

APPENDIX B

Daily Field Reports Continued

Phase II RA

April 23 through June 13, 2024

Continued



OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #16 Date: May 20, 2024

TO: Don Hanson / DEQ
Sarah Eagle / DEQ
COPIES: Susan Turnblom / DEQ
Rick Ernst / GSI Water Solutions
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Sunny - 50s
PM: Partly Cloudy - 60s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
3 Kings (Brett, Adrianna, Shane, 6 crew)
Mid-State Industrial Service

Site Visitors

Organization and Name:

- Sarah Eagle - DEQ - Oversight
- Rachel Long - DEQ - Oversight

Safety

Topics covered:

- Appropriate PPE
- Site security
- Traffic control
- ESCP requirements
- Daily workplan

Activities Performed

0700 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- GSI confirmed with [REDACTED] Baxter resident that no water issues had started occurring at the property over the weekend after the installation of a new water line the previous week.
- 3 Kings indicated they had some additional laborers scheduled to assist with RA activities this week.
- GSI informed 3 Kings of additional plumbing issues that had cropped up at [REDACTED] Baxter over the weekend. 3 Kings to continue troubleshooting issues with bathroom toilet, bathtub, and kitchen sink as soon as residents are awake and allow access to house.
- 3 Kings delivered track out pads they were planning to place at south side of [REDACTED] Baxter. 3 Kings indicated they would also be placing fabric along truck loading area to help minimize track out and cross contamination. 3 Kings also brought wooden blocks to provide curb protection from truck traffic.

- 1X loaded 3 Kings truck staged onsite over weekend with Rexius topsoil to be placed in front yards when ready.

0800 – 3 Kings performing walk through properties to discuss logistics for remaining RA activities. GSI pointed out downspout drain lines at north end of [REDACTED] Baxter that were previously tied into an apparent French drain and would need to be restored to this condition. 3 Kings aware of the downspouts that would need to be tied in accordingly.

[REDACTED] Baxter tenants confirmed that plumbing at the property appeared to be functioning correctly over the weekend and did not appear to be adversely impacted post water line replacement.

0805 – 3 Kings turned off water to [REDACTED] Baxter to continue troubleshooting plumbing issues.

0830 – 3 Kings began removing fence section to access [REDACTED] Baxter backyard. 3 Kings operators had some questions regarding backfilling requirements in front yard of [REDACTED] Baxter after surfacing change to wood chips. GSI explained that outside of CRZ, the backfill placement should be handled similarly to mulch areas discussed in the scope memos/RFB (6 inches loam, 6 inches topsoil, landscape barrier, 2 inches wood chips).

0840 – GSI pointed out to 3 Kings some lingering areas in the ROW that still needed touch up excavation.

0850 – 3 Kings placing imported topsoil at [REDACTED] Baxter.

0906 – 3 Kings began using larger excavator to try break off pieces of walnut tree stump remnants left along fence line in SE corner of [REDACTED] Baxter. 3 Kings asked how much of this material would need to be removed due to concerns about damaging the existing fence and potentially having to access 3 properties to repair it. GSI explained that any soil should be removed using a combination of equipment and/or hand tools to the required excavation grades and then suggested following up with saws or similar equipment to cut out as much of the remaining wood as possible. GSI indicated all of the stump would likely not be removable, but that 3 Kings should be able to cut out enough to ensure it is below finish grade after restoration.

0915 – 3 Kings operator began touch up grading high points marked in ROW along the south side of [REDACTED] Baxter.

0935 – 3 Kings delivering additional plumbing supplies for troubleshooting ongoing issues at [REDACTED] Baxter.

0940 – 3 Kings truck onsite delivering gravel from Delta.

1015 – GSI checked in with 3 Kings to confirm some material quantity tracking due to lack of 3 Kings dailies to reference. 3 Kings indicated that approximately 1,136 tons of contaminated soil had been transported to the landfill thus far (minus outstanding trucks from that morning) and that 723 of 850 tons of clean fill had been imported thus far. 3 Kings asked if costs for short mountain soil line item could be reallocated to clean fill. GSI indicated that this was likely possible and would be discussed internally and with DEQ to confirm.

1025 – 3 Kings asked if chicken coop structure located within metal fenced area on south side of [REDACTED] Baxter needed to be saved. GSI indicated that without resident confirmation on disposal for this 3 Kings should assume it is being saved and set aside for now. 3 Kings discussing RA logistics for south side of [REDACTED] Baxter – 3 Kings may remove majority of southern fence section to allow for larger excavator access and speed up soil removal in this area.

1100 – 3 Kings operator informed GSI that someone with Channel 9 – KEZI news outlet had stopped by and taken a couple pictures. The channel representative had not asked to speak with GSI and/or DEQ. GSI observed Channel 9 vehicle parked at JH Baxter facility entrance to south of RA area and apparently photographing facility.

1125 – GSI observed that 3 Kings had impacted a drainage line on the backside of the residence at [REDACTED] Baxter. 3 Kings indicated the drain line was connected to properties washer unit and the residents were made aware of the impact. 3 Kings planning on replacing damaged section of line. 3 Kings operator indicated he had felt what may be part of a septic system while excavating 12 inch excavation cuts in the area to the east of the residence.

1155 - 3 Kings encountered a septic system in the backyard of [REDACTED] Baxter. GSI observed that the concrete lid for the system was still intact with no obvious damage and/or voids observed. At the time it was unclear if the system had been decommissioned. GSI observed that the damaged drain line from the washer system ran to a T in the line that disappeared below the surface in the direction of the septic tank. 3 Kings indicated that it was possible that the line appearing to run to the septic system had been capped with concrete at a partially buried coupler. GSI asked 3 Kings to uncover potential section of line running to septic tank to investigate further. GSI to notify DEQ that septic system was encountered at this property.

1200 - GSI observed that 3 Kings operators were damaging downspout drain lines running to the east in the backyard of [REDACTED] Baxter. GSI reminded operators that the configuration of these would need to be tracked so that they can be replaced in like kind after removal activities. GSI/DEQ discussed septic system and DEQ concurred that status of line running to tank should be determined. DEQ indicated that if line appeared to be capped or no longer connected to tank, the system could be left without further investigation unless evidence of voids or damage to the lid are observed. 3 Kings continuing to troubleshoot plumbing within [REDACTED] residence - indicated that everything except the toilet appeared to be functioning correctly.

1245 - 3 Kings using larger excavator to remove steel fence posts from south side of [REDACTED] Baxter adjacent to the rabbitry.

1255 - GSI performed spot check air monitoring downwind from material loading/earthwork activities and upwind from project site to monitor ambient conditions for comparison purposes. Some intermittent airborne dust observed during equipment/vehicle traffic along roadways.

1300 - 3 Kings placing imported gravel material in driveway of [REDACTED] Baxter for staging. GSI reminded 3 Kings that tenants would need access to their driveway returned by EOD and that 3 Kings should be prepared to ensure [REDACTED] are driveways are similarly cleared prior to wrapping up site activities.

1315 - 3 Kings began excavating to uncover sewer line potentially still connected to septic system at [REDACTED] Baxter. GSI observed that the uncovered line ran to the north shortly after the T in the line where the lateral presumably ran east-west and connected to the main line in the ROW. 3 Kings also uncovered disconnected portions of the old septic line that were left after abandoning the system. Based on this, and no obvious voids or damage observed around the septic tank, GSI/DEQ concluded that the system will be assumed to have been decommissioned and no further investigation would be taken. No potential ACM material was encountered when excavating around the sewer line/septic in this area.

1325 - GSI observed that 3 Kings was placing demarcation fabric along ROW to the south side of [REDACTED] Baxter in anticipation of gravel backfill in this area. GSI referred 3 Kings to surface restoration plans for this area and indicated that per the plans, the restoration finish should be sod here with gravel only extending to the southern fence line. 3 Kings reviewed surface restoration plans and indicated they would place backfill in accordance with project requirements. 3 Kings started reinstallation of irrigation line in front yard of [REDACTED] Baxter.

1330 - DEQ (Sarah) onsite. GSI informed DEQ that water had been restored to [REDACTED] Baxter and updated DEQ on lingering plumbing issues with toilet. DEQ to get confirmation from residents in writing that plumbing at properties is functioning correctly after water line replacements.

1405 - DEQ/GSI observed some leaking on the public side of the water meter at [REDACTED] Baxter. GSI brought this up to 3 Kings who indicated they would inform EWEB to visit and inspect any potential damage. GSI/3 Kings discussed anticipated cost for additional HVAC contractor visit to diagnose system at [REDACTED] Baxter. 3 Kings to provide cost for DEQ approval of additional visit.

1425 - 3 Kings decided to remove the fence from the majority of the south side of [REDACTED] Baxter to provide equipment access to areas along the southern property border and lessen the amount of hand tool excavation required. 3 Kings informed GSI that downspout drain lines being encountered at [REDACTED] Baxter appeared to be terminating in a shared drywell in the backyard. GSI indicated the configuration of these drain lines should be tracked by 3 Kings in reinstalled to pre-RA condition after removal actions are completed.

1430 - 3 Kings truck onsite delivering loam from Rexius.

1530 - 3 Kings truck onsite delivering gravel from Delta. 3 King operator began placing topsoil in ROW along [REDACTED] Baxter property line. 3 Kings preloading haul truck for transport to landfill in the morning.

1600 – GSI observed 3 Kings had removed some additional soil around water meter at [REDACTED] Baxter to better expose leaking section of line. 3 Kings indicated EWEB had been notified and would be onsite to inspect/repair any damaged line as needed.

1650 - 3 Kings crew wrapping up site activities for day, installing BMPs/site security.

1700 – Street sweeper onsite. GSI reminded 3 Kings of forecasted precipitation for the week and that 3 Kings should be prepared to install or improved BMPs if needed. 3 Kings indicated they were aware and ready to supplement BMPs if needed.

1715 – Security onsite. GSI/3 Kings offsite.

Truck Count:

- 1 load offsite to landfill. 1 truck 'preloaded' and staged onsite for transport first thing in the morning.
- 2 imported loads Delta Sand & Gravel 3/4-inch-minus.
- 1 imported load Rexius loam.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- Septic system encountered at [REDACTED] Baxter – likely to be left as is due to tank lid in good condition and sewer line no longer running to system
- ACM material disposal from [REDACTED] and [REDACTED]
- Majority of front yard [REDACTED] Baxter not surveyed at excavation leave surface per project requirements – survey to be performed with 3 Kings assistance removing imported soil to expose excavation grades for surveyor if needed.

Upcoming Planned Activities

- DU-09: Build shed, sod placement, planting.
- DU-10: Touch up backfilling as needed. Fix damaged concrete in driveway, hydroseed application, planting.
- DU-11: Complete touch up front yard excavations, fix cleanout, tie in downspout drain lines, continue backfilling. Continue backyard excavation. Survey backyard excavation extents.
- DU-15: Complete front yard/CRZ excavation, begin backfilling. Continue backyard excavation. Survey excavation extents. Resolve plumbing issues.
- SO-07: Complete front yard/CRZ excavation, begin backfilling. Survey excavation extents. Start excavation in back yard.

RA Day 16 Photographs

Photograph 1. Supplemental spot grading in ROW by [REDACTED] Baxter. Photo taken facing north.



Photograph 2. Steel fence for chicken run removal at [REDACTED] Baxter. Photo taken facing north.



Photograph 3. Start of excavations along eastern side of [REDACTED] Baxter backyard. Photo taken facing south.



Photograph 4. Excavation progress at [REDACTED] Baxter and temporary equipment/loading road. Photo taken facing southeast.



Photograph 5. Damaged section of washing machine drain line at [REDACTED] Baxter. Photo taken facing southwest.



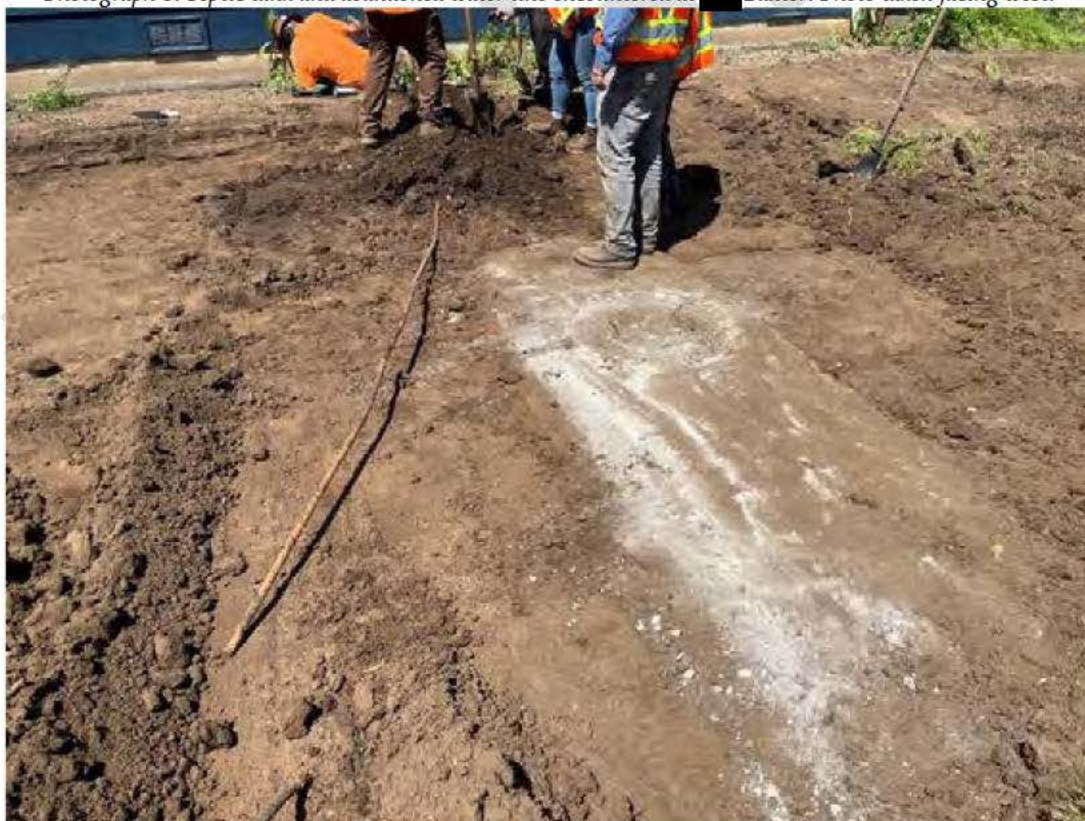
Photograph 6. Miscellaneous yard items set aside from [REDACTED] and [REDACTED] Baxter. Photo taken facing northeast.



Photograph 7. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing south.



Photograph 8. Septic tank and abandoned water line encountered at [REDACTED] Baxter. Photo taken facing west.



Photograph 9. Drain line, sewer line, and septic system encountered at [REDACTED] Baxter. Photo taken facing east.



Photograph 10. Damaged downspout drain line at [REDACTED] Baxter. Photo taken facing south.



Photograph 11. Damaged downspout drain line at Baxter. Photo taken facing northeast.



Photograph 12. Spot check air monitoring near earthwork activities. Photo taken facing north.



Photograph 13. Upwind air monitoring along Baxter street. Photo taken facing southeast.



Photograph 14. Current sewer pipe confirmed not connected to septic system. Photo taken facing east.



Photograph 15. Damaged downspout drain line at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 16. Trench digging in imported soil for irrigation line install. Photo taken facing south.



Photograph 17. Apparent leaking observed at water meter at [REDACTED] Baxter. Photo taken facing west.



Photograph 18. Imported gravel placing at [REDACTED] Baxter. Photo taken facing north.



Photograph 19. 3 Kings checking excavation grades at Baxter. Photo taken facing northwest.



Photograph 20. Irrigation line install in front yard of Baxter. Photo taken facing south.



