK AND EQUIPMENT VAULT PLAN
SCALE: N.T.S.



3 TANK AND EQUIPMENT VAULT SECTION
SCALE: N.T.S.

lango.hansen
229 NW 13th St. Portland, OR 97209 T 503.255.2437

DESIGN AND CONSTRUCTION
MECHANICAL, ELECTRICAL AND PLUMBING, INC.
1000 NE MULTNOMAH AVENUE, PORTLAND, OR 97232
PHONE: 503.543.7200
FACSIMILE: 503.543.7200

SHERWOOD CANNERY SQUARE

SHERWOOD, OREGON

FINAL DEVELOPMENT PLAN

REVISIONS
SCALE: 3/8" = 1'-0"
DRAWN BY: JOHN NARDY
DATE: 05.21.10
PROJECT NO.: 1005
SHEET: WF-2



SHERWOOD CANNERY SQUARE PUD
ARCHITECTURAL PATTERN BOOK
JUNE 22, 2010



SHERWOOD CANNERY SQUARE PUD

lango.hansen

ARCHITECTS

ANKROM MOISAN ARCHITECTS

CAPSTONE
Partners LLC

PURPOSE STATEMENT

The purpose of this Architectural Pattern Book is to supplement the application materials and plans submitted for PUD approval of the Old Cannery PUD. The Sherwood Old Cannery PUD is a Mixed-Use Development which includes retail, office and residential development. The Old Cannery Area is a mostly flat undeveloped 6 acre site south of Old Town Sherwood that was historically used as a fruit cannery and brick manufacturing plant. The City of Sherwood has special design standards contained within the Sherwood Zoning and Development Code to address design standards within the Old Cannery Area, which have been included and modified herein.

The PUD standards require that the applicant prepare an architectural pattern book to describe the architectural design proposed with the PUD preliminary development plan. This architectural pattern book is to demonstrate how the Old Cannery Standards will be met.

The PUD Preliminary Development Plan has been approved. Subsequent approvals will be completed on a phase by phase basis. Each will include detailed architectural drawings consistent with the architectural pattern book and will be submitted for PUD Final Development Plan and Site Plan review, which will run concurrently.

This pattern book addresses the architectural related standards contained in Sherwood Zoning and Development Code Section 16.162.080 - Standards for All Commercial, Institutional and Mixed-Use Structures in the Old Cannery Area. This pattern book modifies them as noted herein. This architectural pattern book is intended to be the sole and exclusive document to be used as review criteria for each phase of the Cannery Square PUD development.

The applicable architectural standards include:

- B. Reinforce the Corner
- D. Main Entrance
- F. Exterior Finish Materials
- H. Ground Floor Windows
- I. Distinct Ground Floor
- J. Roof
- K. Base of Buildings

The pattern book also contains examples of signage design and related recommendations.

ILLUSTRATIVE AREAS

Compliance with standards in the Old Cannery Area are illustrated by diagrams and photographs, unless not applicable. For example, when a variety of solutions can meet the criteria, such as Cornices, more than one illustration is provided. In the case of the Roof-Mounted Equipment, no units have been sized or selected, but the intent to comply is stated and will guide the engineering and location of units.

Responses to standards is not building specific within the development, except for the following: a) Multi-story buildings have criteria that does not apply to single-story buildings, such as expressing the first floor architecturally, b) Residential buildings have criteria unique to their building type that would not necessarily apply to commercial structures, and c) Only the South Building, the residential buildings, and the Machine Works building is located on at a public street intersection.

HOW THE PATTERN BOOK IS ORGANIZED

Each standard is listed by title, with an explanation of the applicable criteria. This description is followed by a response in bold type, stating how specific building elements will meet the criteria.

A drawing illustrating how the criteria are met is included, accompanied by photographs of completed buildings as examples.

PATTERN BOOK CHECKLIST

The following items can be used to assess building design and whether the standards are met in the Cannery Square PUD:

- The corners are reinforced to emphasize buildings at public street intersections as special places.
- Main entrances are located to reinforce safety, accessibility and weather protection.
- Exterior cladding meets the standard of high quality materials that are complementary to the traditional materials used in Old Town.
- Roof-mounted equipment is located to minimize visual impact.
- Ground floor windows encourage interesting and active ground floor uses.
- On multi-story buildings, the ground floor is defined to emphasize the traditional development pattern in Old Town.
- The roof design is consistent with traditional roof forms in Old Town.
- The base of the building is distinguished from the rest of the building on all street elevations.



REINFORCE THE CORNER

B. *Reinforce the Corner. The purpose of this standard is to emphasize the corners of buildings at public street intersections as special places with high levels of pedestrian activity and visual interest. On structures with at least two frontages on the corner where two city walkways meet, the building must comply with at least two of these options:*

Option 1: The primary structures on corner lots at the property lines must be at or within 6 feet of both street lot lines. Where a site has more than one corner, this requirement must be met on only one corner.

Option 2: The highest point of the building's street-facing elevations at a location must be within 25 feet of the corner.

Option 3: The location of a main building entrance must be on a street-facing wall and either at the corner, or within 25 feet of the corner.

Option 4: There is no on-site parking or access drives within 40 feet of the corner.

Option 5: Buildings shall incorporate a recessed entrance(s) or open foyer(s), a minimum of 3 feet in depth to provide architectural variation to the facade. Such entrance(s) shall be a minimum of ten percent (10%) of the ground-floor linear street frontage.

COMMERCIAL BUILDINGS:

The requirements from the Old Cannery Area of the Old Town Overlay District (copied above) apply to Commercial, Institutional, and Mixed-use structures. There are two structures shown on the site plan that these requirements apply. The Machine Works Building and the South Building, both at intersections of SW Pine Street and SW Columbia Street.

The South building will comply with Options 1 and 4. The primary structure will be located within 6-feet of the street lot line. Adjacent parking access is over the 40-foot minimum as outlined in the Old Town Overlay District.

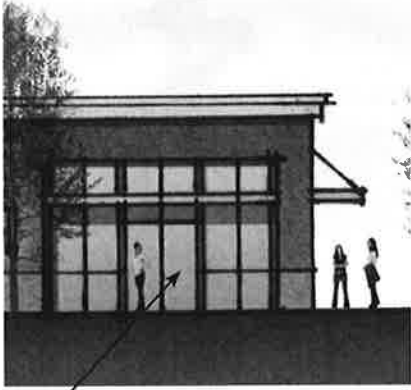
Although the Machine Works building technically has an intersection of SW Columbia and SW Pine streets, the renovated structure may not comply with the standards listed above. The proposed SW Columbia Street is designed as a non-standard street with angled parking. The intention is to make this right of way appear more like a private driveway and less like a through street. This is reinforced by a driveway style curb cut off of Pine Street. In addition, the existing structure is such that compliance with these requirements will not be possible due to differences between grade and the floor within the building.

The Machine Works building will be designed to reinforce the northeast corner of the building, facing the plaza. Although not technically on an intersection, this corner is a key corner for the Plaza. That corner will comply with the following:

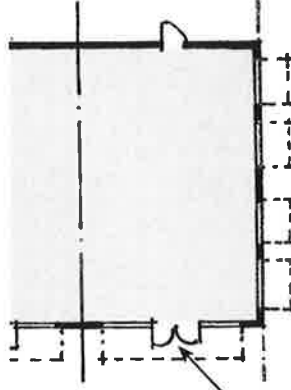
- The highest point on its street facing elevation will be within 25-feet of the corner
- There will be an entry within 25-feet of the corner. (note commercial buildings have multiple entries as apposed to a single main entry)

RESIDENTIAL BUILDINGS:

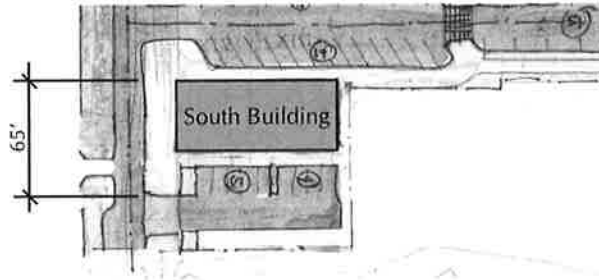
While the requirements copied above do not specifically apply to the residential buildings, the intent of this guideline should be applied to the residential buildings as follows: The residential buildings will be designed such that the corner is reinforced at the intersection of SW Columbia and SW Highland. This will be done through the use of color, material changes, or massing. In addition parking access to the residential parcels must be a minimum of 40-feet from the corner of Columbia and Highland. This requirement DOES NOT apply to the residential parcels at the intersection of SW Highland and Willamette.



MAIN ENTRY ENTRANCE IS WITHIN 25 FEET OF THE CORNER



EXAMPLE OF CORNER ENTRY



NO ON-SITE PARKING WITHIN 40 FEET OF THE CORNER

MAIN ENTRANCE

D. *Main Entrance. The purpose of this standard is to locate and design building entrances that are safe, accessible from the street, and have weather protection.*

1. *Location of main entrance. The main entrance of the principal structure must face a public street (or, where there is more than one street lot line, may face the corner). For residential developments these are the following exceptions:*
 - a. *For buildings that have more than one main entrance, only one entrance must meet this requirement.*
 - b. *Entrances that face a shared landscaped courtyard are exempt from this requirement.*
2. *Front porch design requirement. There must be a front porch at the main entrance to residential portions of a mixed-use development, if the main entrance faces a street. If the porch projects out from the building it must have a roof. If the roof of a required porch is developed as a deck or balcony it may be flat, otherwise it must be articulated and pitched. If the main entrance is to a single dwelling unit, the covered area provided by the porch must be at least six (6) feet wide and six (6) feet deep. If the main entrance is to a porch that provides the entrance to two or more dwelling units, the covered area provided by the porch must be at least 9 feet wide and 8 feet deep. No part of any porch may project into the public right-of-way or public utility easements, but may project into a side yard consistent with Section 16.60.040. (Ord. 2006-009 § 2)*

COMMERCIAL BUILDINGS:

The requirements from the Old Cannery Area of the Old Town Overlay District (copied above) apply to Commercial, Institutional, and Mixed-use structures. This requirement will apply to the following structures:

- **South Building**
- **West Building**
- **East Building**
- **Machine Works Building**
- **Future structures within the NE Phase.**

These buildings do not contain residential uses therefore only Paragraph D.1 of the requirements applies.