Photograph 21. Excavated soil from [REDACTED] Baxter staged in backyard for loading and off haul. Photo taken facing south.



Photograph 22. Excavation progress at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 23. Confirmed leaking water line at meter for Baxter. Photo taken facing northwest.



Photograph 24. Baxter ROW after street sweeping. Photo taken facing north.





OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #17 Date: May 21, 2024

TO: Don Hanson / DEQ **COPIES:** Susan Turnblom / DEQ
Sarah Eagle / DEQ Rick Ernst / GSI Water Solutions

FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Sunny - 50s
PM: Cloudy - 60s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
3 Kings (Brett, Adrianna, Shane, 6 crew)
Mid-State Industrial Service
Delta Sand & Gravel
A-1 Auto Glass

Site Visitors

Organization and Name: • Sarah Eagle - DEQ - Oversight

Safety

Topics covered:

- Appropriate PPE
- Site security
- Traffic control
- ESCP requirements
- Daily workplan

Activities Performed

0700 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. 2X Delta haul trucks onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings planning on continuing/finishing irrigation line installation in front yard of [REDACTED].
- 3 Kings to begin removal activities in back yard of [REDACTED] and in north side covered area.
- 3 Kings has identified a 5 x 7 foot shed for [REDACTED] Baxter. GSI confirmed required shed size a minimum of 4 x 6 feet. 3 Kings planning to level out surface prior to shed placement but unsure if some gravel and/or supporting wood may be required until they see how the shed base is constructed.
- 3 Kings generally continuing soil removal and off haul activities for the backyards of [REDACTED] Baxter.

0715 - GSI observed 3 Kings had placed demarcation fabric along loading area in property back yards and track out pads/curb protection via wooden boards. GSI indicated to 3 Kings operator that BMPs installed at

curb inlets could use a refresh, particularly with some evening rain forecast. 3 Kings indicated they had some additional biobags and/or fabric they could replace at inlets in addition to the installed dedicated inserts.

0728 – 1X 3 Kings haul truck onsite and loaded for landfill. 3 Kings removing items from covered area at Baxter and placing in temp storage area under tarp in front yard. 3 Kings using large excavator to remove laundry poles from backyard of [REDACTED].

0815 – 3 Kings began using mini-excavator and hand tools to start removing soil to 6 inches below grade within covered area on north side of [REDACTED]. Using larger excavator to remove soil from other easily accessible areas in the backyard.

0840 – GSI/3 Kings discussed drain line restoration at [REDACTED] Baxter. GSI indicated to 3 Kings that drain lines running to drain rock should be reinstalled in like kind to pre-RA conditions.

0900 – GSI spoke with resident at [REDACTED] Baxter. Resident indicated that toilet still did not appear to be functioning correctly. According to the resident the toilet was flushing slightly longer than it should, possibly due to leaky fittings somewhere within the fixture. Resident indicated that the problem was insignificant enough that nothing needed to be done about it at the time. GSI indicated that 3 Kings would revisit the problem after wrapping up other restoration activities and to inform GSI/3 Kings if additional problems were observed.

0950 – A-1 Auto Glass (1 crew) onsite to repair Toyota Tundra window damaged at [REDACTED] Baxter during earthwork. 3 Kings using hand tools to dig trench for drain line at [REDACTED] Baxter. GSI/3 Kings discussed footing excavations at [REDACTED] Baxter. 3 Kings indicated that the footing appeared to terminate around 6 inches below grade. GSI indicated that 3 Kings could remove the full six inches in accordance with project specifications as they were careful not to undermine the footing.

3 Kings operator indicated that he had felt what was likely a septic system while excavating between the greenhouse and the residence at [REDACTED] Baxter. GSI indicated to carefully continue removing material in this area to required excavation grade (6 inches) and that any potential system handling would be discussed when the condition of the septic system is observed.

3 Kings indicated Minister & Glaeser was scheduled to visit the site and collected excavation extent survey points from [REDACTED] through [REDACTED] properties tomorrow.

1000 – GSI and 3 Kings discussed likely septic system at [REDACTED] Baxter. GSI reiterated that the system would be assessed and handled in like fashion to those encountered at previous properties.

1015 – GSI explained backfilling requirements in areas specified for mulch surfacing to 3 Kings (minimum 6 inches topsoil, 5-ounce landscape weed barrier, approximately 2 inches mulch).

1130 – GSI/3 Kings discussed project punch list items:

- 3 Kings said plant list acquiring progress. 3 Kings indicated they were still working on tracking down suppliers for the requested plants and that they may be provided by multiple sources.
- 3 Kings indicated they were having difficulty finding landscaping contractors for the hydroseed and/or sod placement that could meet BOLI requirements.
- 3 Kings had some follow up questions regarding contracting terms and payment related to changes from sod to mulch product at [REDACTED] Baxter, and potential reallocation of short mountain funds for loam import costs. GSI (Julian) referred 3 Kings to Chris M for additional contracting questions.
- 3 Kings indicated they had the surveyor scheduled for the entire day tomorrow. 3 Kings indicated the surveyor would be following up in portions of the front yards that were missed the previous week and that they would also attempt to have all the back yard excavation extents surveyed as well.
- 3 Kings waiting on confirmation regarding access to [REDACTED] Alva Park property for fence repairs. GSI to discuss access with DEQ.

1235 – A-1 Auto Glass completed replacement of vehicle window at [REDACTED] Baxter. 3 Kings continuing restoration work with mini excavator in front yards [REDACTED] and [REDACTED] Baxter.

1300 – 1X Delta truck onsite.

1320 – 3 Kings began placing geotextile demarcation fabric and ¾-inch-minus gravel backfill in area along south side of [REDACTED] Baxter front yard.

1400 – GSI performed spot check air monitoring downwind from material loading/earthwork activities and upwind from project site to monitor ambient conditions for comparison purposes. Some intermittent airborne dust observed during equipment/vehicle traffic along roadways. 3 Kings performed intermittent wetting of roadways and work areas to help limit airborne dust.

1420 – 3 Kings asked about restoration requirements along eastern fence line of [REDACTED] Baxter. This portion of fence had been over buried and the bottom of the fence boards were approximately at the current excavation grade (6 inches removed). Backfilling per project specs would cause the fence to again be over buried by roughly 6 inches. GSI indicated that restoration would likely still occur as planned here with placement of 6 inches of topsoil, but that GSI/DEQ would discuss and possibly bring up to resident.

1435 – GSI marked approximate transition line of 6 inch excavation zone to 12 inch excavation zone at [REDACTED] Baxter based on sampling areas provided on site plans and Google earth aerial images. Surveyor to collect points marking the transition line for documentation purposes.

1445 – GSI on Teams meeting with DEQ to discuss RA progress. GSI/DEQ discussed punch list items and outstanding loose ends needing completion to meet project requirements. GSI informed DEQ that 3 Kings had apparently secured a landscaping contractor to perform hydroseed application and supply plants and that 3 Kings indicated they could supply ready-made landscaping care pamphlets to provide to residents with directions for seed/sod care after application.

1545 – GSI off Teams meeting. 3 Kings reinstalling site security and BMPs and wrapping up RA activities for the day. GSI observed that 3 Kings had begun placing delineation fabric and gravel backfill in ROW strip running along the front yard of [REDACTED] Baxter which was specified as topsoil and sod (now wood chips) surface finishing per project plans. GSI discussed this deviation with 3 Kings and reminded 3 Kings to refer to restoration plans and adhere to backfilling requirements specified for the project. 3 Kings to change restoration in this area to match project specs.

1600 – DEQ (Sarah) onsite. 3 Kings completed RA activities for the day. GSI/DEQ/3 Kings (Brett) met with tenants at [REDACTED] Alva Park to discuss improvements to fence at [REDACTED] Baxter property line that was leaning significantly prior to initiating earthwork activities. 3 Kings indicated they would like reinstall 3-4 posts to improve the fence structure, but that the majority of the fence boards could likely be reused. Resident indicated that the grape vine growing along the fence could be taken off and cut back as needed to facilitate fence improvements. 3 Kings collected contact info from tenant and confirmed that fence work would occur on Tuesday 5/28. DEQ/GSI confirmed that access to the backyard of the property for fence repairs was acceptable with tenants.

1700 – Street sweeper onsite. GSI offsite.

Truck Count:

10 loads offsite to landfill. 1 truck 'preloaded' and staged onsite for transport first thing in the morning.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- Septic systems encountered at [REDACTED] and [REDACTED] Baxter – likely to be left as is due to tank lid in good condition and sewer line no longer running to system at [REDACTED] and evidence of filled in tank at [REDACTED]
- ACM material disposal from [REDACTED] and [REDACTED] Baxter
- Majority of front yard [REDACTED] Baxter not surveyed at excavation leave surface per project requirements – survey to be performed with 3 Kings assistance removing imported soil to expose excavation grades for surveyor if needed.

Upcoming Planned Activities

- DU-09: Supplemental HVAC diagnosis visit. Build shed, sod placement, planting.

- DU-10: Touch up backfilling as needed. Fix damaged concrete in driveway, hydroseed application, planting.
- DU-11: Fix cleanout, tie in downspout drain lines, continue backfilling. Continue backyard excavation. Survey backyard excavation extents.
- DU-15: Continue backfilling. Continue backyard excavation. Survey excavation extents. Resolve plumbing issues.
- SO-07: Continue backfilling. Continue backyard excavation. Survey excavation extents.

RA Day 17 Photographs

Photograph 1. Contaminated soil loading from [REDACTED] Baxter. Photo taken facing south.



Photograph 2. Loading road lined in fabric and track out/curb protection installed. Photo taken facing north.



Photograph 3. Items from covered area of [REDACTED] Baxter stored in front yard. Photo taken facing northeast.



Photograph 4. Hand tools and mini-excavator used to remove soil from covered area at [REDACTED] Baxter. Photo taken facing east.



Photograph 5. Existing irrigation line and footing excavation in covered area at [REDACTED] Baxter. Photo taken facing west.



Photograph 6. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing north.



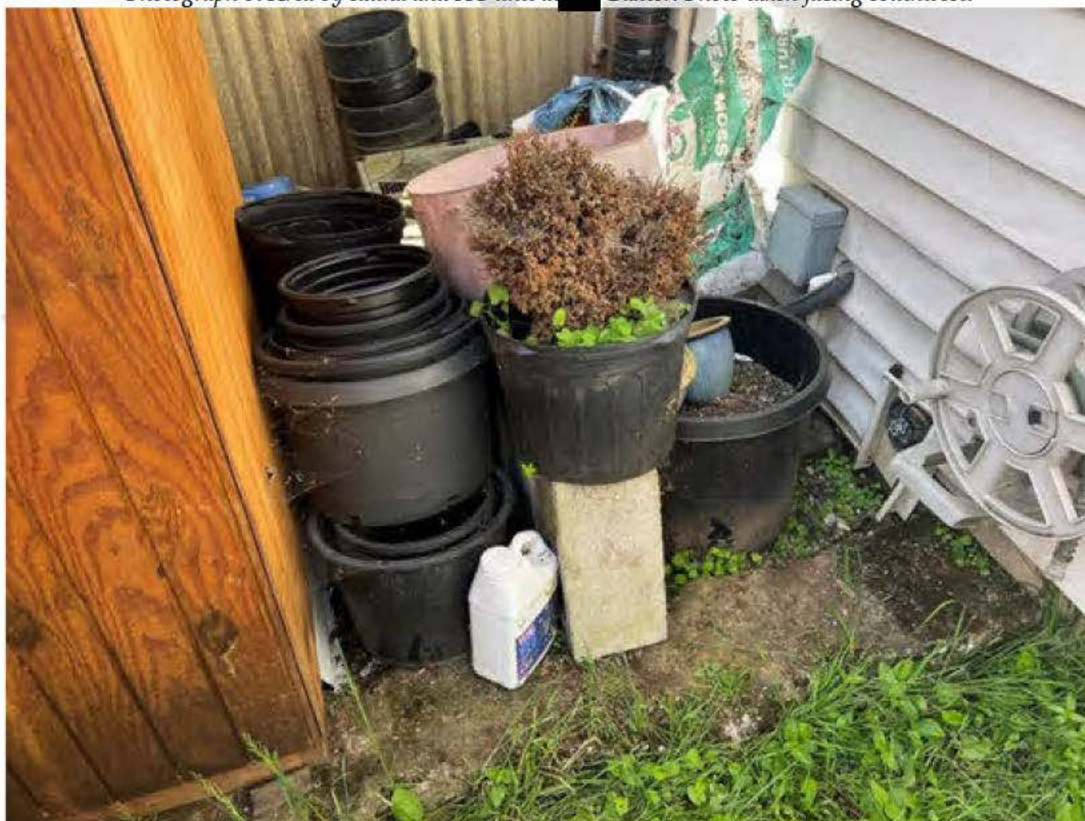
Photograph 7. Manual excavation depth field truthing. Photo taken facing east.



Photograph 8. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 9. Area by sauna and AC unit at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 10. Sewer cleanout encountered at [REDACTED] Baxter. Photo taken facing east.



Photograph 11. Excavation at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 12. Excavation progress at [REDACTED] Baxter. Photo taken facing west.



Photograph 13. Fixed vehicle window at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 14. Excavation progress at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 15. Demarcation fabric and gravel placed at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 16. Septic tank with apparent concrete cap at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 17. Fabric and gravel mistakenly placed in ROW along [REDACTED] Baxter. Photo taken facing south.



Photograph 18. Start of topsoil placing at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 19. BMP refresh for side road connecting Baxter and Alva Park. Photo taken facing south.



Photograph 20. Section of fence along [REDACTED] Baxter, [REDACTED] Alva Park to be improved. Photo taken facing west.



Photograph 21. EWEB repaired water line at meter of [REDACTED] Baxter. Photo taken facing north.





OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #18 Date: May 22, 2024

TO: Don Hanson / DEQ COPIES: Susan Turnblom / DEQ
 Sarah Eagle / DEQ Rick Ernst / GSI Water Solutions

FROM: Chris Martin / GSI Water Solutions
 Julian Peter / GSI Water Solutions

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 PM: Cloudy - 60s

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Contractors: GSI Water Solutions (Julian Peter)
 3 Kings (Brett, Adrianna, Shane, 6 crew)
 Mid-State Industrial Service
 Minister & Glaeser Surveying, Inc.
 Home Comfort Heating and Air Conditioning Inc.
 Delta Sand and Gravel
 Rexius

Site Visitors

Organization
and Name: • Don Hanson - DEQ - Oversight

Safety

Topics
covered: • Appropriate PPE
 • Site security
 • Traffic control
 • ESCP requirements
 • Daily workplan

Activities Performed

0650 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings has vacuum truck scheduled to assist with soil removal from greenhouse at [REDACTED] Baxter.
- 3 Kings indicated that Minister & Glaeser would be onsite by 9 AM to start surveying excavation extents throughout [REDACTED] properties. 3 Kings indicated they were prepared to have crew follow around surveyor and provide access to previously backfilled areas in front yards as needed to expose final excavation depth, and to perform follow up grading in backyards for any marked high points if necessary.
- 3 Kings confirmed Home Comfort would be onsite between 8 and 10 AM to diagnose HVAC system at [REDACTED] Baxter and discuss system status with residents. DEQ to be onsite for this meeting.

- 3 Kings to continue excavation and off haul activities from the backyards of [REDACTED] Baxter and continue restoration work in the front yards of these properties.
- 3 Kings indicated they had an approved plant list and would be ordering sod and currently targeting 5/30 to complete this work.