South and West Buildings: The primary entrances to the uses in these buildings will face the public street per paragraph D.1 above.

East Building: This building will comply with the intent of the code, however the code does not address fronting on a public plaza. This building will comply with the following:

- **Ground floor uses will have their primary entrance facing the plaza. Additional secondary entrances may be provided facing SW Columbia Street but the primary focus is towards the plaza.**
- **Access to the second floor commercial uses is to face the adjacent surface parking lot. The proposed development hopes to have a very active ground floor contributing to active public spaces. We do not consider the commercial lobby an active enough use to warrant locating it on either the plaza or street. Additionally, visitors of the second floor will typically be parking in the surface lot; therefore, the location of this entry adjacent to the parking is the most appropriate solution.**

Machine Works Building: This building may not comply with the standards listed above. The existing grading around this building is such that entrances to the building will not be able to face the SW Pine street. This building will reinforce the Northeast corner and provide an entry within 25-feet of the corner (see 'Reinforce the corner' section above) but it is unclear if the grading will allow this entry to face SW Pine. This building will comply with the following:

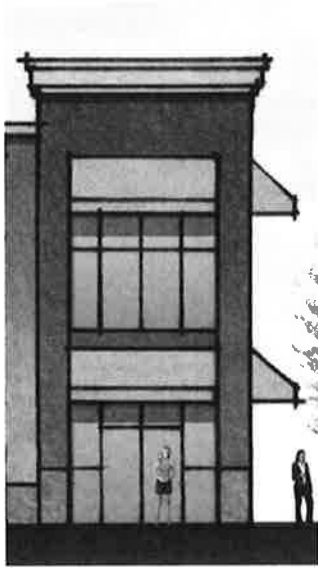
- **An entry is to be provided within 25-feet of the Northeast corner**
- **Uses in this building will have their primary entrance facing the hardscaped and landscaped area on the north side of the building (facing the adjacent West Building)**

Future structures within the NE Phase: The primary entrances to the uses in these buildings will face the public street per paragraph D.1 above, unless specifically approved for site-specific reasons as part of a subsequent final development plans.

RESIDENTIAL BUILDINGS:

While the requirements copied above do not specifically apply to the residential buildings, the intent of this guideline should be applied to the residential buildings as follows:

- Ground floor units adjacent to public streets will have a entrance directly from the street. This entrance will meet the following:
 - Entrance must not be flush with the main façade. Entrances must be expressed by setting in, having a porch project, or a combination of the two.
 - Entrances are to be grouped together when possible to create a stronger sense of entry on the façade.
- Primary residential entries (entrance into multi-unit residential lobby) will comply with the following:
 - Entrance must face a public street
 - Entrance must be reinforced through the use of either: color, material, massing, or canopies.
 - Entrance must have a canopy or other form of overhead weather protection at the door with a minimum depth of 5-feet.



MAIN ENTRANCE FACING THE STREET



EXAMPLE OF MAIN ENTRANCE



RESIDENTIAL ENTRANCE FACING THE STREET

EXTERIOR FINISH MATERIALS

- F. *Exterior Finish Materials. The purpose of this standard is to encourage high quality materials that are complementary to the traditional materials used in Old Town.*
1. *Plain or painted concrete block, plain concrete, corrugated metal, full-sheet plywood, fiberboard or sheet pressboard (i.e. T-111), vinyl and aluminum siding, and synthetic stucco (i.e. DryVit and stucco board), are not allowed as exterior finish material, except as secondary finishes if they cover no more than ten percent (10%) of a surface area of each facade and are not visible from the public right-of-way. Natural building materials are preferred, such as clapboard, cedar shake, brick, and stone. Composite boards manufactured from wood in combination with other products, such as hardboard or fiber cement board (i.e. HardiPlank) may be used when the board product is less than six (6) inches wide. Foundation materials may be plain concrete or block when the foundation material does not extend for more than an average of three (3) feet above the finished grade level adjacent to the foundation wall. (Ord. 2006-009 § 2)*
 2. *Where there is an exterior alteration to an existing building, the exterior finish materials on the portion of the building being altered or added must visually match the appearance of those on the existing building. However, if the exterior finishes and materials on the existing building do not meet the standards of subsection F.1 above, any material that meets the standards of subsection F.1 may be used.*

COMMERCIAL BUILDINGS:

The requirements from the Old Cannery Area of the Old Town Overlay District (copied above) apply to Commercial, Institutional, and Mixed-use structures. This requirement will apply to the following structures:

- **South Building**
- **West Building**
- **East Building**
- **Machine Works Building**
- **Future structures within the NE Phase.**

South, West, East, and NE Phase Buildings: These buildings will comply with the standards listed above. Exposed concrete is proposed to give a base for the brick to be placed upon and provide a solid prominent corner feature. Since brick is already being used, few, if any, substantial-looking materials are available that can adequately provide a sturdy-looking base and contrast to the brick. These buildings will comply with Paragraph F.1 with the following exceptions:

- **Either exposed concrete, pre-cast concrete, or colored or textured concrete masonry units may be used to reinforce the base of the building per the 'Base of Building' guideline in this pattern book.**
- **Preferred primary exterior materials are Brick and Stucco.**

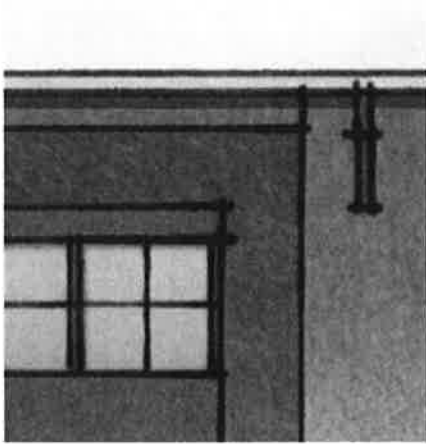
Machine Works Building: This building may not comply with the standards listed above. This building is an adaptive reuse of an existing concrete structure. Re-cladding the entire structure is not economically feasible or appropriate. The existing concrete walls can be treated such that they fit well within the character of Old Town and the Cannery Development. This building will comply with the following:

- **Where new walls are built: The exterior material shall be consistent with the requirement for the South, West, East and NE Phase Buildings, above.**
- **Where existing walls are restored: Walls may be painted, covered in stucco, or by any other material consistent with Paragraph F.1 above.**
- **The existing exposed concrete foundations may remain as exposed concrete or be re-painted, even if more than 3-feet is currently exposed.**

RESIDENTIAL BUILDINGS:

While the requirements copied above do not specifically apply to the residential buildings, the intent of this guideline should be applied to the residential buildings as follows:

- Brick is to be used as either a primary building material for a portion of the building to accomplish other guidelines in this pattern book (reinforce the corner, etc) or as accent material.
- In addition to the materials allowed in Paragraph F.1 above high quality panel systems may be used; including, but not limited to metal or fiber cement panels. Examples of such materials are shown below. Materials such as T-111 siding or corrugated metal sheets shall not be used.



BRICK EXTERIOR



EXAMPLES OF BRICK FACADES



EXAMPLE OF ACCEPTABLE RESIDENTIAL METAL PANELS



EXAMPLE OF ACCEPTABLE RESIDENTIAL COMPOSITE PANELS

ROOF-MOUNTED EQUIPMENT

- G. **Roof-Mounted Equipment.** The purpose of this standard is to minimize the visual impact of roof-mounted equipment. All roof-mounted equipment, including satellite dishes and other communications equipment, must be screened using one of the methods listed below. Solar heating panels are exempt from this standard.
1. A parapet as tall as the tallest part of the equipment.
 2. A screen around the equipment that is as tall as the tallest part of the equipment.
 3. The equipment is set back from the street-facing perimeters of the building 3 feet for each foot of height of the equipment. On corner lots with two street facing areas, all equipment shall be centered. (Ord. 2006-009 § 2)

COMMERCIAL BUILDINGS:

The requirements from the Old Cannery Area of the Old Town Overlay District (copied above) apply to Commercial, Institutional, and Mixed-use structures. This requirement will apply to the following structures:

- South Building
- West Building
- East Building
- Machine Works Building
- Future structures within the NE Phase.

All buildings identified above will comply with Paragraph G.

RESIDENTIAL BUILDINGS:

While the requirements copied above do not specifically apply to the residential buildings, the intent of this guideline should be applied to the residential buildings as follows: The roof top mechanical equipment in the residential buildings will comply with Paragraph G.

GROUND FLOOR WINDOWS

- H. **Ground Floor Windows.** The purpose of this standard is to encourage interesting and active ground floor uses where activities within buildings have a positive connection to pedestrians in Old Town. All exterior walls on the ground level which face a street lot line, sidewalk, plaza or other public open space or right-of-way must meet the following standards:

1. Windows must be at least fifty percent (50%) of the length and twenty-five percent (25%) of the total ground-level wall area. Ground-level wall areas include all exterior wall areas up to nine (9) feet above the finished grade. This requirement does not apply to the walls of residential units or to parking structures when set back at least five (5) feet and landscaped to at least the Section 16.92.030C standard.
2. Required window areas must be either windows that allow views into working areas or lobbies, pedestrian entrances, or display windows set into the wall. The bottom of the windows must be no more than four (4) feet above the adjacent exterior grade.

COMMERCIAL BUILDINGS:

The requirements from the Old Cannery Area of the Old Town Overlay District (copied above) apply to Commercial, Institutional, and Mixed-use structures. This requirement will apply to the following structures:

- South Building
- West Building
- East Building
- Machine Works Building
- Future structures within the NE Phase.

South, West, East, and NE Phase Buildings: These buildings will comply with Paragraph H.

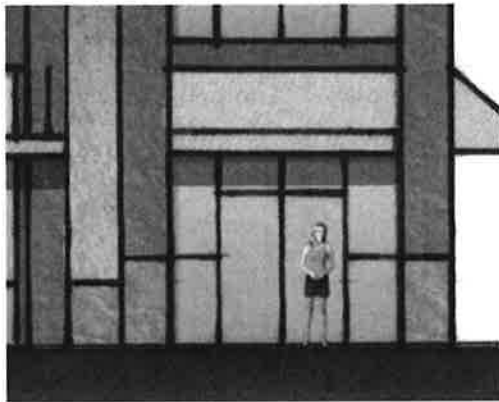
Machine Works Building: This building will not fully comply with the standards listed above. This building is an adaptive reuse of an existing concrete structure; the existing grade differences between the floor and the adjacent may be greater than 4-feet. This structure will comply with the following:

- The street facing façade of the Machine Works building will meet the requirements of subparagraph H.1, above.
- The portion of the north façade facing the landscaped plaza between the Machine Works building and the West building shall meet both requirements of Paragraph H.

RESIDENTIAL BUILDINGS:

While the requirements copied above do not specifically apply to the residential buildings, the intent of this guideline should be applied to the residential buildings as follows:

- Ground floor residential windows will provided consistent with their use. Large areas without windows or articulation on the ground floor elevations are not allowed.
- Residential buildings are to be set back a minimum of 5-feet. This area must be appropriately landscaped.
- For residential buildings, subparagraph H.2, above, does not apply.



GROUND FLOOR WINDOWS FOR ENTRY AND DISPLAY



EXAMPLES OF GROUND FLOOR WINDOWS

DISTINCT GROUND FLOOR

- I. Distinct Ground Floor. The purpose of this standard is to emphasize the traditional development pattern in Old Town where the ground floor of buildings is clearly defined. This standard applies to buildings that have any floor area in non-residential uses. The ground level of the primary structure must be visually distinct from upper stories. This separation may be provided by one or more of the following:
1. A cornice above the ground level.
 2. An arcade.
 3. Changes in material or texture; or
 4. A row of clerestory windows on the building's street-facing elevation.

COMMERCIAL BUILDINGS:

The requirements from the Old Cannery Area of the Old Town Overlay District (copied above) apply to Commercial, Institutional, and Mixed-use structures. This requirement only applies to multi-story structures and therefore will apply to the following structures:

- East Building
- Multi-story Future structures within the NE Phase.

All buildings identified above will comply with Paragraph I, above, through the use of clerestory windows on the building's street facing elevation. In addition the following shall apply:

- Paragraph I, above, shall also apply to the Plaza facing elevation of the East Building

RESIDENTIAL BUILDINGS:

This section does not apply, nor is appropriate, for the residential buildings proposed.



CLERESTORY WINDOWS WITH HORIZONTAL TRIM



EXAMPLES OF CLERESTORY WINDOWS



ROOF

- J. *Roof. The purpose of this standard is to encourage traditional roof forms consistent with existing development patterns in Old Town. Roofs should have significant pitch, or if flat, be designed with a cornice or parapet. Buildings must have either:*
1. A sloped roof with a pitch no flatter than 6/12; or
 2. A roof with a pitch of less than 6/12 and a cornice or parapet that meets the following:
 - a. There must be two parts to the cornice or parapet. The top part must project at least six (6) inches from the face of the building and be at least two (2) inches further from the face of the building than the bottom part of the cornice or parapet.
 - b. The height of the cornice or parapet is based on the height of the building as follows:
 - (1) Buildings sixteen (16) to twenty (20) feet in height must have a cornice or parapet at least twelve (12) inches high.
 - (2) Buildings greater than twenty (20) feet and less than thirty (30) feet in height must have a cornice or parapet at least eighteen (18) inches high.
 - (3) Buildings thirty (30) feet or greater in height must have a cornice or parapet at least twenty-four (24) inches high.

COMMERCIAL BUILDINGS:

The requirements from the Old Cannery Area of the Old Town Overlay District (copied above) apply to Commercial, Institutional, and Mixed-use structures. This requirement will apply to the following structures:

- South Building
- West Building
- East Building
- Machine Works Building
- Future structures within the NE Phase.

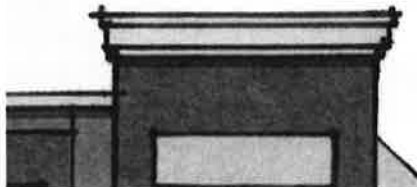
South, West, East, and NE Phase Buildings: These buildings will comply with Paragraph J.

Machine Works Building: This building will not comply with the standards listed above. This building is an adaptive reuse of an existing structure. The existing roof structure will be repaired as necessary but not re-built to be in compliance with this Paragraph.

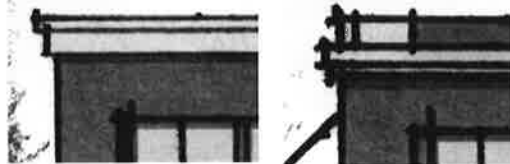
RESIDENTIAL BUILDINGS:

While the requirements copied above do not specifically apply to the residential buildings, the intent of this guideline should be applied to the residential buildings as follows:

- Roofs of the residential buildings may be either sloped (3/12 or greater) or flat (less than 3/12).
- Sloped roofs shall be sloped no flatter than 3/12. [This pitch is appropriate for buildings of this scale to minimize the height of the roof.]
- Sloped roofs may be detailed such that they have an overhang or are concealed behind a cornice or parapet.
- Flat roofs shall be designed with a cornice or parapet
- The fascia line must vary either horizontally or vertically in at least one location, preferably to reinforce the corner at Columbia and Highland.



CORNICE WITH TWO PARTS AND TRIM



CORNICE DESIGN VARIATIONS



EXAMPLE OF CORNICE

BASE OF BUILDINGS

K. *Base of Buildings.* Buildings must have a base on all street-facing elevations. The base must be at least two (2) feet above grade and be distinguished from the rest of the building by a different color and material. (Ord. 2002-1128 § 3)

COMMERCIAL BUILDINGS:

The requirements from the Old Cannery Area of the Old Town Overlay District (copied above) apply to Commercial, Institutional, and Mixed-use structures. This requirement will apply to the following structures:

- South Building
- West Building
- East Building
- Machine Works Building
- Future structures within the NE Phase.

South, West, East, and NE Phase Buildings: These buildings will comply with Paragraph K.

Machine Works Building: This building will not comply with the standards listed above. This building is an adaptive reuse of an existing structure. The existing walls do not currently have a differentiation compliant with this requirement.

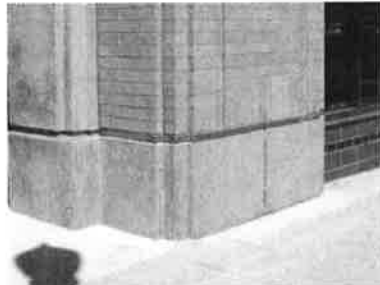
RESIDENTIAL BUILDINGS:

While the requirements copied above do not specifically apply to the residential buildings, the intent of this guideline should be applied to the residential buildings as follows:

- One of the following is to be provided:
 - A base consistent with Paragraph K above or;
 - A base that extends to the bottom of the third floor and is distinguished from the rest of the building by use of a different color.



CONTRASTING BASE AT 3 FEET ABOVE GRADE



EXAMPLES OF BUILDING BASES

SIGNAGE

See Chapter 16.102 SIGNS for General Size and Location Requirements. The intent is to encourage quality, variety, interest, shape and color in signage that enlivens the Old Cannery Area without conflicting with wayfinding or other signage elements consistent with Old Town. It should prioritize pedestrian-scaled signage, as well as provide identity for commercial operations viewed from vehicles. Signage lighting should enhance and reinforce quality, interest and clear identity at night.