0715 – 3 Kings discussing RA activities in backyard of [REDACTED] with resident (Josh). The following scope items were discussed with the resident:

- Resident confirmed that one raised bed within greenhouse contained some 'native' soil and which would need to be removed along with other material. Two other raised beds were indicated as only containing potting soil and resident requested that this material be kept. 3 Kings to work around and move beds as needed to facilitate removal of underlying soil.
- Resident confirmed desired height of totes containing pea gravel when 3 Kings returns to greenhouse (around waist high). 3 Kings still deciding if they will manually clear out pea gravel and save, or remove this material with the vacuum truck and replace.
- Resident asked GSI/3 Kings not to move out items stored around sauna and AC unit on the back side of the residence. Resident indicated material should primarily be gravel around the slab supporting the AC unit expressed concern about hand tool work undermining the sauna and AC unit support. Resident asked 3 Kings not to perform soil removal in this area. GSI to discuss with DEQ regarding RA requirements for soil removal and potential vent pipe observed in this area.
- GSI confirmed with resident that backfilling along eastern fence line would over bury the fence (previous condition) and that resident did not want to attempt to raise the fence prior to backfilling. Resident indicated that the fence may be replaced within the next couple years and that it was acceptable to restore surface grades to previous conditions here.
- 3 Kings confirmed resident requests for irrigation reinstallation and desired layout of lines/sprinkler heads.

0720 – 3 Kings truck back onsite after delivering preloaded soil from prior day. Haul truck loaded with material from [REDACTED] Baxter for transport to landfill.

0745 – Home Comfort (HVAC contractor) onsite. GSI/3 Kings revisited restoration requirements in the front yards of [REDACTED] through [REDACTED] Baxter. 3 Kings appeared to be confused about specified backfilling in areas and believed that gravel was supposed to be installed in all the ROWs along Baxter Street. GSI referred 3 Kings to restoration plans and scope memos and confirmed surfacing requirements in these front yards. GSI indicated gravel should only be placed in areas scoped for this surfacing and ask GSI before placing the incorrect materials if there is additional confusion.

0750 – DEQ (Don) onsite. GSI discussed 3 King's confusion regarding front yard resurfacing with DEQ and confirmed that no changes to gravel backfill in ROWs along these properties are desired or warranted.

0800 – DEQ/GSI/3 Kings observe Home Comfort technician performing system diagnosis on HVAC unit at [REDACTED] Baxter. Home Comfort indicated they had already accessed the residence to turn on the thermostat prior to performing diagnosis.

0815 – Home Comfort indicated that the capacitor was not functioning correctly (reading low voltage) and this could cause further system issues with the system start/compressor when hotter weather occurs. DEQ recommended to GSI that the capacitor should be replaced as part of the diagnosis. Home Comfort indicated that all pressure checks on the system appeared to be reading correctly. DEQ/Home Comfort accessed the residence to recheck thermostat was functioning properly and discussed system status with residents.

0830 – 3 Kings dug out clean out previously encountered at [REDACTED] Baxter for installation of standpipe to set new clean out at finish grade. 3 Kings started clearing out material from greenhouse at [REDACTED] Baxter in anticipation of vac truck work. 3 Kings using shop vac to remove pea gravel from totes and storing outside of greenhouse for resident. Vac truck arrived onsite.

0840 – Home Comfort offsite.

0850 – Mid-State Industrial began using vacuum truck to start removing soil in greenhouse at [REDACTED] Baxter. 3 Kings assisting with hand tools to help break up soil for vacuum.

0900 – Minister & Glaeser onsite to survey excavation extents. DEQ observed septic systems in backyards of [REDACTED] through [REDACTED] Baxter. DEQ concurred that no further action was required at [REDACTED] and [REDACTED] Baxter due to evidence that the system at [REDACTED] had been filled and the system lid at [REDACTED] was partially under an existing backyard patio slab. DEQ concerned that the septic system at [REDACTED] may not have been backfilled and would like 3 Kings to investigate if tank appears to have been decommissioned.

0920 – Minister & Glaeser resurveying portions of front yards missed during previous week with assistance from 3 Kings. DEQ/GSI/3 Kings discussed drain lines at [REDACTED] Baxter. 3 Kings believed that downspout drain lines may have been routed to leech field junction box but evidence from excavations did not support this. GSI/DEQ observed that 3 Kings had hand-dug trench for drain line reinstall immediately along foundation on north side of [REDACTED] rather than existing drain line foundation that was located a few feet further north. GSI asked 3 Kings what intent of trenching out along foundation was and did not receive a clear answer other than it was easier to work in this area. GSI reminded 3 Kings of excavation requirements along footings to prevent undermining of load bearing foundational elements and explained that having potential perforated drain line immediately next to the building was likely not a good idea. DEQ concurred with preference to not have new drain lines installed along the footings. GSI asked 3 Kings to abandon installing drain line in current trench and instead install replacement line in approximate location of previous conditions. GSI explained that installing 'like for like' should continue to be the focus for drainage feature restorations at all properties.

Don confirmed DEQ approval and preference for 3 Kings to investigate septic system at [REDACTED] Baxter and decommission appropriately if found to be empty.

0930 – 3 Kings began using rotohammer to drill a hole in septic system lid at [REDACTED] Baxter and determine if system appears to have been decommissioned. 3 Kings determined that the tank appeared to be empty and indicated they would break open lid per DEQ request to evaluate decommissioning. Upon opening of tank lid, the system appeared to be dry/empty and with no vacuum cleaning of tank contents required. DEQ concurred that backfilling tank with pea gravel would be appropriate. Tank measured approximate 3.5 ft wide, 9 ft long, and 6 feet deep). 3 Kings ordering 6 cubic yards of pea gravel to backfill.

0950 – GSI again discussed drain line along north side of [REDACTED] Baxter. 3 Kings indicated they were planning on using current trench with non-perforated pipe near the building footing to mitigate concerns regarding water infiltration near the foundation/crawl space. GSI suggested 3 Kings still install drain line with some offset from building and take care to ensure proper backfill placement along the building footing in this area. 3 Kings aware of project requirements and indicated they would install drain line properly.

1045 – Minister & Glaeser checking grades in backyards of [REDACTED] through [REDACTED] Baxter properties and marking high points requiring follow up grading to reach required excavation depths. Surveyor generally collecting points at approximately 5 feet off-center throughout work areas. 3 Kings asked about leaving out portion of [REDACTED] Baxter backyard currently being used for truck loading from excavation extent topo survey. GSI indicated that 3 Kings should ensure that we have good survey data showing grades are met on both sides of the roadway/loading area at a minimum, and that field truthing could be used to supplement the survey data for this limited area. Surveyor to mark required grades at the extents of area being used for truck loading so that 3 Kings/GSI can reference during subsequent excavation.

3 Kings operators using mini-excavator and hand tool methods to remove soil along eastern/southern extents of rabbitry. Mid-State Industrial onsite with more powerful vacuum excavator to continue removing soil from within greenhouse at [REDACTED] Baxter.

1115 – Minister & Glaeser checking grades and marking high points in excavated portions of [REDACTED] Baxter backyard. GSI observed that surveyor had provided significant marking for high points and areas meeting required grades within backyard of [REDACTED] Baxter for 3 Kings operators to reference. Delta onsite delivering pea gravel for septic system decommissioning at [REDACTED] Baxter.

1130 – Mid-State Industrial resumed vacuum tuck soil removal within greenhouse at [REDACTED] Baxter with assistance from 3 Kings using hand tools. 3 Kings backfilling septic system at [REDACTED] Baxter with pea gravel to complete decommissioning.

1150 – Minister & Glaeser began surveying excavation extents at [REDACTED] Baxter. 3 Kings follow up grading portions of [REDACTED] Baxter marked as not meeting required excavation grades by surveyor.

1200 – 3 Kings grading/compacting gravel strip placed at [REDACTED] Baxter.

1218 – Rexius onsite delivering topsoil.

1300 – Mid-State continuing to use vacuum truck to remove soil from within greenhouse at [REDACTED] Baxter. 3 Kings crew using hand tool methods to loosen soil for vacuum hose removal. GSI observed that potting soil requested to be saved by resident had been removed as well. 3 Kings indicated they were intending to purchase replacement soil and/or perlite amendment for the resident during restoration activities.

1330 – 3 Kings regrading/compacting gravel in north yard of [REDACTED] Baxter.

1340 – Rexius onsite delivering additional topsoil.

1345 - GSI performed spot check air monitoring downwind from material loading/earthwork activities and upwind from project site to monitor ambient conditions for comparison purposes. Some slight intermittent airborne dust observed during equipment/vehicle traffic along roadways. Work area wetting did not appear required due to wetter conditions from overnight precipitation.

1400 – 3 Kings indicated that Minister & Glaeser had said excavation extents surveyed looked good except the remaining roadway/loading area previously discussed. Surveyor still also needing to survey the remaining ROW to the south of [REDACTED] Baxter and a limited area to the north of the back porch at [REDACTED] Baxter that had not yet been excavated due to leaving security fence here for the tenants' dogs. 3 Kings indicated they would save backfilling in these areas for last so that surveyor could collect grade checks here concurrently with final surveying of properties.

Mid-State almost complete with vac truck excavation in majority of greenhouse. 3 Kings using pick axe and rotohammer to help loosen some isolated lumps/high points for removal.

1415 – Minister & Glaeser offsite.

1435 – 3 Kings reset north side yard gate at [REDACTED] Baxter to straighten it out and improve functionality.

1500 – Mid-State Industrial completed vacuum truck excavations in greenhouse – offsite. 3 Kings estimated the had about 8 truck loads of contaminated material left to off haul from the site (seemed too low) and that they would only be running 2 trucks tomorrow.

1600 – GSI/3 Kings reviewed trucking tracking thus far. 3 Kings indicated that approximately 1,350 tons had been transported to the landfill through today with a few outstanding truck tickets still to be accounted for. 3 Kings estimated they were at roughly 1,400 tons of contaminated soil hauled total for the project and believed they were on track to complete RA work within the allotted 1,750 tons of soil specified in line item 8 of bid documents.

3 Kings indicated that approximately 800 cubic yards of loam (line item in tons?) were imported thus far.

1620 – GSI/3 Kings offsite.

Truck Count:

13 loads offsite to landfill. 1 truck 'preloaded' and staged onsite for transport first thing in the morning.

Approximately 4 loads of Rexius topsoil imported and 6 yards of pea gravel from Delta.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- ACM material disposal from [REDACTED] and [REDACTED]
- ROW along south side of [REDACTED] Baxter and limited area to north of back porch not surveyed.

Upcoming Planned Activities

- DU-09: Build shed, sod placement, planting.
- DU-10: Touch up backfilling as needed. Fix damaged concrete in driveway, hydroseed application, planting.
- DU-11: Fix cleanout, tie in downspout drain lines, continue backfilling. Continue backyard excavation. Survey missed backyard excavation extents.
- DU-15: Continue backyard excavations, begin backfilling. Resolve plumbing issues.
- SO-07: Continue excavations, begin backfilling. Survey excavation extents.

RA Day 18 Photographs

Photograph 1. Supplemental HVAC unit diagnosis at [REDACTED] Baxter. Photo taken facing south.



Photograph 2. 3 Kings uncovered cleanout at [REDACTED] Baxter for new stickup install. Photo taken facing north.



Photograph 3. 6 inch to 12 inch excavation depth transition marked at [REDACTED] Baxter. Photo taken facing east.



Photograph 4. Excavation progress at [REDACTED] Baxter. Photo taken facing west.



Photograph 5. Saved pea gravel from greenhouse at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 6. Excavation progress at [REDACTED] Baxter and vacuum truck onsite. Photo taken facing southwest.



Photograph 7. Septic lid opened at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 8. No liquid contents observed in septic system at [REDACTED] Baxter. Photo taken facing east.



Photograph 9. 3 Kings grade checking at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 10. Cleanout stickup installed at [REDACTED] Baxter. Photo taken facing south.



Photograph 11. Gravel placing at [REDACTED] Baxter. Photo taken facing west.



Photograph 12. Surveyor grade marks for 3 Kings to reference at [REDACTED] Baxter. Photo taken facing west.



Photograph 13. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing west.



Photograph 14. Manual excavaiton depth field truthing at [REDACTED] Baxter. Photo taken facing north.



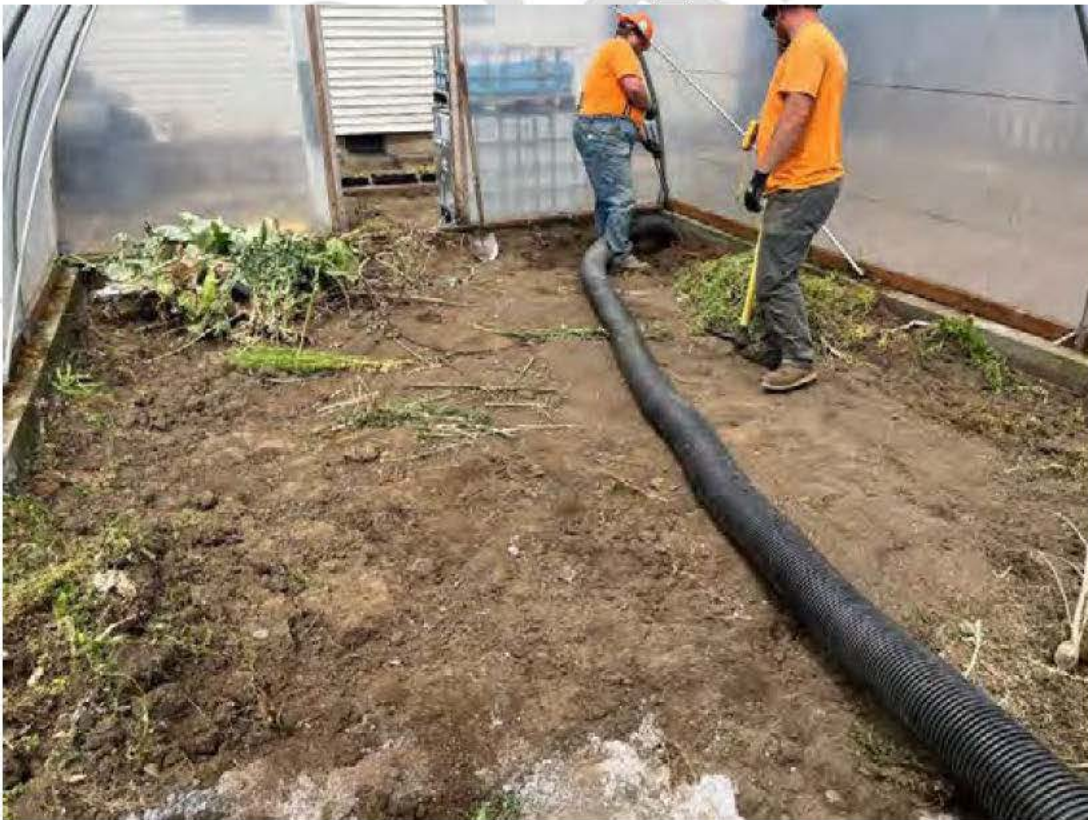
Photograph 15. Surveyor grade checking at [REDACTED] Baxter. Photo taken facign east.



Photograph 16. Surveyor grade marks for 3 Kings to reference at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 17. Vacuum truck excavation in greenhouse at [REDACTED] Baxter. Photo taken facing west.



Photograph 18. Septic tank at [REDACTED] Baxter filled with pea gravel. Photo taken facing east.



Photograph 19. Gravel and fabric placing at [REDACTED] Baxter. Photo taken facing west.



Photograph 20. Manual excavation depth field truthing in greenhouse. Photo taken facing east.



Photograph 21. Vacuum truck excavations in greenhouse at [REDACTED] Baxter. Photo taken facing east.



Photograph 22. Excavation progress in greenhouse at [REDACTED] Baxter. Photo taken facing east.



Photograph 23. Follow up grading based on surveyor marks. Photo taken facing south.



Photograph 24. Reference grade marks by surveyor at [REDACTED] Baxter. Photo taken facing south.