SIGN TYPES PERMITTED:

Surface Mounted:

Individual, three-dimensional metal letters on wall or marquee canopies

Corner-attached metal sign box, letters may be internally lit

Blade Signs:

Projected from building façade or under canopy

Fabric Awnings:

Printed letters and/or logos on edge or face of awning

Glazed Doors and Windows:

Individual letters or panels adhered to inside

Individual neon letters and/or logos

SIGN TYPES NOT PERMITTED:

Surface Mounted:

Individual plastic or box signs on any surface

Ground-mounted Signs:

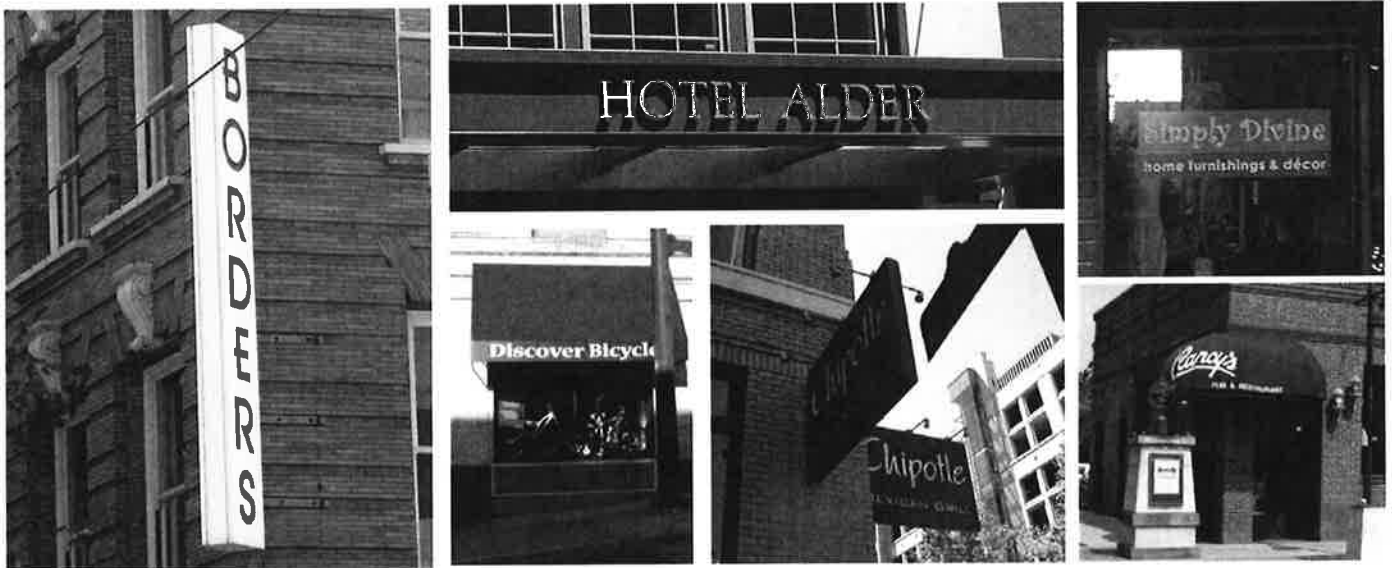
Pylon or monument sign in any material

Changeable letters

Moving Signs:

Reader boards, electronic or moving messages

Rotating or other mechanically moved features



EXAMPLES OF PERMITTED SIGNAGE

CANNERY SQUARE

At the center of the new development, the Cannery Square is a vibrant space destined to become Sherwood's outdoor living room. By offering a mix of elements different from Sherwood's current park inventory, it expands the city's ability to stage events from the weekly farmer's market to the annual Robin Hood Days. The Cannery Square also maintains its engaging atmosphere on a daily basis with elements like an interactive water feature, public art, and covered trellises.

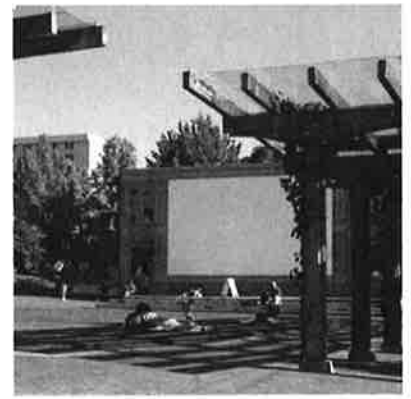
The majority of the plaza hardscape is perfect for formal events such as the farmer's market, movies in the park, and extension of Sherwood's current festivals like Robin Hood Days. A small lawn offers a softer area for informal activities and smaller events when the weather is dry. The plaza is paved with brick over a concrete base. This provides a beautiful and durable finish that recalls the history of the site as a major brick manufacturer for the Portland region. The brick paving extends across Columbia Street. For large events this portion of Columbia Street can be closed and used as an extension of the plaza. Alternately, the road can be paved in concrete to match Pine Street.

In addition to the brick paving, there is an art mosaic between the lawn and the East Building. Designed by an artist, this mosaic will represent the history of Sherwood and that of the Site as a brick factory, cannery, and its future as an urban center. At the edge of the mosaic is a large mature tree. Reminiscent of the "heritage tree" in a traditional village green, this large, open-crowned deciduous tree casts a dappled shade without hindering visibility in the plaza or to the commercial buildings.

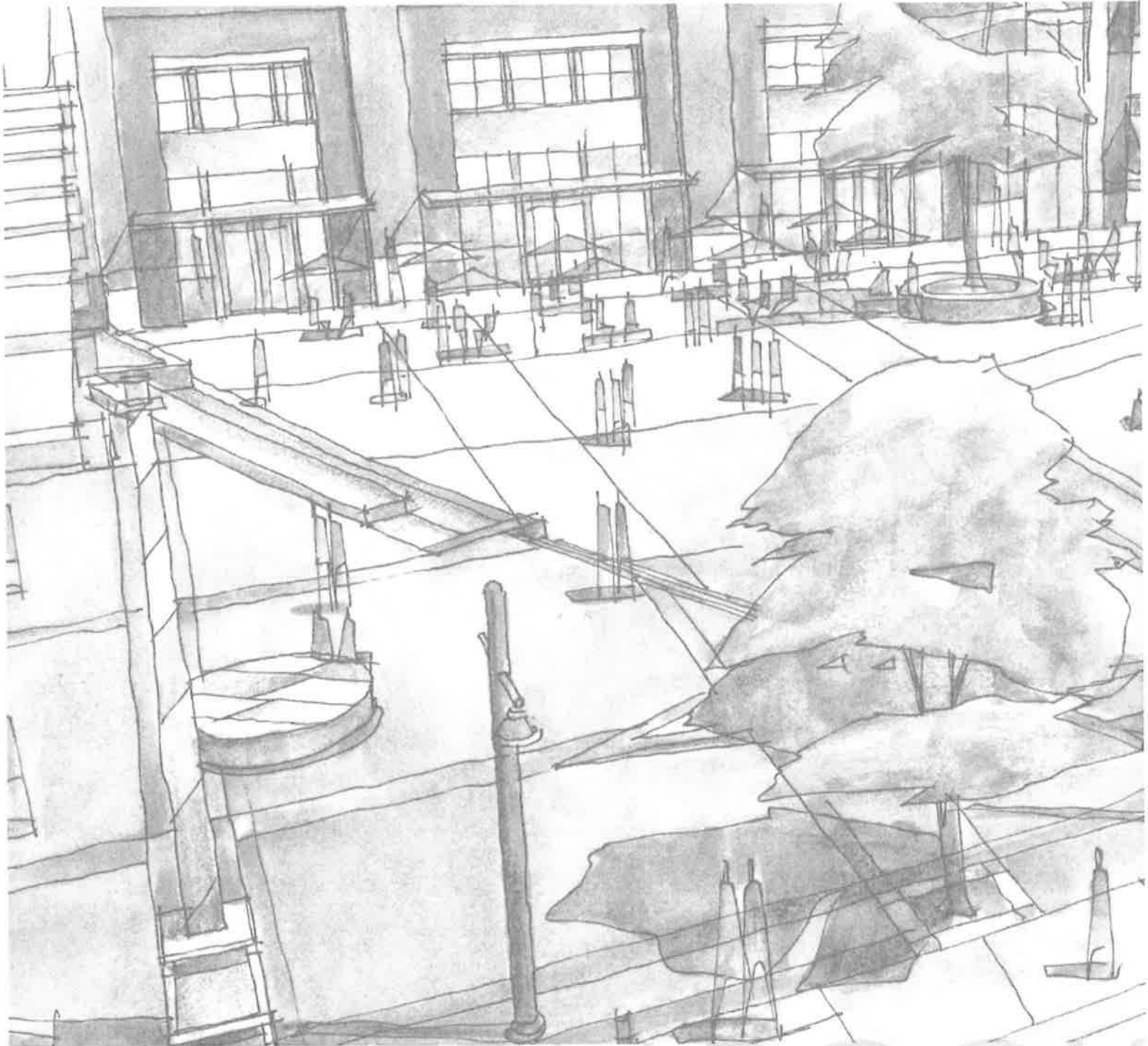
One of the major elements of the square is the interactive fountain. There is a level change of 2.5ft from the railroad crossing to the main area of the plaza. There is a set of stairs, a stacked amphitheater style seating area and a ramp which take up the elevation. The stepped seating is part of an interactive water feature in which water ebbs and flows over the steps. The water fills and empties a small depression in the plaza where children can splash and play. In addition to the cascading water, there are also jets of water along the top seat which herald the beginning of each cycle with a burst of activity.

There are two trellises in the plaza. The more prominent runs along the north edge buffering against the railroad. This is a fully covered wood and steel trellis which runs along the property boundary. It also integrates a wooden fence to discourage access to the railroad tracks. The second is a smaller covered trellis, situated on a 6" raised plinth that provides an informal stage, as well as a lightly covered seating area. The trellis, along with the slight level change, helps to create a distinction between the open space and the traffic on Pine Street. At Columbia Street, a scupper in the center of the roof directs stormwater from the trellis into a decorative catchment along the sidewalk, similar to those at Snyder Park along the picnic shelters. The stormwater feature brings the green-street character of the district into the plaza.

The square offers a variety of arrangements depending on the size of the event being programmed. For a large event the performance may be located on top of the stepped seating with the fountain turned off, creating a large stage. If the event is medium sized, or during concurrent events where the fountain is desired to remain on, for example the farmers market, the stage can be located at the top of the stairs. And for smaller, more intimate events, the performance can occur under the small trellis facing the lawn in the summer, or in the plaza facing the stepped seating with the fountain turned off, in the more inclement months.



SHERWOOD CANNERY SQUARE PUD
APPENDIX I
SEPTEMBER 8, 2009



SHERWOOD OLD CANNERY SITE

lango partners

LANDSCAPE ARCHITECTS P.C.

ANKROM MOISAN ARCHITECTS
ARCHITECTURE INTERIORS PLANNING

CAPSTONE
Partners LLC

PATTERN BOOK

16.162.080 STANDARDS FOR ALL COMMERCIAL, INSTITUTIONAL AND MIXED-USE STRUCTURES IN THE OLD CANNERY AREA.

The standards in this section apply to development of all new principal commercial, institutional and mixed-use structures in the "Old Cannery Area" of the Old Town Overlay District. These standards also apply to exterior alterations in this zone, when the exterior alteration requires full compliance with the requirements of applicable building codes. (Ord. 2006-009 § 2)

- A. *Building Placement and the Street.* The purpose of this standard is to create an attractive area when commercial or mixed-use structures are set back from the property line. Landscaping, an arcade, or a hard-surfaced expansion of the pedestrian path must be provided between a structure and the street.

Structures built to the street lot line are exempt from the requirements of this subsection. Where there is more than one street lot line, only those frontages where the structure is built to the street lot line are exempt from the requirements of this paragraph. All street-facing elevations must comply with one of the following options:

1. *Option 1: Foundation landscaping.* All street-facing elevations must have landscaping along their foundation. This landscaping requirement does not apply to portions of the building facade that provide access for pedestrian or vehicles to the building. The foundation landscaping must meet the following standards:
 - a. The landscaped area must be at least thirty (30%) of the linear street frontage.
 - b. There must be at least one (1) three-gallon shrub for every 3 lineal feet of foundation in the landscaped area; and
 - c. Ground cover plants must fully cover the remainder of the landscaped area.
 2. *Option 2: Arcade.* All street-facing elevations must have an arcade as a part of the primary structure, meeting the following requirements:
 - a. The arcade must be at least four (4) feet deep between the front elevation and the parallel building wall. (Ord. 2006-009 § 2)
 - b. The arcade must consist of one or a series of arched openings that are at least six (6) feet wide. The arcade, or combination of them, should cover a minimum of sixty (60%) of the street facing elevation;
 - c. The arcade elevation facing a street must be at least fourteen (14) feet in height and at least twenty-five percent (25%) solid, but no more than fifty percent (50%) solid; and
 - d. The arcade must be open to the air on 3 sides; none of the arcade's street facing or end openings may be blocked with walls, glass, lattice, glass block or any other material; and
 - e. Each dwelling that occupies space adjacent to the arcade must have its main entrance opening into the arcade.
 3. *Option 3: Hard-surface sidewalk extension.* The area between the building and the street lot line must be hard-surfaced for use by pedestrians as an extension of the sidewalk:
 - a. The building walls may be set back no more than six (6) feet from the street lot line.
 - b. For each one-hundred (100) square feet of hard-surface area between the building and the street lot line at least one of the following amenities must be provided.
 - (1) A bench or other seating.
 - (2) A tree.
 - (3) A landscape planter.
 - (4) A drinking fountain.
 - (5) A kiosk.
- B. *Reinforce the Corner.* The purpose of this standard is to emphasize the corners of buildings at public street intersections as special places with high levels of pedestrian activity and visual interest. On structures with at least two frontages on the corner where two city walkways meet, the building must comply with at least two of these options.
- Option 1:* The primary structures on corner lots at the property lines must be at or within 6 feet of both street lot lines. Where a site has more than one corner, this requirement must be met on only one corner.
- Option 2:* The highest point of the building's street-facing elevations at a location must be within 25 feet of the corner.
- Option 3:* The location of a main building entrance must be on a street-facing wall and either at the corner, or within 25 feet of the corner.
- Option 4:* There is no on-site parking or access drives within 40 feet of the corner.
- Option 5:* Buildings shall incorporate a recessed entrance(s) or open foyer(s), a minimum of 3 feet in depth to provide architectural variation to the facade. Such entrance(s) shall be a minimum of ten percent (10%) of the ground-floor linear street frontage.

- C. *Residential Buffer. The purpose of this standard is to provide a transition in scale where the Old Cannery Area is adjacent to a lower density residential zone, outside the District. Where a site in the Old Cannery Area abuts or is across a street from a residential zone, the following is required: (Ord. 2006-009 § 2)*
1. *On sites that directly abut a residential zone the following must be met:*
 - a. *In the portion of the site within 25 feet of the residential zone, the building height limits are those of the adjacent residential zone; and,*
 - b. *A 6-foot deep area landscaped with, at a minimum, the materials listed in Section 16.92.030B is required along the property line abutting or across the street from the lower density residential zone. Pedestrian and bicycle access is allowed, but may not be more than 6 feet wide. (Ord. 2006-009 § 2)*
- D. *Main Entrance. The purpose of this standard is to locate and design building entrances that are safe, accessible from the street, and have weather protection.*
1. *Location of main entrance. The main entrance of the principal structure must face a public street (or, where there is more than one street lot line, may face the corner). For residential developments these are the following exceptions:*
 - a. *For buildings that have more than one main entrance, only one entrance must meet this requirement.*
 - b. *Entrances that face a shared landscaped courtyard are exempt from this requirement.*
 2. *Front porch design requirement. There must be a front porch at the main entrance to residential portions of a mixed-use development, if the main entrance faces a street. If the porch projects out from the building it must have a roof. If the roof of a required porch is developed as a deck or balcony it may be flat, otherwise it must be articulated and pitched. If the main entrance is to a single dwelling unit, the covered area provided by the porch must be at least six (6) feet wide and six (6) feet deep. If the main entrance is to a porch that provides the entrance to two or more dwelling units, the covered area provided by the porch must be at least 9 feet wide and 8 feet deep. No part of any porch may project into the public right-of-way or public utility easements, but may project into a side yard consistent with Section 16.60.040. (Ord. 2006-009 § 2)*
- E. *Off-Street Parking and Loading Areas. The purpose of this standard is to emphasize the traditional development pattern in Old Town where buildings connect to the street, and where off-street vehicular parking and loading areas are of secondary importance.*
1. *Access to off-street parking areas and adjacent residential zones - Access to off-street parking and loading areas must be located at least twenty (20) feet from any adjacent residential zone.*
 2. *Parking lot coverage - No more than fifty percent (50%) of the site may be used for off-street parking and loading areas.*
 3. *Vehicle screening - Where off-street parking and loading areas are across a local street from a residential zone, there must be a 6-foot wide landscaped area along the street lot line that meets the material requirements in Section 16.92.020B. (Ord. 2006-009 § 2)*
- F. *Exterior Finish Materials. The purpose of this standard is to encourage high quality materials that are complementary to the traditional materials used in Old Town.*
1. *Plain or painted concrete block, plain concrete, corrugated metal, full-sheet plywood, fiberboard or sheet pressboard (i.e. T-111), vinyl and aluminum siding, and synthetic stucco (i.e. DryVit and stucco board), are not allowed as exterior finish material, except as secondary finishes if they cover no more than ten percent (10%) of a surface area of each facade and are not visible from the public right-of-way. Natural building materials are preferred, such as clapboard, cedar shake, brick, and stone. Composite boards manufactured from wood in combination with other products, such as hardboard or fiber cement board (i.e. HardiPlank) may be used when the board product is less than six (6) inches wide. Foundation materials may be plain concrete or block when the foundation material does not extend for more than an average of three (3) feet above the finished grade level adjacent to the foundation wall. (Ord. 2006-009 § 2)*
 2. *Where there is an exterior alteration to an existing building, the exterior finish materials on the portion of the building being altered or added must visually match the appearance of those on the existing building. However, if the exterior finishes and materials on the existing building do not meet the standards of subsection F.1 above, any material that meets the standards of subsection F.1 may be used.*

- G. *Roof-Mounted Equipment.* The purpose of this standard is to minimize the visual impact of roof-mounted equipment. All roof-mounted equipment, including satellite dishes and other communications equipment, must be screened using one of the methods listed below. Solar heating panels are exempt from this standard.
1. A parapet as tall as the tallest part of the equipment.
 2. A screen around the equipment that is as tall as the tallest part of the equipment.
 3. The equipment is set back from the street-facing perimeters of the building 3 feet for each foot of height of the equipment. On corner lots with two street facing areas, all equipment shall be centered. (Ord. 2006-009 § 2)
- H. *Ground Floor Windows.* The purpose of this standard is to encourage interesting and active ground floor uses where activities within buildings have a positive connection to pedestrians in Old Town. All exterior walls on the ground level which face a street lot line, sidewalk, plaza or other public open space or right-of-way must meet the following standards:
1. Windows must be at least fifty percent (50%) of the length and twenty-five percent (25%) of the total ground-level wall area. Ground-level wall areas include all exterior wall areas up to nine (9) feet above the finished grade. This requirement does not apply to the walls of residential units or to parking structures when set back at least five (5) feet and landscaped to at least the Section 16.92.030C standard.
 2. Required window areas must be either windows that allow views into working areas or lobbies, pedestrian entrances, or display windows set into the wall. The bottom of the windows must be no more than four (4) feet above the adjacent exterior grade.
- I. *Distinct Ground Floor.* The purpose of this standard is to emphasize the traditional development pattern in Old Town where the ground floor of buildings is clearly defined. This standard applies to buildings that have any floor area in non-residential uses. The ground level of the primary structure must be visually distinct from upper stories. This separation may be provided by one or more of the following:
1. A cornice above the ground level.
 2. An arcade.
 3. Changes in material or texture; or
 4. A row of clerestory windows on the building's street-facing elevation.
- J. *Roof.* The purpose of this standard is to encourage traditional roof forms consistent with existing development patterns in Old Town. Roofs should have significant pitch, or if flat, be designed with a cornice or parapet. Buildings must have either:
1. A sloped roof with a pitch no flatter than 6/12; or
 2. A roof with a pitch of less than 6/12 and a cornice or parapet that meets the following:
 - a. There must be two parts to the cornice or parapet. The top part must project at least six (6) inches from the face of the building and be at least two (2) inches further from the face of the building than the bottom part of the cornice or parapet.
 - b. The height of the cornice or parapet is based on the height of the building as follows:
 - (1) Buildings sixteen (16) to twenty (20) feet in height must have a cornice or parapet at least twelve (12) inches high.
 - (2) Buildings greater than twenty (20) feet and less than thirty (30) feet in height must have a cornice or parapet at least eighteen (18) inches high.
 - (3) Buildings thirty (30) feet or greater in height must have a cornice or parapet at least twenty-four (24) inches high.
- K. *Base of Buildings.* Buildings must have a base on all street-facing elevations. The base must be at least two (2) feet above grade and be distinguished from the rest of the building by a different color and material. (Ord. 2002-1128 § 3)
- L. *Height Bonus:* A five foot height bonus shall be granted if at least two of the following amenities are included in the overall design:
1. Awnings or Marquees subject to Section 16.162.090 – Commercial Standard.
 2. Public art installation subject to Cultural Arts Commission and City Council approval.
 3. Additional public bike parking: 1 additional space per residential unit.
 4. A courtyard or plaza facing the street open to the public subject to Commission approval.
- (Ord. 2006-009 § 2)