Photograph 25. Spot check air monitoring near earthwork activities. Photo taken facing north.



Photograph 26. Background air monitoring upwind from RA activities. Photo taken facing southeast.



Photograph 27. 3 Kings working with surveyor to confirm required excavation depths. Photo taken facing northeast.



Photograph 28. Excavation progress at Baxter. Photo taken facing north.



Photograph 29. 3 Kings assisting with soil removal for within greenhouse. Photo taken facing northeast.



Photograph 30. Manual excavation depth field truthing in greenhouse. Photo taken facing east.



Photograph 31. Manual excavation depth field truthing in greenhouse. Photo taken facing south.



Photograph 32. Manual excavation depth field truthing in greenhouse. Photo taken facing west.



Photograph 33. Greenhouse excavation extents at [REDACTED] Baxter. Photo taken facing west.



Photograph 34. Manual excavation depth field truthing in greenhouse. Photo taken facing west.



Photograph 35. Excavation extents in greenhouse at Baxter. Photo taken facing east.





OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #19 Date: May 23, 2024

TO: Don Hanson / DEQ
Sarah Eagle / DEQ
COPIES: Susan Turnblom / DEQ
Rick Ernst / GSI Water Solutions
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Partly Cloudy - 50s
PM: Partly Cloudy - 60s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
3 Kings (Brett, Adrianna, Shane, 6 crew)
Mid-State Industrial Service
Delta Sand and Gravel

Site Visitors

Organization and Name:

- Sarah Eagle - DEQ - Oversight
- Rachel Long - DEQ - Oversight

Safety

Topics covered:

- Appropriate PPE
- Site security
- Traffic control
- ESCP requirements
- Daily workplan

Activities Performed

0650 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings continuing soil removal in remaining portions of properties left to be excavated.
- 3 Kings expecting to install irrigation system in backyard of [REDACTED] Baxter. 3 Kings to coordinate with residents regarding some specifics of irrigation system configuration.
- 3 Kings indicated that plants were approved and ordered for the properties and that planting was anticipated to occur on 5/30 or 5/31. 3 Kings also indicated that contractor for hydroseed was scheduled but they were still working on scheduling a sod contractor. If sod contractor unavailable, 3 Kings planning on installing sod at properties themselves.

0715 - 3 Kings started laying out planned footprint for irrigation lines in backyard of [REDACTED] Baxter. 3 Kings running their haul truck and one Delta Sand and Gravel truck for loads to the landfill today.

0850 – 3 Kings onsite delivering additional irrigation line and associated supplies for [REDACTED] Baxter. 3 Kings began using larger excavator to remove soil to the north of the back porch at [REDACTED] Baxter. GSI/3 Kings discussed working around septic system and anticipated drain line in this area. GSI reminded 3 Kings that septic system being left as is unless obvious voids and/or damage suggesting instability of the system are observed. GSI reminded 3 Kings that downspout drain lines were expected to terminate in a drywell type feature within this area and that 3 Kings should be prepared to restore these features to pre-RA conditions.

0900 – 3 Kings using skid steer to place/spread additional gravel backfill on the north side of the front yard at 220 Baxter to fill in low points.

0930 – 3 Kings began placing additional topsoil in the front yard of [REDACTED] Baxter with skid steer.

0945 – 3 Kings marking out planned sprinkler head locations in backyard of [REDACTED] Baxter with flags and preparing irrigation line layout. 3 Kings using hand tools to excavate to 2 ft BGS in area between house and back porch at [REDACTED] Baxter. GSI indicated that 3 Kings should still adhere to offset/sloping requirements around load bearing footings in this area and work as best they can to remove material to required depths.

1010 – 3 Kings inquired about specified 5-ounce landscape weed barrier in project documents. 3 Kings indicated they had purchased more 4-ounce nonwoven geotextile demarcation fabric that they were intending to use for this purpose. GSI to discuss internally but recommended that 3 Kings use a more typical weed barrier specific product in accordance with project plans if possible.

1030 – 3 Kings encountered apparent existing damage in sewer line at [REDACTED] Baxter while excavating near the back porch of this property. The existing cast iron pipe had a hole in it that had apparently been covered with a piece of plastic loosely placed over the top then buried. Some dirt from excavation work was visible as having caved into the sewer line. GSI indicated they would bring up the pipe with DEQ to discuss the extent of expected repairs, if needed. GSI asked 3 Kings to continue carefully excavating around sewer line for now and to inform GSI staff if additional damage observed.

1050 – GSI confirmed product make/model for demarcation fabric 3 Kings intending to use a landscape barrier in front yard of [REDACTED] Baxter – SiteOne 4-ounce nonwoven construction fabric. 3 Kings indicated they had shown product to residents of [REDACTED] Baxter for 'approval'. GSI indicated preference for using project specified 'weed barrier' type product, but that the demarcation fabric purchased by 3 Kings should be suitable for use beneath mulch layers at the site.

1115 – 3 Kings truck onsite delivering Delta gravel.

1215 – 3 Kings (Brett) indicated to GSI staff onsite (Julian) that planned use of the nonwoven geotextile fabric as a weed barrier had again been discussed with GSI project manager (Chris M.) and that the product had been confirmed as appropriate for use beneath mulch.

1300 – 3 Kings removed south side yard gate at [REDACTED] Baxter to improve excavator access to excavation sidewalls and prevent concerns of undermined gate being damaged.

1315 – 3 Kings began using excavator to start cuts in ROW material along the south fence line of [REDACTED] Baxter. 3 Kings using larger excavator to break up stump remnants left over within backyard of [REDACTED] Baxter property. 3 Kings crew also using hand tools and mini-excavator to continue removing material along sewer line to the north of the back porch within [REDACTED] Baxter backyard.

1430 – GSI performed spot check air monitoring downwind from material loading/earthwork activities and upwind from project site to monitor ambient conditions for comparison purposes. Some intermittent airborne dust observed during equipment/vehicle traffic along roadways and in work areas.

1444 – 3 Kings truck onsite and being loaded with staged material from backyard of [REDACTED] Baxter. GSI asked 3 Kings about material quantities tracked thus far. 3 Kings still working on providing dailies and import/export ticket invoices and indicated they would send over ASAP. 3 Kings indicated that they could confirm 216 cubic yards of topsoil had been delivered thus far with a few tickets still outstanding (about 250 cy project total to date). GSI asked 3 Kings to confirm if topsoil costs had increased beyond the \$46/cubic yard increase already being discussed – 3 Kings looking into this to confirm no further increases had occurred.

1550 – DEQ (Sarah and Rachel) onsite. DEQ observed RA progress and GSI/DEQ discussed some outstanding punch list items for the properties. DEQ observed damaged sewer line at [REDACTED] Baxter and asked GSI to ensure quality documentation of repairs are provided for this property. 3 Kings explained remaining RA phasing and SOW plans to DEQ and indicated that some difficulty was being encountered in contracting landscapers who could meet BOLI requirements. 3 Kings confirmed they were intending to fix the fence at [REDACTED] Alva Park on 5/28. DEQ requested notification when the shed replacement is installed at [REDACTED] Baxter so that moving items from garage back to shed could be coordinated with the resident.

1630 – DEQ, 3 Kings offsite. GSI offsite.

Truck Count:

5 loads offsite to landfill.

Two loads of Delta ¾-inch-minus gravel imported.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- ACM material disposal from [REDACTED] and [REDACTED]
- ROW along south side of [REDACTED] Baxter and limited area to north of back porch not surveyed.

Upcoming Planned Activities

- DU-09: Build shed, sod placement, planting.
- DU-10: Touch up backfilling as needed. Fix damaged concrete in driveway, hydroseed application, planting.
- DU-11: Tie in downspout drain lines, continue backfilling/surface restoration. Continue backyard excavation. Survey missed backyard excavation extents.
- DU-15: Continue backyard excavations, begin backfilling/surface restoration. Resolve plumbing issues.
- SO-07: Continue irrigation line installation. Backfilling/surface restoration.

RA Day 17 Photographs

Photograph 1. 3 Kings placing layout of irrigation lines at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 2. Excavation in backyard of [REDACTED] Baxter. Photo taken facing west.



Photograph 3. 3 Kings excavating to north of back porch at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 4. Compacting additional gravel placed at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 5. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing south.



Photograph 6. Excavation along fence line and rabbitry at [REDACTED] Baxter. Photo taken facing west.



Photograph 7. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing south.



Photograph 8. Excavation north of porch at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 9. Topsoil placing in front yard of [REDACTED] Baxter. Photo taken facing southwest.



Photograph 10. 3 Kings marking anticipated locations of sprinkler heads at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 11. Hand tool excavation in area between residence and back porch at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 12. Replaced section of washing machine drain line at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 13. Excavation progress at [REDACTED] Baxter. Photo taken facing north.



Photograph 14. Existing damaged sewer line encountered at [REDACTED] Baxter. Photo taken facing south.



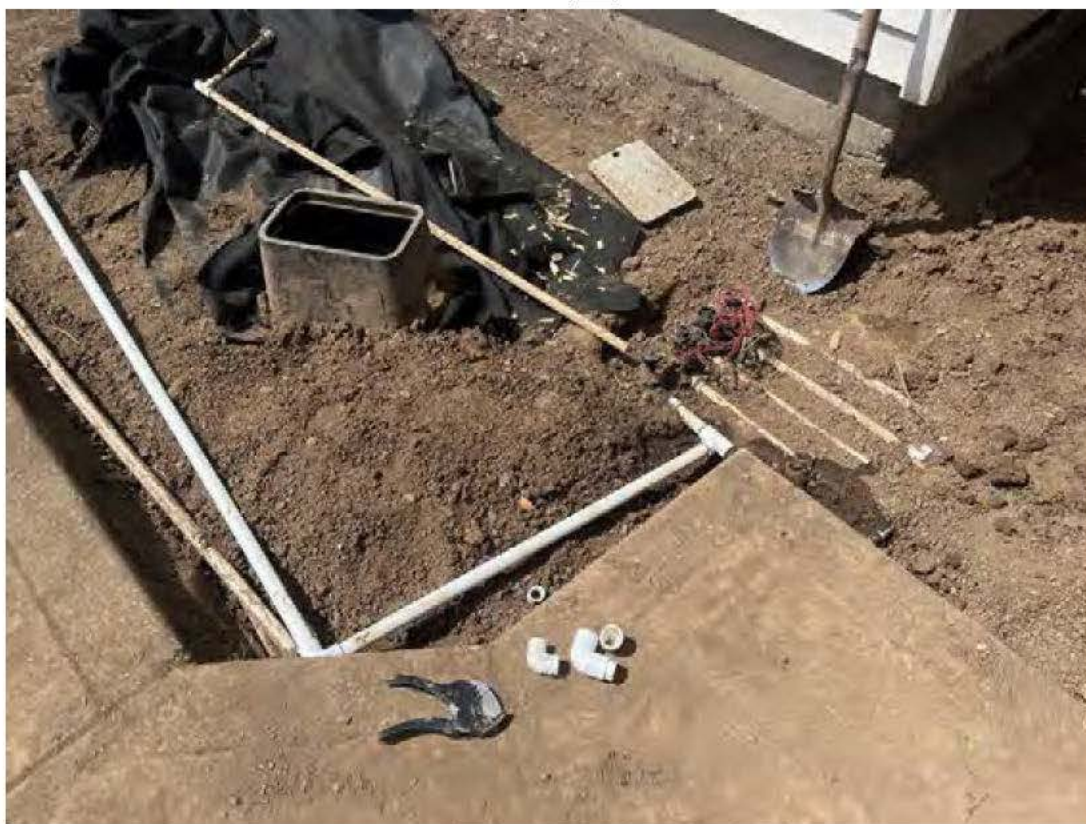
Photograph 15. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing south.



Photograph 16. Additional gravel placed at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 17. Irrigation line tie in progress at [REDACTED] Baxter. Photo taken facing southwest.



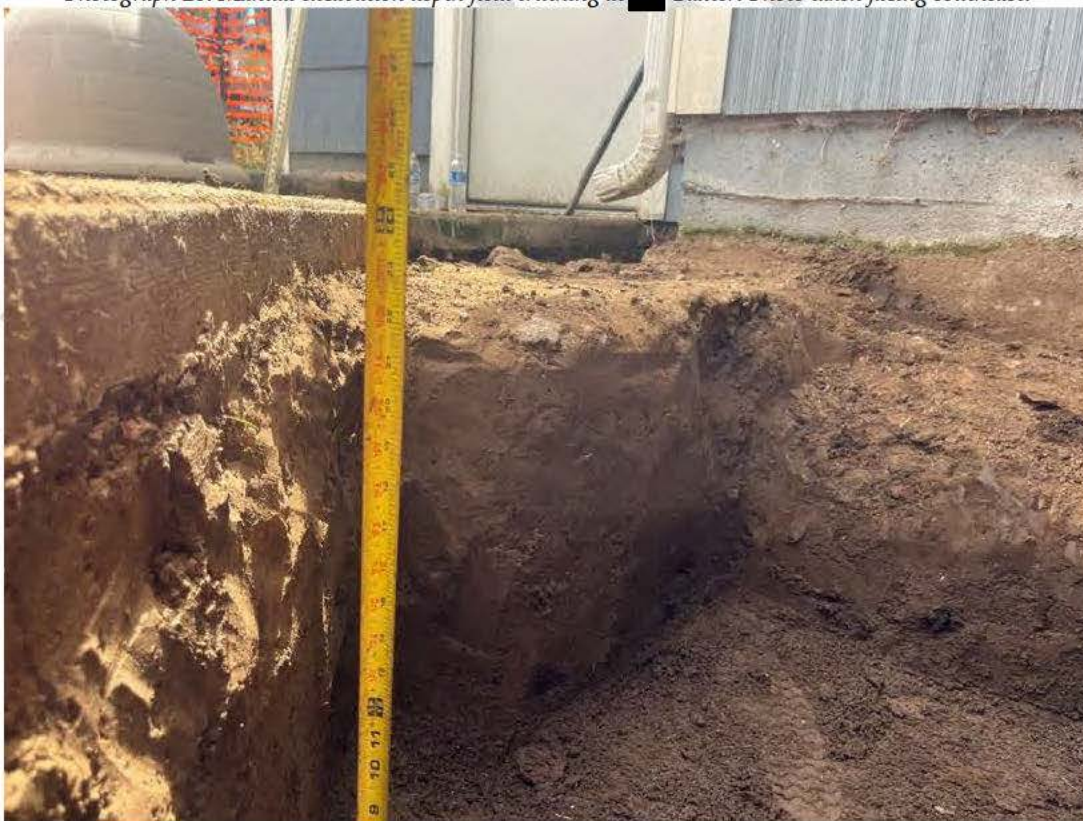
Photograph 18. Excavation along fence line at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 19. Hand tool excavation of area within back porch at [REDACTED] Baxter. Photo taken facing south.



Photograph 20. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 21. Trenching for irrigation lines at [REDACTED] Baxter. Photo taken facing east.



Photograph 22. ROW excavation to the south of [REDACTED] Baxter. Photo taken facing west.



Photograph 23. Additional sections of septic leach lines encountered at [REDACTED] Baxter. Photo taken facing north.



Photograph 24. Additional gravel placement at [REDACTED] Baxter. Photo taken facing west.



Photograph 25. Sewer line at [REDACTED] Baxter. Photo taken facing south.



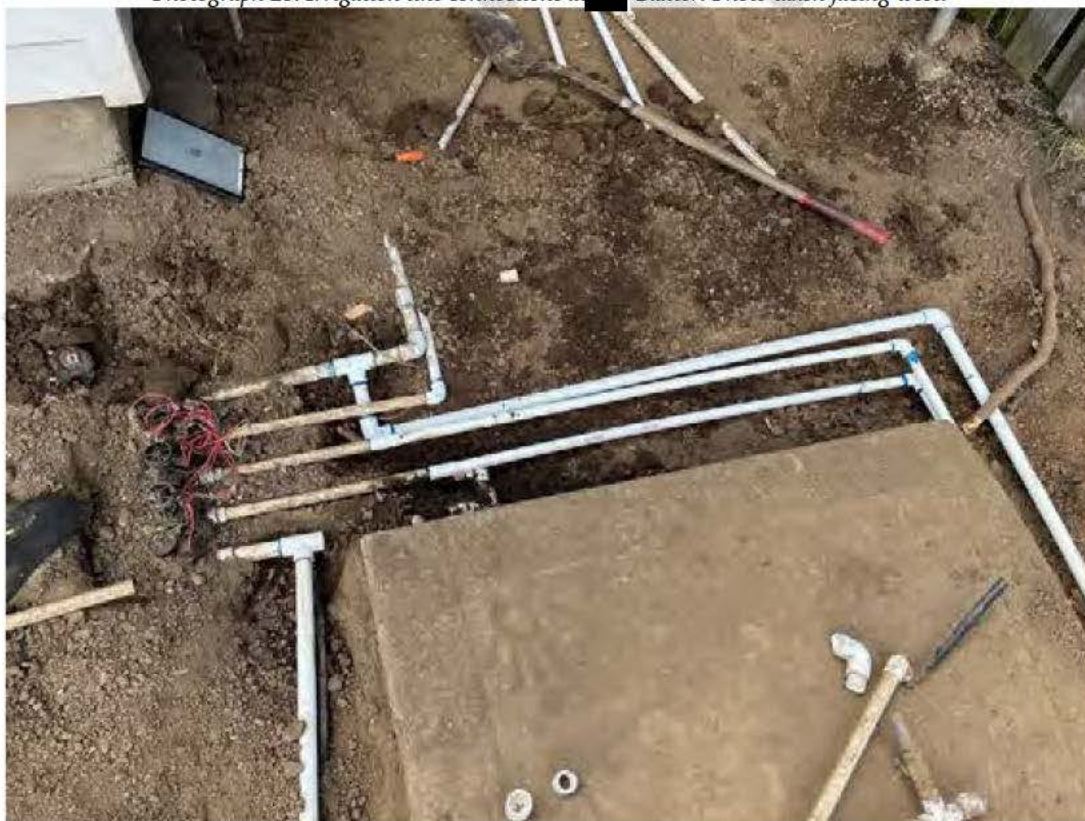
Photograph 26. Spot check air monitoring near earthwork activities. Photo taken facing north.



Photograph 27. Background air monitoring upwind from RA activities. Photo taken facing southeast.



Photograph 28. Irrigation line connections at [REDACTED] Baxter. Photo taken facing west.



Photograph 29. ROW excavation to south of [REDACTED] Baxter. Photo taken facing west.



Photograph 30. ROW surface restoration per backfilling requirements at [REDACTED] Baxter. Photo taken facing south.



Photograph 31. Irrigation line layout at [REDACTED] Baxter. Photo taken facing southwest.



DRAFT



OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #20 Date: May 24, 2024

TO: Don Hanson / DEQ
Sarah Eagle / DEQ
COPIES: Susan Turnblom / DEQ
Rick Ernst / GSI Water Solutions
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Cloudy - 50s
PM: Cloudy/Showers - 70s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
3 Kings (Brett, Adrianna, Shane, 6 crew)
Mid-State Industrial Service
Delta Sand and Gravel
Rexius

Site Visitors

Organization and Name:

- Rachel Long - DEQ - Oversight
- Scott Mathews - [REDACTED] Baxter property owner

Safety

Topics covered:

- Appropriate PPE
- Site security
- Traffic control
- ESCP requirements
- Daily workplan

Activities Performed

0650 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings indicated that they were intending to substantially finish the majority of removal/off haul activities throughout [REDACTED] Baxter Street. 2X trucks (One 3 Kings, one Delta) running loads to the landfill as needed today.
- 3 Kings are planning to finish the irrigation line installation at [REDACTED] Baxter. Some sprinkler heads at the property may be capped and left for the resident to finish per their request.
- 3 Kings to start constructing shed at [REDACTED] Baxter. 5 ft X 6ft shed purchased for replacement.
- GSI reminded 3 Kings of sewer line repair still needing to be completed at [REDACTED] Baxter. 3 Kings to replace existing damaged pipe section with modern sewer line.
- GSI/3 Kings to review loose ends/punch list items to ensure they are addressed during restoration activities.

- 3 Kings indicated that the larger rental excavator would be picked up EOD upon completion of today's earthwork activities.

0710 - 3 Kings discussed irrigation line progress and installation requests with resident at [REDACTED] Baxter. 1 Delta truck onsite being loaded with soil for transport to landfill.

0745 - GSI 3 Kings discussed areas on the back side of [REDACTED] and [REDACTED] Baxter that still needed excavation in order to meet project requirements. Areas still needing to be addressed included:

- Sewer line fix at [REDACTED] Baxter.
- Footing excavations and material along eastern fence at [REDACTED] Baxter.
- Footing excavations around drainage lines and along back porch area at [REDACTED] Baxter. Along the eastern fence line of [REDACTED] Baxter.
- Cleanup around the walnut stump in the SE corner of [REDACTED] Baxter.

0845 - 3 Kings began using hand tools and both smaller excavators to continue excavation along the backside of [REDACTED] residence to grade this area in accordance with project requirements.

0930 - 3 King testing irrigation lines at [REDACTED] Baxter.

0935 - GSI observed that 3 Kings had encountered and damaged the concrete sewer line at [REDACTED] Baxter while performing additional excavation along the backside of the building. 3 Kings indicated they would properly repair the damaged section of pipe in similar fashion to the anticipated repair at [REDACTED] Baxter.

0950 - 1X Delta truck onsite and being loaded with material for transport to landfill. 3 Kings using skid steer to continue placing and grading topsoil at [REDACTED] Baxter.

1000 - GSI reminded 3 Kings of a section of soil under the north side yard gate at [REDACTED] Baxter still needing removal. 3 Kings to use hand tools to remove this soil to 12 inch required excavation depth. 3 Kings indicated that the resident at [REDACTED] Baxter had requested that a limited area along the south side of the greenhouse be changed to mulch surface restoration from the previously scoped hydroseed. 3 Kings indicated the volume of mulch required to make this change would be insignificant to project totals and thus would not require a change order for approval.

1105 - Rexius onsite delivering one load of loam.

1145 - 3 Kings site-wide superintendent (Mitch) onsite observing RA progress.

1200 - 3 Kings began placing demarcation fabric and gravel backfill in covered area on the north side of [REDACTED] Baxter. Rexius onsite delivering topsoil. 3 Kings/GSI reviewed restoration plans at [REDACTED] Baxter to confirm 3 Kings understood them correctly.

1250 - Rexius onsite delivering topsoil. 3 Kings using skid steer with sweeper attachment to clean out some track out observed in roadways along work zones. GSI pointed out some additional areas along the backside of the residence at [REDACTED] Baxter that needed follow up excavation to meet project requirements.

1315 - GSI discussed internally and informed 3 Kings that no landscape edging would be required at the gravel/topsoil interface beneath the fence line running along the [REDACTED] property lines. Due to low fence boards, fence posts, and concrete fence post foundations, properly installing the edging would be difficult to perform.

1320 - 3 Kings reattached damaged piece of sewer line at [REDACTED] Baxter and secured it with concrete repair adhesive. 3 Kings indicated that they had used a shop vac to clear out any caved in soil and/or debris that may have made its way into the line when it was struck. In addition to attaching the damaged sewer line piece back to the line, 3 Kings poured a concrete cap over the top of the repair to help stabilize and protect the line prior to placing backfill. GSI reminded 3 Kings that the sewer line at [REDACTED] Baxter would also need to be repaired. 3 Kings observed damaged sewer line at [REDACTED] and considered pouring concrete over the plastic cover to complete repair - GSI discussing internally. 3 Kings placed some concrete over a small hole observed at the base of the septic system connection to a leach line junction box at [REDACTED] Baxter.

1340 – GSI asked 3 Kings to repair the damaged cast iron line at [REDACTED] Baxter in a more permanent and appropriate fashion rather than proposed concrete cap. 3 Kings agreed and said they would complete pipe repair the following week. 3 Kings/GSI discussed lingering plumbing issues at [REDACTED] Baxter. 3 Kings indicated that some additional issues with clogging in the kitchen sink were occurring based on discussions with the residents.

3 Kings placing loam/topsoil with hand tools around [REDACTED] Back porch areas.

1400 – [REDACTED] Baxter property owner (Scott Mathews) onsite. GSI walked Scott through the progress of RA activities at the property and Scott collected some photo documentation of the property condition. GSI/Scott discussed damage to sewer line and the clean out previously encountered in the front yard of the property. GSI explained that 3 Kings would be repairing these pipe sections appropriately. GSI showed Scott the septic system located partially under the back porch slab and explained that the system would be left as is during backfilling activities. Scott expressed concern about the fence at the property and if 3 Kings would be able to remove all contamination without removing the fence. GSI explained that 3 Kings was working around foundational elements of the fence and should be able to complete the removal action without taking out the fence. GSI explained that if 3 Kings damaged any fence sections they would be repaired or replaced in like kind.

1420 – Scott M. offsite. Street sweeper onsite cleaning roadways. 3 Kings using walk behind compactor to compact gravel in covered area at [REDACTED] Baxter.

1430 - GSI performed spot check air monitoring downwind from material loading/earthwork activities and upwind from project site to monitor ambient conditions for comparison purposes. Some intermittent airborne dust observed during equipment/vehicle traffic along roadways and in work areas.

1440 – DEQ (Rachel) onsite. GSI/DEQ walked through site, discussed RA progress, and status of some punch list items including sewer line repairs, septic systems, soil area near the AC unit/sauna at [REDACTED] Baxter, and the anticipated project schedule for the next week.

1500 – GSI asked 3 Kings to install security fence at the south side of [REDACTED] Baxter as precautionary measure over the weekend.

1530 – 3 Kings completed RA activities for the week. GSI/3 Kings offsite.

Truck Count:

5 truckloads offsite to landfill.

1 Rexius loam load imported to site. 6 Rexius topsoil loads imported to site.

Outstanding Issues or Concerns

- Sewer line repair at [REDACTED] Baxter.
- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- ACM material disposal from [REDACTED] and [REDACTED]
- ROW along south side of [REDACTED] Baxter and limited area to north of back porch not surveyed.

Upcoming Planned Activities

- DU-09: Build shed, sod placement, planting.
- DU-10: Touch up backfilling as needed. Fix damaged concrete in driveway, hydroseed application, planting.
- DU-11: Tie in downspout drain lines, continue backfilling/surface restoration. Continue backyard excavation. Survey missed backyard excavation extents.
- DU-15: Finish excavation, begin backfilling/surface restoration. Resolve plumbing issues.
- SO-07: Continue irrigation line installation. Backfilling/surface restoration.

RA Day 20 Photographs

Photograph 1. Contaminated soil loading from [REDACTED] Baxter. Photo taken facing south.



Photograph 2. Repaired section of washing machine drain line at [REDACTED] Baxter. Photo taken facing west.



Photograph 3. 3 Kings performing additional excavation along residence at [REDACTED] Baxter. Photo taken facing south.



Photograph 4. Excavation extent clean up with hand tools at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 5. Damaged section of sewer line at [REDACTED] Baxter. Photo taken facing west.



Photograph 6. [REDACTED] Baxter hand tool excavations around foundation and HVAC unit. Photo taken facing south.



Photograph 7. Soil under north side gate still needing excavation at [REDACTED] Baxter. Photo taken facing east.



Photograph 8. Irrigation line layout at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 9. Excavation progress along fence lines at [REDACTED] Baxter. Photo taken facing east.



Photograph 10. Trench for drain lines at [REDACTED] Baxter. Photo taken facing east.



Photograph 11. Topsoil hand raking at [REDACTED] Baxter. Photo taken facing east.



Photograph 12. Damaged sewer line cleaned up at [REDACTED] Baxter. Photo taken facing west.



Photograph 13. Additional excavation along utilities at Baxter. Photo taken facing south.



Photograph 14. Restoration progress at Baxter. Photo taken facing east.



Photograph 15. Gravel placing for covered area at [REDACTED] Baxter. Photo taken facing west.



Photograph 16. Fence line at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 17. EWEB supplied meter housing for [REDACTED] Baxter. Photo taken facing south.



Photograph 18. Damaged section of sewer pipe at [REDACTED] Baxter connected with concrete adhesive. Photo taken facing west.



Photograph 19. Reattached washing machine drain line at [REDACTED] Baxter. Photo taken facing west.



Photograph 20. Additional concrete poured over sewer line patch at [REDACTED] Baxter. Photo taken facing west.



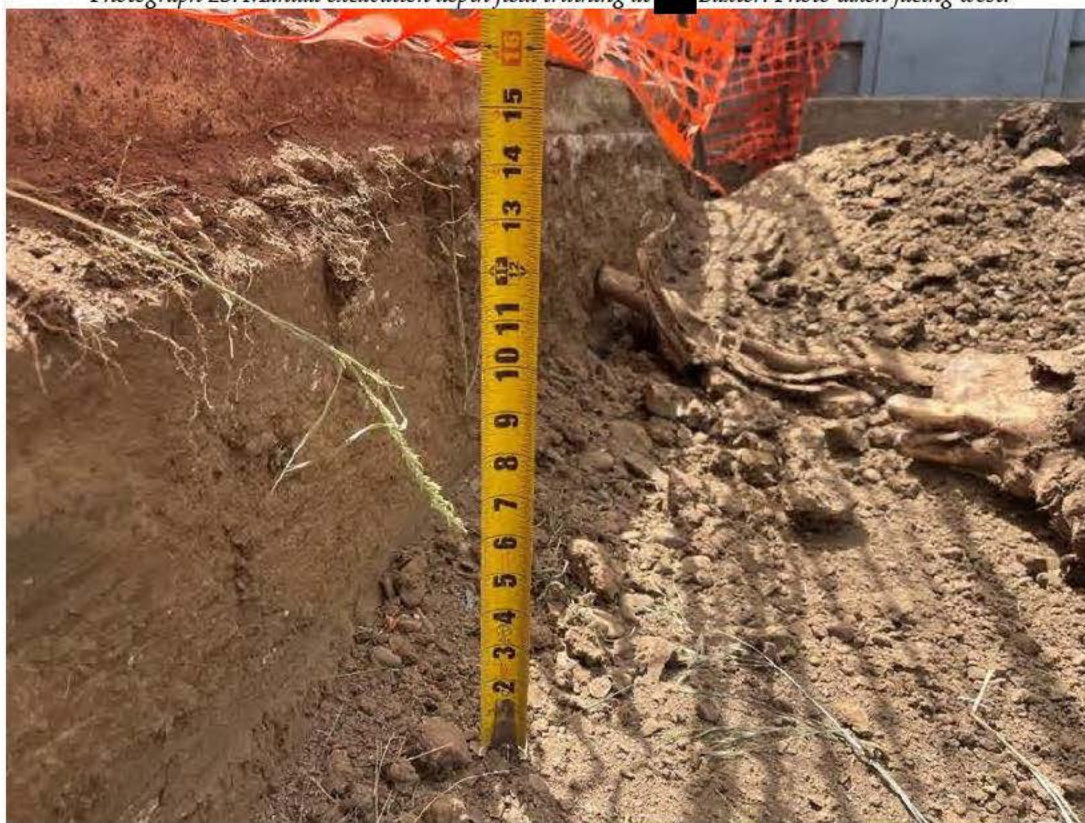
Photograph 21. Footing excavation at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 22. Existing damaged sewer line with temp cover installed at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 23. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing west.