MEMORANDUM

Date: July 21, 2010
To: Julia Hajduk, Planning Manager, City of Sherwood
From: Jackie Sue Humphreys, Clean Water Services (the District)
Subject: Sherwood Cannery Square Plaza, SP 10-02, 2S132BD00200

Please include the following comments when writing your conditions of approval:

PRIOR TO ANY WORK ON THE SITE

A Clean Water Services (the District) Storm Water Connection Permit Authorization must be obtained. Application for the District's Permit Authorization must be in accordance with the requirements of the Design and Construction Standards, Resolution and Order No. 07-20, (or current R&O in effect at time of Engineering plan submittal), and is to include:

- a. Detailed plans prepared in accordance with Chapter 2, Section 2.04.2.b-1.
- b. Detailed grading and erosion control plan. An Erosion Control Permit will be required. Area of Disturbance must be clearly identified on submitted construction plans. If site area and any offsite improvements required for this development exceed one-acre of disturbance, project will require a 1200-C Erosion Control Permit.
- c. Detailed plans showing the development having direct access by gravity to public storm and sanitary sewer.
- d. Provisions for water quality in accordance with the requirements of the above named design standards. Water Quality is required for all new development and redevelopment areas per R&O 07-20, Section 4.05.5, Table 4-1. Access shall be provided for maintenance of facility per R&O 07-20, Section 4.02.4.
- e. If use of an existing, offsite or regional Water Quality Facility is proposed, it must be clearly identified on plans, showing its location, condition, capacity to treat this site and, any additional improvements and/or upgrades that may be needed to utilize that facility.

- f. If private lot LIDA systems proposed, must comply with the current CWS Design and Construction Standards. A private maintenance agreement, for the proposed private lot LIDA systems, needs to be provided to the City for review and acceptance.
- g. Show all existing and proposed easements on plans. Any required storm sewer, sanitary sewer, and water quality related easements must be granted to the City.
- h. Site contains a "Sensitive Area." Applicant shall comply with the conditions as set forth in the Service Provider Letter No. 09-000783, dated June 8, 2009.
- i. Developer may be required to preserve a corridor separating the sensitive area from the impact of development. The corridor must be set aside in a separate tract, not part of any buildable lot and, shall be subject to a "Storm Sewer, Surface Water, Drainage and Detention Easement over its entirety", or its equivalent.
- j. Detailed plans showing the sensitive area and corridor delineated, along with restoration and enhancement of the corridor.
- k. Any proposed offsite construction activities will require an update or amendment to the current Service Provider Letter for this project.

CONCLUSION

This Land Use Review does not constitute the District's approval of storm or sanitary sewer compliance to the NPDES permit held by the District. The District, prior to issuance of any connection permits, must approve final construction plans and drainage calculations.

development design changes in a way that trees can be retained. Trees 1-4 are the only ones that would be required to be mitigated because all other trees are necessitated either by public infrastructure or are not proposed for removal. The total inches that would need to be mitigated is 56. It is recommended that tree removal and mitigation be reviewed at time of final development plan approval for trees 1-4. All other trees to be removed are part of the public improvements associated with the subdivision.

FINDING: As discussed above, the applicant has not fully indicated how the trees to be removed will be mitigated. In addition, while the applicant has indicated they will remove only those trees minimally necessary to complete the development, a condition is necessary to insure that the proposed tree retention is realized and trees proposed for retention are not harmed during construction.

CONDITIONS:

1. The applicant shall comply with the arborist recommendations from Kurt Lango in the July 31, 2009 memo regarding tree protection measures and all tree protection shall be in place prior to the grading of the site.
2. Prior to approval of the west building or NE building PUD phase, submit a plan for mitigation of any trees removed associated with that phase and complete the mitigation or supply appropriate assurance that the mitigation will be completed per the approved plan. The mitigation shall provide similar species to those removed.

IX. DECISION

Based on a review of the applicable code provisions, agency comments, staff review, Planning Commission recommendation and public comments, the City Council finds that the Plan Amendment, Planned Unit Development and Subdivision do not fully meet the applicable review criteria. However, the applicable criteria can be satisfied if specific conditions are met. Therefore, the Council **APPROVES with conditions** the Sherwood Cannery Square PUD (PUD 09-01, PA 09-05 and SUB 09-2). Required conditions are as follows:

X. CONDITIONS OF APPROVAL

A. General Conditions:

1. Compliance with the Condition of Approval is the responsibility of the developer.
2. Approval of this Preliminary PUD does not constitute approval of a final development plan for the PUD or approved phases of the PUD.
3. Final Development plans for the PUD or phases of the PUD shall substantially comply with the preliminary plan dated September 2009 and prepared by Harper Houf, Peterson Righellis, Inc, and must comply with the conditions in this approval in addition to any other conditioned deemed necessary to ensure compliance with the development code and this approval.

B. **Prior to the plan amendment taking effect:**

1. The TSP functional classification map shall be modified to reflect not only the change in classification, but also that Columbia Street will no longer connect to Oregon Street. This shall be coordinated by the City.

2. Funding must be identified and programmed for the eastbound right turn lane from Oregon to Lincoln and an agreement established between the City and developer for its implementation.

C. Prior to approval of the Final Subdivision Plat

1. Public Improvement Plans shall be submitted and approved. The Public Improvement Plans shall fully comply with City of Sherwood Design and Construction standards and include but not be limited to:
 - a. Revision to the proposed pavement material to one that is acceptable to the City Engineer. A design that includes PCC dyed and stamped pavement to look like brick will be accepted and is encouraged to support the design concept proposed with the PUD.
 - b. Plans shall show a Type III barricade shall be installed at the eastern stub end of SW Columbia Street, and a road extension sign shall be installed on the barricade in compliance with City requirements.
 - c. The access standards for the Old Town (OT) Overlay Zone shall be incorporated into the construction drawings. City Engineer approval of access points in conformance with the Old Town (OT) Overlay Zone shall be required for construction plan approval.
 - d. The sanitary sewer system design and installation shall be in conformance with City design and construction standards, and must receive City Engineer review and approval to be accepted by the City.
 - e. The public water distribution system design and installation shall be in conformance with City design and construction standards, and must receive City Engineer review and approval to be accepted by the City.
 - f. The applicant shall sign a waiver of remonstrance against future modifications to the storm water system for discharge to the future regional storm water treatment system
 - g. The storm water system design shall incorporate the ability to reroute storm water discharge to the future regional treatment facility ← *Has this been computed with?*
 - h. The local storm water pond shall be designed to CWS standards unless an agreement allowing design exceptions for the local treatment pond, and establishing development timing criteria for the regional facility is entered into between CWS and the City.
 - i. The storm water conveyance, detention, and treatment systems and off-site wetland mitigation shall conform to the design, permitting, and construction requirements as approved by Clean Water Services (CWS).
 - j. The plans shall demonstrate the existing overhead utility lines along the Willamette street frontage will be placed underground.
 - k. The plans shall show the installation of public telecommunication conduits including laterals for individual lots.
 - l. The plans shall be revised to include one street tree for every 25 feet of frontage or provide verification that the number of trees proposed is the maximum possible based on the street storm water biofiltration design.
2. The plan amendment to change the functional classification of Columbia must be acknowledged by DLCDC.
3. Provide verification of the public easement retained between lots 1 and 2 for private utilities and storm water or dedicate the required easement on the plat.
4. The proposed right of way dedication, consistent with the preliminary plans, shall be shown on the final plat.

D. Prior to any site grading for public or private improvements:

1. Since the total area disturbed for this project exceeds 1 acre, an NPDES 1200-C permit will be required. The applicant shall follow the latest requirements from DEQ for NPDES 1200-C permit submittals. A copy of the approved and signed permit shall be provided to the City prior to holding a pre-construction meeting or commencing any construction activity.
2. The applicant shall comply with the arborist recommendations from Kurt Lango in the July 31, 2009 memo regarding tree protection measures and all tree protection shall be in place prior to the grading of the site.
3. A No Further Action letter must be issued by DEQ with a copy of said letter in the planning file.