Photograph 24. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing north.



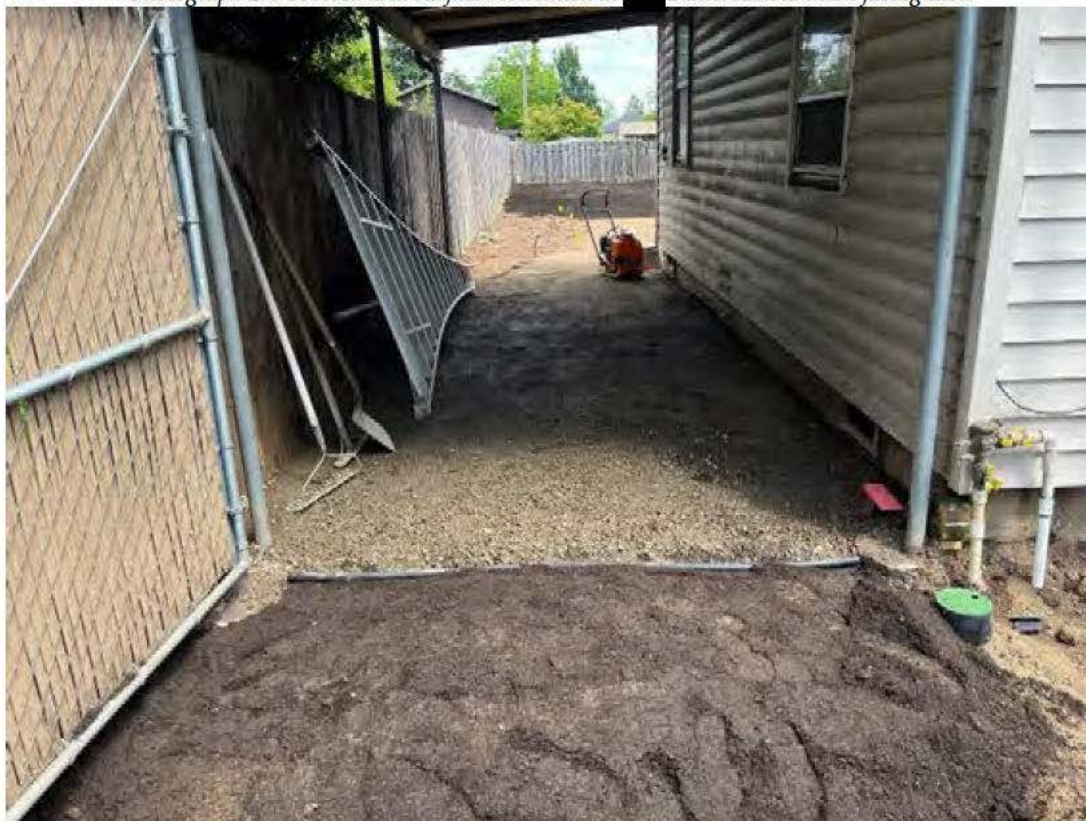
Photograph 25. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing west.



Photograph 26. Edging installation at gravel/soil interface at [REDACTED] Baxter. Photo taken facing east.



Photograph 27. Covered area surface restoration at [REDACTED] Baxter. Photo taken facing east.



Photograph 28. Meter housing installed at [REDACTED] Baxter. Photo taken facing west.



Photograph 29. Topsoil stockpile covered for weekend. Photo taken facing southeast,



Photograph 30. Site security installed at [REDACTED] Baxter for weekend. Photo taken facing north.





OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #21 Date: May 28, 2024

TO: Don Hanson / DEQ
Sarah Eagle / DEQ
COPIES: Susan Turnblom / DEQ
Rick Ernst / GSI Water Solutions
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Cloudy - 50s
PM: Cloudy - 60s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
3 Kings (Brett, Adrianna, Shane, Steve, 5 crew)
Mid-State Industrial Service
Rexius

Site Visitors

Organization and Name:

- Sarah Eagle - DEQ - Oversight
- Rachel Long - DEQ - Oversight

Safety

Topics covered:

- Appropriate PPE
- Site security
- Traffic control
- ESCP requirements
- Daily workplan

Activities Performed

0650 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings intending to continue material imports to the site for backfilling and surface restoration. Continuing surface restoration activities throughout site properties. 3 Kings also using their truck to run any remaining loads to landfill as needed.
- 3 Kings planning to start constructing shed at [REDACTED] Baxter (this was not done week prior).
- 3 Kings coordinating on some irrigation system specifics with resident at [REDACTED] Baxter during system replacement.

0730 - 3 Kings continued to place imported topsoil with skid steer/hand tools at [REDACTED] Baxter. GSI discussed area around sauna/AC unit previously left untouched with resident (Josh). GSI relayed DEQ's concerns about leaving the soil in this area even if it was a limited volume relative to overall soil removal. GSI requested that resident allow 3 Kings to carefully remove items stored in this area and work around

sauna/AC unit supporting pad with hand tools to achieve the project required 6-inch removal depth for this portion of the property. Resident indicated that he did not believe that the soil within this area was the same as contaminated native material observed in the backyard (1-2 inches of gravel underlain by dark organic soil), but that it would be acceptable for 3 Kings to carefully remove material here in order to meet project goals. Resident pointed out a small area near the entrance to the residence marked on site plans as being hardscape but was actually soil. GSI indicated that 3 Kings would use hand tools to remove material to 12 inches within this area to match required excavation depths for the rest of the front yard. Resident requested that a small shrub located in this area be saved if possible. GSI relayed this information to 3 Kings who indicated they would work around shrub in similar fashion to work performed at [REDACTED] Baxter.

0745 - 3 Kings truck onsite and being loaded with material from backyard of [REDACTED] Baxter. GSI discussed preferred backfilling of area around sauna/AC unit with resident. Resident confirmed that gravel backfill in this area was preferable over topsoil and mulch shown on project plans. Material volumes for change to gravel in this location were negligible relative to project material quantities.

0800 - 3 Kings began setting up material for shed replacement at [REDACTED] Baxter.

0815 - 1X Rexius truck onsite delivering topsoil and placing in backyard of [REDACTED] Baxter. GSI observed that 3 Kings appeared to be intending on using all topsoil for the upper 12 inches of backfill at this property.

0835 - 3 Kings demo superintendent (Mitch) onsite to observe RA progress. GSI/3 Kings discussed project scheduling. 3 Kings indicated that securing a landscaping contractor that met BOLI requirements continued to be an issue for them.

0845 - DEQ (Sarah) onsite. DEQ/GSI walked through properties so that DEQ could observe progress of RA activities. DEQ/GSI discussed numerous outstanding punch list items needing completion and the anticipated schedule for completing these items so that DEQ could coordinate with residents as needed.

0915 - DEQ offsite. Rexius onsite delivering loam.

0930 - 3 Kings indicated they had acquired some modern sewer pipe for the replacement at [REDACTED] Baxter. GSI/3 Kings discussed the required location for downspout drain line tie ins on the north side of the property that previously terminated in a drywell in the backyard. 3 Kings to reinstall tie ins into this existing dry well in like kind.

1000 - GSI reminded 3 Kings about soil under section of fence in north side yard of [REDACTED] Baxter still needing to be removed via hand tools. GSI/3 Kings discussed backfilling plans for [REDACTED] Baxter backyard. 3 Kings intending to use all topsoil for this property. GSI reminded 3 Kings that the change order requesting additional payment for topsoil due to an increase in price/cubic yard had not yet been approved and that 3 Kings could use loam from Rexius and/or LFP as clean fill for the lower six inches in this area. GSI reminded 3 Kings the unit cost on loam was cheaper compared to topsoil.

1055 - 3 Kings continued placing gravel along the south side of [REDACTED] Baxter.

1105 - Rexius and 3 Kings trucks onsite delivering topsoil. 3 Kings indicated to GSI that they were reaching out to Rexius to confirm that loam quantities were being tracked in tons and that this number could be provided on invoices for billing purposes.

1130 - GSI revisited required hand tool excavations around [REDACTED] areas (AC unit and front yard) with 3 Kings staff. GSI pointed out plant that had been requested to be saved by resident.

1230 - Rexius onsite delivering topsoil. GSI confirmed with Rexius driver that loam loads were being tracked in tons even though Rexius sold loam in cubic yards. Rexius driver provided material tracking invoices that showed the tonnage for each load they were delivering. Rexius indicated that loam was being sourced from Riverbend Materials.

1308 - Rexius onsite delivering topsoil.

1315 - 3 Kings began using hand tools to remove soil from small area of soil near front entrance to [REDACTED] Baxter. 3 Kings crew continuing to place 12-inches of topsoil in areas of [REDACTED] excavated to 12 inches, and the majority of [REDACTED] Baxter's backyard.

1345 - 3 Kings asked if landscape edging would be required along gravel/topsoil interface following fence line bordering the back yards of [REDACTED] GSI discussed internally and indicated to 3 Kings that this area could be handled similarly to the property line in the front yards and would not require pieces of edging installed in between fence posts. GSI requested that 3 Kings take care to ensure gravel and topsoil placed in a manner that is visually appealing and follows the future fence line as closely as possible. 3 Kings crew working on repairing downspout drain lines at [REDACTED] Baxter.

1405 - DEQ (Rachel) onsite. DEQ inquired about fence repair at [REDACTED] as 3 Kings had previously indicated this would be completed 5/28 and coordinated access to backyard. GSI indicated fence would likely not be happening today but may possibly be done tomorrow. GSI to try coordinate with tenants prior to 3 Kings working on fence. GSI relayed to DEQ that 3 Kings was still intending to perform planting on 5/30 and 5/31, with some planting happening on 6/3 at the latest.

1420 - DEQ offsite.

1445 - GSI on teams meeting with DEQ to discuss RA progress.

1515 - 3 Kings truck onsite delivering gravel load.

1530 - Landscape contractor onsite to discuss potential subcontracting of sod/hydroseed work at properties. 3 Kings finished removing soil from area located in the front yard of [REDACTED] Baxter - filling area with topsoil. 3 Kings preloading haul truck with contaminated soil to be staged overnight and delivered to landfill in the morning.

1600 - 3 Kings completed RA activities for the day.

1615 - GSI/3 Kings offsite.

Truck Count:

2 loads offsite to landfill.

3 loads of loam imported to site. 6 loads of topsoil imported to site. 1 load of gravel imported to site.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- ACM material disposal from [REDACTED] and [REDACTED]
- ROW along south side of [REDACTED] Baxter and limited area to north of back porch not surveyed.

Upcoming Planned Activities

- DU-09: Build shed, sod placement, planting.
- DU-10: Touch up backfilling as needed. Fix damaged concrete in driveway, hydroseed application, planting.
- DU-11: Tie in downspout drain lines, continue backfilling/surface restoration. Continue backyard excavation. Survey missed backyard excavation extents.
- DU-15: Continue backyard excavations, begin backfilling/restoration. Resolve plumbing issues.
- SO-07: Continue irrigation line installation. Backfilling/ restoration.

RA Day 21 Photographs

Photograph 1. Area of soil in front yard of [REDACTED] Baxter to be excavated and shrub to be saved. Photo taken facing northeast.



Photograph 2. Pier blocks placed for shed foundation at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 3. 3 Kings placing topsoil in greenhouse at [REDACTED] Baxter. Photo taken facing east.



Photograph 4. Area of soil around AC unit and at [REDACTED] Baxter to be excavated via hand tools. Photo taken facing south.



Photograph 5. 3 Kings using hand tools to place topsoil at Baxter. Photo taken facing east.



Photograph 6. Soil removed from around AC unit. Photo taken facing south.



Photograph 7. Manual excavation depth field truthing around AC unit at Baxter. Photo taken facing west.



Photograph 8. Remaining soil removed from around AC unit. Photo taken facing east.



Photograph 9. Excavation progress at [REDACTED] Baxter. Photo taken facing west.



Photograph 10. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 11. Manual excavation depth field truthing near AC unit at Baxter. Photo taken facing west.



Photograph 12. Fabric placed in anticipation of gravel backfill around AC unit. Photo taken facing south.



Photograph 13. Topsoil being placed and graded at [REDACTED] Baxter and south side of [REDACTED] Baxter. Photo taken facing east.



Photograph 14. 3 Kings constructing deck to support shed replacement at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 15. Excavation extents and backfill placing along property line of [REDACTED] and [REDACTED] Baxter. Photo taken facing southeast.



Photograph 16. Downspout drain line repairs at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 17. Completed deck support for shed replacement at [REDACTED] Baxter. Photo taken facing east.



Photograph 18. Downspout drain line repair at [REDACTED] Baxter. Photo taken facing south.



Photograph 19. Downspout drain line repair at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 20. 3 Kings placing fabric barrier and wood chips in front yard of [REDACTED] Baxter. Photo taken facing north.



Photograph 21. Excavated front yard area at [REDACTED] Baxter and saved plant per resident request. Photo taken facing north.



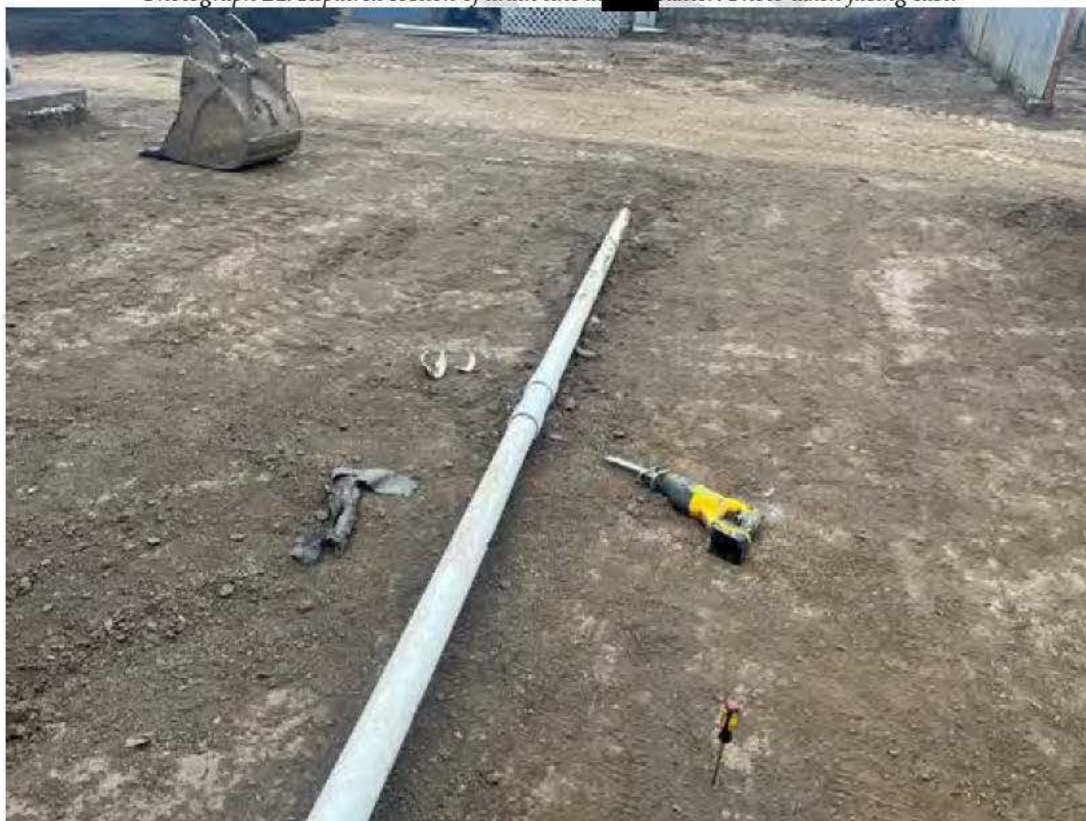
Photograph 22. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing north.