E. General and Specific PUD Detailed Final Development Plan requirements:

1. A Detailed final development plan shall be submitted for review and approval within 1 year of the preliminary PUD approval.
2. The Detailed Final Development Plan may be submitted for one or more phases, but shall include a detailed phasing, including timing, plan for remaining phases.
3. Prior to occupancy of any phase in the PUD, on-site public improvements must be complete as determined by the City Engineer.
4. Prior to occupancy of the west building, south building, east building or the east or west residential building, the Plaza shall be complete.
5. Deleted
6. Prior to approval of occupancy for any phase utilizing on-site private stormwater treatment systems, the applicant shall sign an access and maintenance agreement for any private stormwater treatment systems installed as part of this development.
7. All phases shall provide 65% of the required parking with no more than 50% of that parking being "modified" compact parking spaces (9 feet wide by 18 feet long).
8. Each phase shall comply with the site plan standards including but not limited to Community Design standards except as specifically modified in this decision.
9. Trash enclosures must be placed consistent with Pride Disposal requirements
10. No outdoor storage is permitted.
11. Any outdoor sales and merchandise display must be approved as part of a CUP per 16.98.040
12. Any detailed final development plan approval for any structure in Phase I (West Building, South Building, East Building, West Residential Building, or East Residential Building) shall be coordinated and approved by the City Engineer to ensure that the traffic mitigation measures are assigned appropriately for each building phase. The traffic mitigation measures for all structures in Phase I are:
 - a. Construct improvements to improve the operations of Pine Street/1st Street to meet City performance standards and mitigate queuing impacts at the Pine Street railroad crossing. This shall be accomplished by implementing a modified circulation for the downtown streets that includes:

19. As part of the development of the East and West residential phase, enhanced screening along Willamette Street shall be provided to ensure a year round visual screen is provided.
20. Prior to final PUD approval, submit a revised Architectural Pattern Book that:
 - a. Clarifies that while the requirements do not specifically apply to multi-family residential the elements in the architectural pattern book are to be applied.
 - b. Specifies what metal panels may and shall not look like.
21. Developer shall consider naming buildings after public input and publicly displayed building names shall reflect the history of the area as a former cannery. Exhibit H shall be used as a guide for potential names.
22. No less than 60% of the Machine Shop building shall be utilized for public use. Up to 40% of the existing building may be utilized for commercial uses, provided the remainder of the building is being utilized as public space such as a cultural arts facility/community center.
23. Prior to final site plan approval of the east or west residential development, the developer shall provide an agreement for approval by the City that requires an on-site manager for the residential buildings. The on-site manager will be required to ensure that tenants understand the parking limits prior to entering into a lease agreement, and understand and adhere to the approved parking locations.

In any City forum or meeting:

- Individuals may not impugn the character of anyone else, including but not limited to members of the community, the reviewing body, the staff, the applicant, or others who testify. Complaints about staff should be placed in writing and addressed to the City Manager. If requested by the complainant, they may be included as part of the public record. Complaints about the City Manager should be placed in writing and addressed to the Mayor. If requested by the complainant, they may be included as part of the public record.
- Comment time is 4 minutes with a Commission-optional 1 minute Q & A follow-up.
- The Chair of a meeting may have the ability to modify meeting procedures on a case-by-case basis when especially complicated issues arise, or when the body is involved in extraordinary dialogue, but only after receiving the advice and majority consent of the body. The Chair may also cut short debate if, in their judgment, the best interests of the City would be served.
(Note: Written comments are encouraged, and may be submitted prior to the meeting by mail, or at the meeting. There is no limit to the length of written comment that may be submitted)

Persons who violate these rules may be asked to stop their comments by any member of the body. Community Comments beyond the 4-minute limit may not be included in the record of the meeting. Persons who impugn the character of anyone will be required to stop immediately. Their comments will not be included in the record of the meeting, and they will forfeit their remaining time. Any person who fails to comply with reasonable rules of conduct or who causes a disturbance may be asked or required to leave and upon failure to do so becomes a trespasser.

I have read and understood the Rules for Meetings in the City of Sherwood.

I don't agree to these Rules if you are saying these Rules are not part of the hearing process

Agenda Item: Gannery Square Hearing

I am: Applicant: Proponent: Opponent: Other

Name: Susan CLANS

Address: _____

City/State/Zip: Sherwood, OR 97140

Email Address: _____

I represent: Myself Other

If you want to speak to Commission about more than one subject, please submit a separate form for each item.

Please give this form to the Recording Secretary prior to you addressing Planning Commission. Thank you.

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Agenda Item: Cannery Square Plaza

I am: Applicant: Proponent: Opponent: Other

Name: Eugene Stewart

Address: 23695 SW Pine Street

City/State/Zip: Sherwood, OR 97140

Email Address: EugeneS103@AOL.com

I represent: Myself Other

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9/7/10

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I have read and understood the Rules for Meetings in the City of Sherwood.

Agenda Item: Public Comments

I am: Applicant: Proponent: Opponent: Other

Name: Eugene Stewart

Address: 23695 SW Pine Street

City/State/Zip: Sherwood, OR 97140

Email Address: EugeneS103@AOL.com

I represent: Myself Other

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I have read and understood the Rules for Meetings in the City of Sherwood.

Agenda Item: Community Comments

I am: Applicant: Proponent: Opponent: Other

Name: Susan CLaus

Address: 2221 SW Pacific Hwy

City/State/Zip: Sherwood, OR 97140

Email Address: _____

I represent: Myself Other

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Please give this form to the Recording Secretary prior to you addressing Planning Commission. Thank you.

TO: Sherwood Planning Commission
c/o Sherwood Planning Department
22560 SW Pine Street
Sherwood, Oregon 97140



FR: Jim Claus

DT: 7 September 2010

RE: Cannery PUD September 7, 2010 hearing

=====
Case File No. SP 10-02 and CUP 10-01
Tax Map/Lot: Tax lots 150, 151, 200, 800 and 900 on tax map 2S132BD.
Applicant: Capstone Partners LLC
1015 NW 11th Ave, Suite 243
Portland, OR 97209

=====
Dear Commissioners:

I am away on business and will not return before the combined hearing tonight. I would like to request that the hearing record be kept open for comments on this entire hearing including the site plan and conditional use permit for the proposed Cannery PUD and the Final Development Plan for "this portion of the approved Sherwood Cannery Square PUD (PUD 09-01). There is also a final phasing plan for the remainder of the PUD.

I have a series of materials that I wish to submit to the record for the Planning Commission's consideration and deliberations on these applications.

The Cannery PUD appeal is still in process of being heard at LUBA. This hearing tonight is premature and is more of the staff and attorneys pushing the process to the city's and the Urban Renewal District's benefit as well as Capstone.

The city has contracted with Capstone for an 8% oversight fee on these public improvements. Not only does Capstone not have to pay for the improvements-- the urban renewal agency is paying Capstone, paying for the materials, and utilizing land bought from the city by the Urban Renewal Agency.

Capstone has options to buy or not to buy finished RC zoned pads at a fixed rate over several years. None of the financial costs or even a financial overview of the project for the citizens are detailed in the staff report, the applicant's materials, the final development plan, the site plan or the conditional use permit-- yet the citizens and the Planning Commission are being asked again to approve conditions and plans that will cost our town a lot of money.

I would also ask for the opportunity to respond to the staff report and the applicant's submittals as well as to the testimony that is being received at the hearing. Please let me know the parameters of the record being left open so I can respond. The staff can contact me through my wife's email address.

Exhibit "D"

APPROVED MINUTES

City of Sherwood, Oregon
Planning Commission Minutes
September 7, 2010

Commission Members Present:

Chair Allen
Jean Lafayette
Michael Carey
Russell Griffin
Lisa Walker

Staff:

Julia Hajduk, Planning Manager
Michelle Miller, Associate Planner
Karen Brown, Recording Secretary

Commission Members Absent:

Matt Nolan
Raina Volkmer

Council Liaison – Mayor Mays

Call to Order/Roll Call – Chair Allen called the meeting to order. Karen Brown called roll.

1. **Agenda Review** – Sherwood Cannery Square Plaza SP 10-02/CUP 10-01
2. **Consent Agenda** – None
3. **Staff Announcements** – None given
4. **City Council Comments** – Mayor Mays was present, no council comments made
5. **Community Comments** – *Susan Claus 22211 SW Pacific Hwy, Sherwood OR* asked how an item/question is added to the “Residential Hot Topics” list and how that process will work. She has concerns that after this code clean-up exercise has moved forward that there may be last minute, walk-on issues that could be explosive and how those would be dealt with and what the time lines are for the process.

Chair Allen responded by explaining that it has been an iterative process including on-line surveys and listening sessions. There is another listening session scheduled for September 14th that she is invited to attend and bring any issues or concerns up at that time. The intent is to be sure that items are looked at to determine if they are clean up issues or more true policy issues. The plan is to address the issues brought forward and avoid any “explosive” items showing up at the Council level.

There is a schedule posted on the web-site, as well. Julia addressed the time line question by saying the plan is to have the residential code ready for review sometime in December.

Mrs. Claus expressed concern that code changes may occur that the public was not given notice about or a chance to voice their opinions about, to be specific she is worried that there may be changes that will directly affect her sign that is visible on Pacific Hwy. She made a point to say that she feels every effort should be made to engage local business owners. She also hopes the people can be made to understand at what point they can give testimony.

Chair Allen acknowledged the comments and explained that many avenues have been used to notify everyone in Sherwood about the listening sessions and their opportunity to share their ideas with the Planning Commission. Notices have gone out by way of post card mailings, articles in the Gazette as well as the Archer along with updates on the City's web site and e-mail notices. He did assure everyone that at the beginning of the next listening session he would take the time to explain the process and how and when citizens are able to engage in the process and at what levels things happen.

Eugene Stewart 23695 SW Pine Street, Sherwood OR began by encouraging the Commission to have a work session on the Oregon State goals and guidelines especially Goal 1 Citizen Involvement. He is concerned that there is not a written plan in place at this time as well as a Citizen's Involvement Committee.

6. New Business –

a. Sherwood Cannery Square Plaza SP 10-02/CUP 10-01

Chair Allen began the public hearing by reading the public hearing disclosure script. Chair Allen disclosed that a neighbor of his is the president of the Robin Hood Festival and expressed the concern that there is a place set aside in the Plaza for a Christmas tree. No other exparte' or contact was disclosed and this disclosure was not challenged by anyone.

Julia presented her staff report and pointed out two new exhibits that had been submitted; one by Sanford Rome and one by James Claus, both of which ask that the record be left open. Those will be labeled exhibits C and D. Those requests coincide with the Planning Staffs request on page 3, which ask that a decision not be made during this meeting, but rather wait for the Land Use Board of Appeals decision to be made regarding the PUD.

The City is hoping to incorporate the grading for the plaza into the street improvement bid package, which is part of the reason for this special meeting.

The proposal being reviewed at this meeting is for a 12,000 sq. ft. public plaza on the Northeastern corner of Pine and Columbia.

Commissioner Lafayette and Julia discussed the conditions regarding the general and specific Planned Unit Development final development plan requirements. As approved the conditions go to 23, but the Staff Report only goes to 20. Julia explained that there was a discrepancy between the Planning Commission recommendation and the City Council decision. Julia indicated that a copy will be made of the newly numbered conditions and labeled as Exhibit E in the record.

Chair Allen asked for clarification on condition 11 regarding outdoor sales and conditional use permits. Julia explained that the provision for outdoor sales was meant for special events like Saturday Markets and festivals, rather than permanent retail shops having access for outdoor sales. There are places in the Staff Report that speak to this issue, page 6 and page 19.

Chair Allen opened the hearing for the applicant's testimony:

Jeff Sacket from Capstone Partners, 1015 NW 11 Ave. Suite 243, Portland OR gave an overview of plaza presentation, and then turned the floor over to Curt Lango.

Kurt Lango, of Lango Hansen Architects 1100 NW Glisan, Portland OR. Kurt and his team are excited about the work they've done for the Plaza over the past 8 months. As well as the Plaza they have been working on additional improvements for the Sherwood Cannery Square including the Streetscape project and the Machine Works Building. Focusing on the Plaza there are several interesting elements which include: shade canopies both on the North and West side, a grass area, an interactive water feature that when turned off doubles as an amphitheater as well as a very large Heritage Tree. Through several meetings including public meetings and meetings with the Parks Board there have been some good changes that have been made to the plan. The materials planned to be used at this time are primarily two types of brick, which will add some depth and color. Wilkinson Stone, which is quarried here in the northwest as well as granite caps, will also be used in certain areas. There is a desire to save some money and re-use some of the granite pavers that are currently being used as part of the streetscape in Old Town, around the basin of the water feature replacing the pavers in the street with colored concrete. Kurt described in detail the water features and the canopy designs as well as the furnishings which include 12 bike parking spaces, drinking fountains, benches and trash receptacles. In addition to the grassy area, there are color beds planned for different plantings throughout the seasons. The Heritage tree is proposed as a Honey Locust which can get to be approximately 50' tall with a 40' wide canopy. Lighting has been addressed both in the plaza and under the canopies insuring a safe, secure, well lit area. A sound system will also be installed to be used during events for public announcements or other MC'd events as well as the potential to pipe in music during holidays or other similar functions. An art committee has been established to determine the location and types of public art within the plaza. There is also a tree well designed for holding a community Christmas tree equipped with power for lights.

Jeff Sacket spent some time discussing the "phasing" of the entire project emphasizing the need for flexibility. "Committing to a schedule for a multi phase project with a duration of many years is essentially impossible given the variety of unpredictable variables that might affect it." They are "reasonably confident of the near term phases but have been necessarily conservative in projecting timing for the subsequent phases."

Capstone is very motivated to begin this project and move forward as quickly as possible; however the world economy and markets do have impacts on this type of development. The signs are favorable that things are moving in the right direction. The commercial buildings will either need to be pre-leased or sold before construction can begin as no financing is available on speculative ventures at this time. They will continue to move

forward, but will still ask for flexibility from the Planning Commission and Urban Renewal.

Murray Jenkins from Ankrom Moison Architects 6720 SW Macadam, Suite 100, Portland OR pointed out several revisions that have been made regarding the Pattern Book that were discussed the last time he talked with the Planning Commission (when the preliminary PUD was under review). The first change is in tone. Commissioner Lafayette requested the wording be changed to have a more positive connotation. Murray has changed the wording throughout, taking out the wording that says the standards don't apply and now say although it doesn't technically apply they believe the intent should apply. Secondly the Commission had a question regarding the exterior metal panels and what those were. He has added a paragraph specifying that corrugated metal panels and T-111 will not be allowed, but what would be allowed are high quality panel materials.

Chair Allen then opened the meeting up for public testimony either for or against the proposal.

Susan Claus 22211 SW Pacific Hwy. Sherwood, OR requested that the record be left open. She continued by expressing concern that this hearing is being held while the project is still pending a decision from LUBA. She feels there should be some acknowledgment or explanation as to why this is being moved forward prior to the LUBA decision being made. She also believes that the testimony just given by Jeff Sacket regarding phasing is different from that in the packet. She requested an updated phasing plan that reflects Mr. Sacket's testimony. Mrs. Claus expressed concern regarding the timing of the project and the Urban Renew Plan that is supposed to be completed by 2020. She agrees with Mr. Sacket that there is a need for flexibility, but has concerns that decisions are being made now predicating that the Urban Renewal will have to continue and questions who will pay for that. She asked if the renderings that show the different stories are what the buildings will be held to or is there a possibility that they may end up 3 stories.

Eugene Stewart 23695 SW Pine Street, Sherwood, OR stated first that he is neither a proponent nor opponent of the project, but rather has questions and would like to see some conditions be added including one that would require the parking study be completed before the project continues. He also believes that in the Transportation Plan Oregon Street is shown coming into the development and questions why that is not happening now. He feels like that should be another condition placed on the project. He also has concerns regarding the fixture color requirements. He stated that the Streetscape plan that has been adopted calls for black fixtures, and then it was voted on for blue fixtures. He would like to see a condition stating that the downtown streetscape plan would need to be followed. He has concerns regarding notice that was sent out as well. He did not recall getting notice of the project and believes that tenants in his building should be notified as well. Regarding the pattern book that has been discussed several times, he believes that the project should follow what has already been adopted for the look in Old Town. He also suggested adding a parking structure.

With no one else signed up to testify, Chair Allen called the applicant back up for their rebuttal.

Jeff Sacket returned to rebut/respond to questions asked during public testimony. He began by agreeing that they would submit a revised phasing plan with updates. Regarding phasing and Oregon Street/Adams Ave. connection to the Plaza, there are many contributing factors. Access to Old Town must remain open at all times. With only two access points, Sherwood Blvd/ Pine Street and Oregon Street there will need to be considerable coordination done to maintain access. Pine Street will need to be closed completely for approximately 2 months during the project, which is also constrained by ODOT Rail orders for work to be done that will close Oregon Street temporarily. Regarding the developer being held to the renderings, he indicated that they are not held by the drawings, however they are held to the total amount of square footage that was approved in the City Council's decision. The total number of residential units and commercial units are fixed. The actual layout is subject to the Architectural pattern book and final development plan approval by the Planning Commission.

Kurt Lango continued first by addressing the question of the size of the Plaza. Based on the density of the development around the Plaza it was determined that too much open space left empty would not be appropriate. Regarding the fixture color, the streetscape items will remain blue to match existing fixtures within the City. Within the Plaza the goal is to not emphasize the fixtures but rather have them recede in the background. Those features will be a dark bronze color.

Chair Allen and Commissioner Lafayette discussed with Mr. Lango the fact that per City Council direction there will actually be 3 different colored fixtures in that area; the blue to match the street scape, some black to match the neighborhood and the dark bronze within the Plaza.

In response to a question from Commissioner Griffin, Kurt discussed the capacity of the plaza. Based on research done they feel that the Plaza could hold 400 to 500 people and possibly more if Columbia Street was closed during an event.

In response to Commissioner Griffin's question regarding the impacts that the potential Langer project could have on Capstone's ability to build, Jeff explained that he feels they are two very different products and that the retailers and businesses that would be drawn to an Old Town location would be very different than the large format retailers that would locate on the Langer's site. There will likely be some competition, but competition tends to make everyone sharper and there will likely be tenants that can go either way. There will be different atmospheres and different amenities that each will hold.

Commissioner Lafayette asked if the areas for future development could be graded and used for temporary event parking.

Per Jeff Sacket, that has not been established yet, but is not out of the question.

She also asked if there was going to be broadband antenna on the light poles.

Kurt Lango responded by saying currently there are no plans to install WiFi within the Plaza.

Conversation continued about items that will actually be addressed in detail during site plan review for individual buildings.

Chair Allen closed the public hearing, leaving the written record open as requested.

In final Staff Comments Julia talked about conditions that have to be met prior to completion of the project and obtaining a Certificate of Occupancy for the Plaza including needing the subdivision to be complete which means being platted and recorded. She also felt it would be a good idea, in response to Commissioner Lafayette's suggestion, that it be clear that the lots not yet built could potentially be temporarily graveled for parking.

Chair Allen summarized where the project stands at this time. The record will be left open for 7 days. The applicant will then have 7 days to respond to that materials submitted. There has also been a request that the applicant submit the updated phasing plan within the first 7 day time frame. Commissioner Lafayette asked if it is documented within the findings that there is no sensitive area within the Plaza.

Regarding the Land Use Board of Appeals decision; the timing will be that the decision will be made, at the latest, the day after the first 7 days that the record is left open. If LUBA turns down the appeal then the Planning Commission will continue moving forward. If the decision is to remand the decision, then the Planning Commission will determine what next steps to take at that time.

Commissioner Lafayette made a motion to continue SP 10-02/CUP 10-01 to September 28, 2010. The motion was seconded by Commissioner Griffin. All were in favor.

The next meeting is scheduled for September 14, 2010.

Chair Allen closed the public hearing.

End of minutes.