Photograph 23. Manual excavation depth field truthing at [REDACTED] Baxter. Photo taken facing south.



Photograph 24. Repaired section of drain line at [REDACTED] Baxter. Photo taken facing east.



Photograph 25. Restoration progress at [REDACTED] Baxter. Photo taken facing west.



Photograph 26. Damaged fence boards needing repair at [REDACTED] Baxter. Photo taken facing south.





OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #22 Date: May 29, 2024

TO: Don Hanson / DEQ
Sarah Eagle / DEQ
COPIES: Susan Turnblom / DEQ
Rick Ernst / GSI Water Solutions
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Cloudy- 50s
PM: Cloudy - 60s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
3 Kings (Adrianna, Shane, Steve, 5 crew)
Mid-State Industrial Service
Rexius
Delta Sand & Gravel

Site Visitors

Organization and Name: • No site visitors today.

Safety

Topics covered: • Appropriate PPE
• Site security
• Traffic control
• ESCP requirements
• Daily workplan

Activities Performed

0650 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings planning to continue restoration activities throughout properties and load out remaining soil for transport to landfill.
- 3 Kings planning on continuing/completing replacement shed installation at [REDACTED] Baxter. Other specific items discussed that 3 Kings intended to complete were the sewer line repair at [REDACTED] and repairing the existing leaning fence along the eastern side of [REDACTED] Baxter.
- GSI brought up that at some point fence quantities should be measured concurrently by GSI/3 Kings.

0720 - GSI observed that an area along the eastern fence of [REDACTED] Baxter had residual soil buildup missed during excavation. The area had apparently been missed due to items from [REDACTED] and [REDACTED] Baxter temporarily being staged here. GSI pointed this out to 3 Kings and indicated that soil along the fence line would need to be removed in accordance with project requirements for this area. 3 Kings indicated they only had one more

haul truck load available for soil. GSI reiterated that this material and any other residual soil observed would need to be removed for project completion.

0730 - Delta truck onsite delivering gravel. Truck loaded with material for transport to landfill.

0815 - Rexius onsite delivering topsoil.

0825 - GSI asked if 3 Kings had informed tenants at [REDACTED] Alva Park of their intention to remove fence section today after not having to start this the previous day. 3 Kings indicated they had not and that they had apparently lost the contact information for the tenant who GSI/DEQ/3 Kings met with the previous week. GSI said they would try to get in contact with the tenants this morning to try give them notice that the fence would be removed for some time.

3 Kings using skid steer to place material throughout backyard of [REDACTED] Baxter.

0835 - GSI spoke with tenant at [REDACTED] Alva Park and informed them that the section of fence discussed the previous week would be removed at some point today. GSI explained that 3 Kings intended to reinstall the fence by the end of the day, but that they could install temporary security fence if they weren't able to complete the fence repairs within the day. GSI informed the tenant that 3 Kings may need to access the property's yard while working on the fence and the tenant indicated this would be acceptable.

0900 - 3 Kings operator asked if they could repurpose fabric placed along truck loading area within the backyards of [REDACTED] and [REDACTED] Baxter for use as demarcation beneath clean imported gravel at properties. GSI explained that this fabric had been used to keep trucks off of contaminated soil at these properties and would have been impacted by any spillage during loading of contaminated soil into haul trucks. GSI indicated that reusing this material would represent a cross-contamination risk and that 3 Kings should ensure they are underlaying gravel areas with clean, new delineation fabric per project requirements.

0945 - 3 Kings began repairing existing damaged sewer line at [REDACTED] Baxter. 3 Kings also inquired about two potential landscape 'weed barrier' specific type products they were considering using in the backyard of [REDACTED] Baxter (rather than nonwoven 4-ounce construction fabric used in the front yard of this property). Both products appeared to be approximately 5-ounce 'weed barrier' rated products and GSI indicated either option appeared to meet project specs. GSI requested that 3 Kings provide product make/model for whatever option they decide to use.

1030 - 3 Kings truck onsite delivering wood chips from LFP.

1225 - 3 Kings truck onsite delivering Rexius topsoil

1310 - 3 Kings crew delivering replacement fence supplies for fence line along [REDACTED]

1310 - GSI/3 Kings discussed loose ends tracking at [REDACTED] Baxter. 3 Kings indicated they had installed landscape edging along small strip of gravel/soil at south end of [REDACTED] Baxter. GSI reminded 3 Kings of apparent survey indicated low points at [REDACTED] Baxter that would require some spot backfilling with topsoil, gravel, and wood chips to meet project requirements. GSI reminded 3 Kings of damaged section of concrete located in the driveway at this property that would still need to be repaired.

1315 - Delta truck onsite delivering loam product - 3 Kings indicated that the loam had been mistakenly ordered. 3 Kings confirmed with haul truck driver that product was 'screened loam' from Delta yard. 3 Kings indicated they would prefer not to send the material back and would rather use onsite if possible. GSI indicated that per project plans, the Delta loam product could be used for topsoil if amended with sufficient Rexius topsoil to increase organic content. 3 Kings staged soil at [REDACTED] Baxter with the intent to mix this material with sufficient imported topsoil prior to final placement.

1330 - 3 Kings crew continuing fence repairs along [REDACTED] Alva Park fence section. 3 Kings crew also continuing shed installation at [REDACTED] Baxter.

1350 - Rexius onsite delivering topsoil. GSI reminded 3 Kings of expected excavation extents survey data in areas previously missed along the ROW to the south of [REDACTED] Baxter, and within an area to the north of the back porch of this property.

1512 – 3 Kings installed temporary security fence along [REDACTED] fence line since the fence repairs were unable to be completed in one day. 3 Kings confirmed that security fencing was installed appropriately to allow [REDACTED] Alva Park residents to let their dogs out in the backyard. 3 Kings crew indicated they would be wrapping up site activities by 1530 to avoid overtime. GSI observed that 3 Kings had mostly completed the shed installation at [REDACTED] Baxter – 3 Kings crew indicated that some tweaking to the shed door was still required.

1535 – 3 Kings crew offsite.

1540 – GSI offsite.

Truck Count:

2 loads offsite to landfill.

Three loads of gravel, six loads of topsoil, two loads of loam, one load of Delta 'screened loam', and one load of woodchips imported to the site.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- ACM material disposal from [REDACTED] and [REDACTED]
- ROW along south side of [REDACTED] Baxter and limited area to north of back porch not surveyed.

Upcoming Planned Activities

- [REDACTED] Baxter (DU-09): Complete shed, sod placement, planting.
- [REDACTED] Baxter (DU-10): Touch up backfilling as needed. Fix damaged concrete in driveway, hydroseed application, planting.
- [REDACTED] Baxter (DU-11): Tie in downspout drain lines, continue backfilling/ surface restoration. Continue backyard excavation. Survey missed backyard excavation extents.
- [REDACTED] Baxter (DU-15): Continue backfilling/ restoration. Resolve plumbing issues.
- [REDACTED] Baxter (SO-07): Continue irrigation line installation. Backfilling/ restoration.

RA Day 22 Photographs

Photograph 1. Material along eastern fence line of [REDACTED] Baxter requiring addiitonal excavation. Photograph taken facing north.



Photograph 2. Material along eastern fence line of [REDACTED] Baxter requiring additional excavation. Photograph taken facing east.



Photograph 3. Hand tool removal beneath north side yard gate at [REDACTED] Baxter. Photograph taken facing southeast.



Photograph 4. Backfill placement around repaired utility features at [REDACTED] Baxter. Photograph taken facing south.



Photograph 5. Excavation along southern fence line of [REDACTED] Baxter. Photograph taken facing south.



Photograph 6. Excavation extents beneath north sideyard fence/gate at [REDACTED] Baxter. Photograph taken facing west.



Photograph 7. Excavation extents along south side of [REDACTED] Baxter. Photograph taken facing east.



Photograph 8. Topsoil placing at [REDACTED] Baxter. Photograph taken facing northeast.



Photograph 9. ROW excavation extents along south side of [REDACTED] Baxter. Photograph taken facing northeast.



Photograph 10. Topsoil placed and plant saved in area at [REDACTED] Baxter residence front entrance. Photograph taken facing northeast.



Photograph 11. Demarcation fabric and gravel placing at [REDACTED] Baxter. Photograph taken facing west.



Photograph 12. [REDACTED] Baxter items returned to covered area. Photograph taken facing east.



Photograph 13. Damaged section of sewer pipe at [REDACTED] Baxter removed. Photograph taken facing southwest.



Photograph 14. Repaired section of sewer pipe at [REDACTED] Baxter. Photograph taken facing west.



Photograph 15. Restoration progress along [REDACTED] Baxter. Photograph taken facing west.



Photograph 16. Shed replacment progress at [REDACTED] Baxter. Photograph taken facing northwest.



Photograph 17. Landscape fabric and mulch placement at [REDACTED] Baxter. Photograph taken facing east.



Photograph 18. Gravel backfill placed around AC unit at [REDACTED] Baxter. Photograph taken facing south.



Photograph 19. Existing fence section removal along [REDACTED] Alva Park property boundary. Photograph taken facing southeast.



Photograph 20. Front yard surface restoration progress at [REDACTED] Baxter. Photograph taken facing southwest.



Photograph 21. Additional mulch backfill placed in CRZ at [REDACTED] Baxter. Photograph taken facing west.



Photograph 22. Landscape edging installed at gravel/soil interface at [REDACTED] Baxter. Photograph taken facing north.



Photograph 23. Delta Sand and Gravel 'Screened loam' product delivered to site. Photograph taken facing east.



Photograph 24. Removed section of fence from [REDACTED] Alva Park. Photograph taken facing west.



Photograph 25. Manual excavation depth field truthing at [REDACTED] Baxter. Photograph taken facing west.



Photograph 26. Manual excavation depth field truthing at [REDACTED] Baxter. Photograph taken facing south.



Photograph 27. Section of fence removed around former walnut tree at [REDACTED] Baxter. Photograph taken facing south.



Photograph 28. Temporary security fence installed along [REDACTED] property line. Photograph taken facing south.



Photograph 29. Replacement shed installation completed at [REDACTED] Baxter. Photograph taken facing northwest.





OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #23 Date: May 30, 2024

TO: Don Hanson / DEQ
Sarah Eagle / DEQ
COPIES: Susan Turnblom / DEQ
Rick Ernst / GSI Water Solutions
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Sunny- 50s
PM: Partly Cloudy- 60s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
3 Kings (Adrianna, Shane, Steve, 5 crew)
Mid-State Industrial Service
Rexius

Site Visitors

Organization and Name: • Don Hanson - DEQ - Oversight.

Safety

Topics covered: • Appropriate PPE
• Site security
• Traffic control
• ESCP requirements
• Daily workplan

Activities Performed

0650 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings intending to complete shed installation at [REDACTED] Baxter, fence repair/replacement along fence line bordering [REDACTED] Alva Park, continue importing materials, surface restoration activities, and grade checks throughout backyards.

0715 - 3 Kings crew continuing to dig post holes for fence repair at [REDACTED] Baxter. 3 Kings operators began performing grade checks on topsoil placed in the backyard of [REDACTED] Baxter. Some 3 Kings crew troubleshooting shed door at [REDACTED] Baxter.

0745 - GSI/3 Kings discussed how to tie in fence repairs at [REDACTED] Baxter into southeast corner of [REDACTED] Baxter, around the former walnut tree. GSI indicated they would defer to 3 Kings knowledge on fence installation specifics, but indicated that the reinstall should be substantially similar to the previous layout and installed

in a manner so that the joining of the north-south and east-west fence sections are as close to perpendicular as possible.

0758 - 3 Kings and Rexius trucks onsite delivering topsoil.

0800 - 3 Kings asked about the required ratio for amending the single load of Delta screened loam imported to the site prior to placing as topsoil. GSI pointed 3 Kings to project plans which indicated that a minimum of 25% of Rexius topsoil blend was required prior to placing the material as topsoil. 3 Kings intending to mix in single load with ongoing imports of Rexius topsoil to ensure project requirements are met.

3 Kings crew installing perforated drain pipe and routing to existing drywell at [REDACTED] Baxter.

0815 - 3 Kings indicated that they were now intending to subcontract Rexius to perform all of the planting, hydroseeding, and sod installations at the properties. 3 Kings was still working with Rexius to confirm that the approved species on the plant list were available. 3 King said they were now targeting the end of the following week to perform the landscaping activities. GSI reminded 3 Kings to confirm plant size availability in addition to acquiring the correct species. GSI also asked 3 Kings to confirm that Rexius could supply care instruction pamphlets for the residents. GSI/3 Kings discussed areas where at [REDACTED] Baxter where excavation extents still needed to be checked by surveyor. 3 Kings notified GSI that based on their tally of trucking tickets, a total of 1,787 tons of soil had been disposed of at the landfill.

0904 - 3 Kings installing 8-ounce demarcation fabric in greenhouse prior to backfilling six inches of ¾-inch-minus gravel. 3 Kings indicated they were also planning on placing 8-ounce fabric on top of the gravel surface per the resident's request.

GSI/3 Kings discussed replacing potting soil in raised beds previously removed by vacuum truck. 3 Kings notified GSI that they were intending to submit a change order for purchasing and replacing the potting soil from the beds with the material requested by the resident at [REDACTED] Baxter. GSI indicated that based on conversations held with the resident, the material had been requested to be set aside in similar fashion to the pea gravel from the aquaponic system, and to be returned to the beds after finishing excavation work. GSI explained that 3 Kings had agreed to set this material aside and then decided to vacuum out the soil in the interest of time saving and had not consulted with GSI regarding payment for the replacement potting soil, so this may not be a cost for DEQ/GSI to cover. GSI to discuss potential payment for replacing soil internally.

0910 - 3 Kings began using haul truck to transfer staged topsoil from front yard of [REDACTED] Baxter to backyard of this property.

0920 - 3 Kings crew using hand tools to place gravel backfill within greenhouse at [REDACTED] Baxter. 3 Kings also continuing to work on reinstalling downspout drain lines and routing to existing dry well at [REDACTED] Baxter.

0940 - 3 Kings operator using chainsaw to remove as much of the walnut stump remnants located in the southeast corner of [REDACTED] Baxter as possible and allow 3 Kings to complete fence reinstall along this area.

1015 - 3 Kings placed additional gravel material along strip running along south side of [REDACTED] Baxter and performed some spot backfilling with gravel in ROW along front yard of [REDACTED] Baxter.

1050 - 3 Kings/GSI discussed how to tie gravel to mulch surfacing in front yard/ROW at [REDACTED] Baxter. GSI suggested removing some additional material along this interface where bare soil was visible, and replacing with minimum six inches of gravel, topsoil, and/or mulch as required by project plans. GSI/3 Kings also discussed survey map and potential spot backfilling of low points identified on the map. GSI suggested placing some additional topsoil in areas marked as low or areas that visually appeared to be low points and may present erosion concerns.

1145 - 3 Kings crew continuing fence replacement at [REDACTED] Baxter and using walk behind compactor to tamp gravel at [REDACTED]

1300 - GSI observed 3 Kings had backfilled with imported topsoil up to fence line around walnut stump at 225 Baxter, where some residual soil stuck to fence still required removal. GSI pointed this out to 3 Kings who indicated they were aware that this material still needed to be removed and that they would slightly over excavate imported soil as well to ensure all contaminated material is removed. 3 Kings said they were

intending to load all remaining contaminated soil into their work trailer and use this to transport the material to the landfill.

1305 – GSI observed 3 Kings had completed spot backfilling and regrading of mulch/gravel interface in ROW at [REDACTED] Baxter.

1345 – DEQ (Don) onsite to observe RA progress. 3 Kings crew removing residual material previously missed from along eastern [REDACTED] Baxter fence line. GSI/DEQ observed that some additional material along the section of fence being repaired at [REDACTED] Baxter would also need some follow up grading to 12-inches to meet project excavation requirements for this property. GSI discussed this area with 3 Kings who indicated they would finish grading along the fence line once the fence repair is completed. DEQ observed fence replacement performed thus far and discussed plans for completing fence sections around former walnut tree with 3 Kings.

1355 – GSI/DEQ observed area along west and south sides of greenhouse at [REDACTED] Baxter that resident had requested be resurfaced with wood chips instead of the planned hydroseed. GSI explained that 3 Kings had indicated they would likely have excess PlayAway wood chips that could be placed here. DEQ indicated this would be acceptable if placing the wood chips did not constitute a change order.

1415 – 3 Kings truck onsite delivering Rexius topsoil. 3 Kings crew indicated that they were sourcing some of the imported topsoil loads from Rexius's Coburg location.

1500 – 3 Kings truck onsite delivering Delta gravel. DEQ offsite.

1530 – 3 Kings completed RA activities for the day. 3 Kings/GSI offsite.

Truck Count:

Approximately 5 loads of Rexius topsoil imported to site. One load of Delta ¾-inch-minus gravel imported to site.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- ACM material disposal from [REDACTED] and [REDACTED]
- ROW along south side of [REDACTED] Baxter and limited area to north of back porch not surveyed.

Upcoming Planned Activities

- DU-09: Sod placement, planting.
- DU-10: Touch up backfilling as needed. Possible additional survey. Fix damaged concrete in driveway, hydroseed application, planting.
- DU-11: Continue backfilling/surface restoration. Continue backyard excavation. Survey missed backyard excavation extents.
- DU-15: Continue backfilling/restoration. Resolve plumbing issues.
- SO-07: Continue irrigation line installation. Backfilling/ restoration.

RA Day 23 Photographs

Photograph 1. 3 Kings crew installing new fence posts along [REDACTED] Baxter property line. Photo taken facing northeast.



Photograph 2. 3 Kings grade checks for topsoil placement at [REDACTED] Baxter. Photo taken facing west.



Photograph 3. 3 Kings removing stump remnants with chainsaw at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 4. Completed shed replacement at [REDACTED] Baxter. Photo taken facing north.



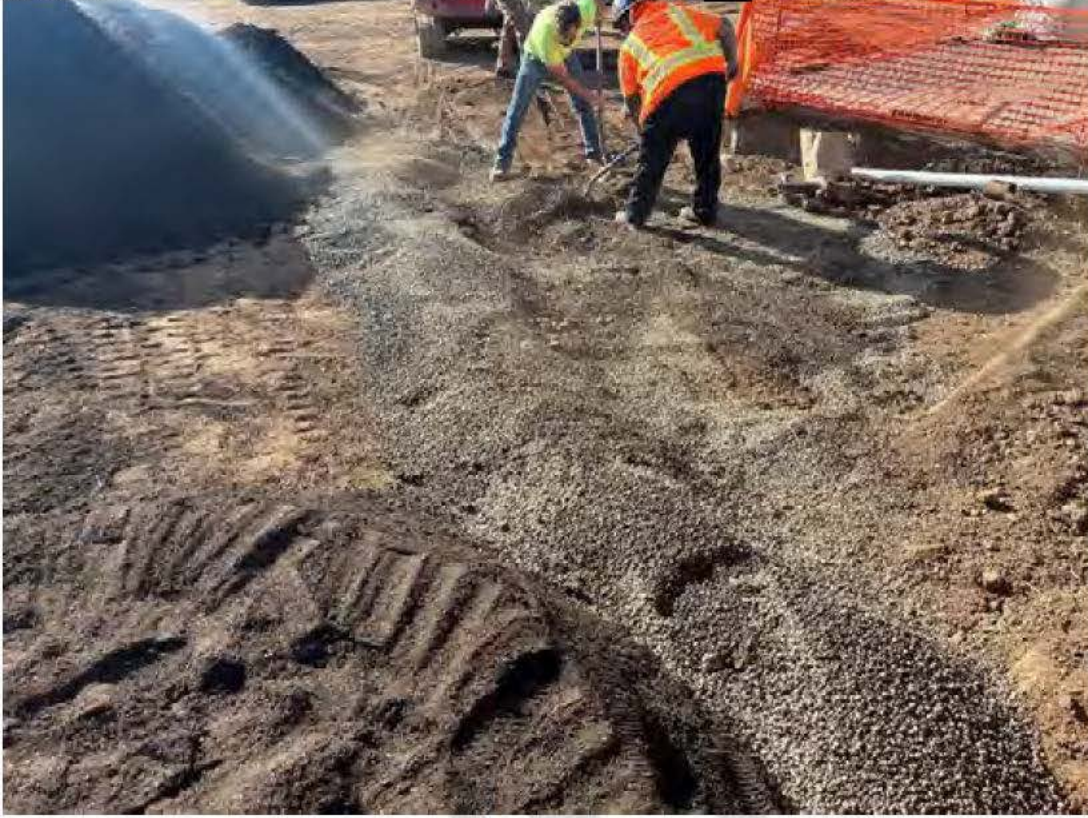
Photograph 5. Fence repair at [REDACTED] Baxter. Photo taken facing north.



Photograph 6. Downspout drain line tie in to existing drywell at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 7. Covering perforated section of drain line with pea gravel at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 8. Drain line covered with demarcation fabric at [REDACTED] Baxter. Photo taken facing north.



Photograph 9. 3 Kings placing demarcation fabric within greenhouse at [REDACTED] Baxter. Photo taken facing east.



Photograph 10. Downspout drain line replacement at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 11. Downspout drain line replacment at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 12. Additional gravel placed along strip at [REDACTED] Baxter. Photo taken facing west.



Photograph 13. Placing gravel in greenhouse at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 14. Spot backfilling and improving mulch/gravel tie in at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 15. Fence repair progress at [REDACTED]

Park. Photo taken facing southwest.



Photograph 16. Gravel placement completed at [REDACTED]

Baxter. Photo taken facing west.



Photograph 17. Gravel installed along south side of [REDACTED] Baxter. Photo taken facing east.



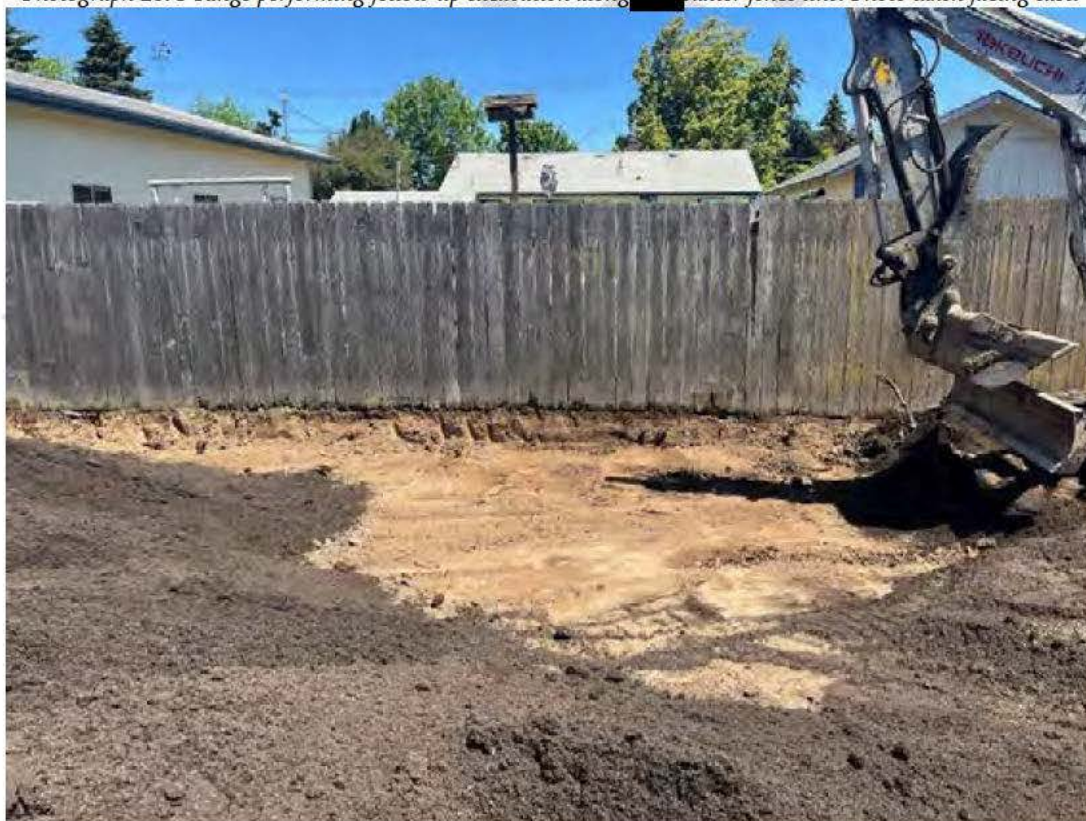
Photograph 18. Gravel mulch interface after spot backfilling at [REDACTED] Baxter. Photo taken facing west.



Photograph 19. Landscape edging installed along [REDACTED] Baxter property line. Photo taken facing southeast.



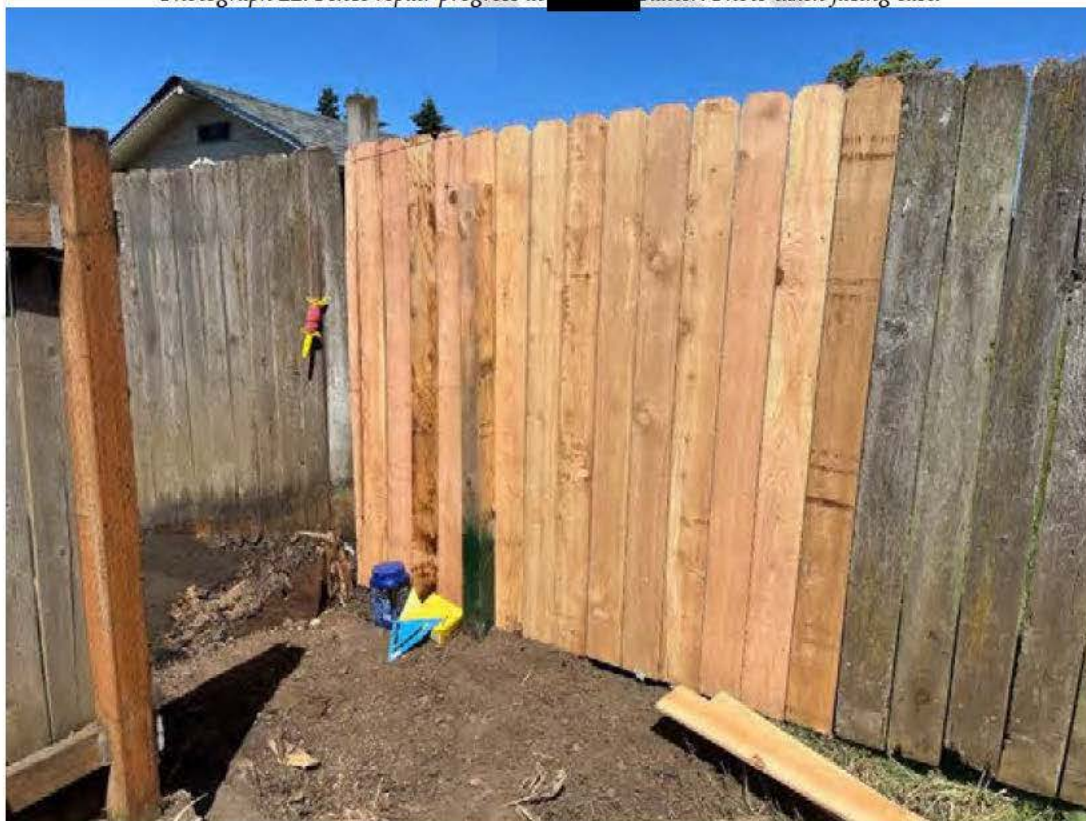
Photograph 20. 3 Kings performing follow up excavation along [REDACTED] Baxter fence line. Photo taken facing east.



Photograph 21. Imported gravel delivered for [REDACTED] Baxter. Photo taken facing southwest.



Photograph 22. Fence repair progress at [REDACTED] Baxter. Photo taken facing east.





OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #24 Date: May 31, 2024

TO: Don Hanson / DEQ COPIES: Susan Turnblom / DEQ
 Sarah Eagle / DEQ Rick Ernst / GSI Water Solutions

FROM: Chris Martin / GSI Water Solutions
 Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Sunny - 50s
 PM: Partly Cloudy - 70s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter, Chris Martin)
 3 Kings (Adrianna, Shane, Steve, 4 crew)
 Mid-State Industrial Service

Site Visitors

Organization
and Name: • Sarah Eagle - DEQ - Oversight
 • Don Hanson - DEQ - Oversight

Safety

Topics
covered: • Appropriate PPE
 • Site security
 • Traffic control
 • ESCP requirements
 • Daily workplan

Activities Performed

0650 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings focusing on continuing restoration activities throughout properties. 3 Kings indicated they were intending to continue RA activities through at least Monday 6/3, with the possibility of some crew wrapping things up on 6/4 and 6/5.
- 3 Kings/GSI planned to jointly measure fence/gate repair quantities in accordance with bid documents.
- 3 Kings still targeting having Rexius perform site-wide landscaping activities on Thurs/Fri of the following week. 3 Kings indicated there were some deviations from the previously approved plant list (available plant sizing and/or species) that needed to be run by GSI/DEQ and property residents for reapproval.
- 3 Kings indicated they were unaware of the current location of potential ACM material previously encountered at [REDACTED] Baxter and that they were checking internally on the material disposition. 3

Kings requested additional information regarding unit cost breakdown requirements to get handling/disposal costs approved by DEQ.

0730 - 3 Kings using skid steer to regrade topsoil in front yard of [REDACTED] Baxter. 3 Kings crew indicated they may have installed fence boards in incorrect order at [REDACTED] - referencing previous photos of the fence to confirm that these sections are reinstalled correctly.

GSI discussed current status of plumbing with resident at [REDACTED] Baxter. Resident indicated that all plumbing still appeared to be functioning correctly. GSI informed resident that 3 Kings would likely be working on restoration activities at the property through the next week.

0745 - 3 Kings grading out clean fill placed along south side of [REDACTED] Baxter and prepping to place demarcation fabric/gravel backfill.

0800 - GSI/3 Kings discussed aquaponic system reinstall at [REDACTED] Baxter. 3 Kings confirmed understanding of the resident's desired system layout and approximate height of totes. [REDACTED] Baxter resident informed GSI that he would like two laundry poles (previously located in the north portion of the backyard) reinstalled if possible. GSI explained that removing and not replacing these poles had been agreed to prior to starting RA work and 3 Kings no longer had the materials onsite. Resident indicated not reinstalling the poles was acceptable if they had already been removed from the site.

3 Kings haul truck onsite delivering gravel for [REDACTED] Baxter.

0830 - 3 Kings operator finished cutting out walnut stump remnants with chainsaw to below planned finish grades at [REDACTED] Baxter. 3 Kings crew returning aquaponic system components back to greenhouse with direction from resident.

0840 - 3 Kings informed GSI they had determined that the potential ACM material from the septic line at [REDACTED] Baxter had apparently been thrown away. 3 Kings indicated that the material had originally been bagged and placed in the backyard of the property near the septic system, and that one of the residents from [REDACTED] Baxter had thrown the bag in the trash.

3 Kings asked about how to handle potting soil replacement in greenhouse at [REDACTED] Baxter since the material was not mentioned in the project plans. GSI explained that both 3 Kings/GSI had discussed the material handling with the resident and agreed that the potting soil would be set aside then returned to the raised beds after greenhouse excavation. 3 Kings had chosen to remove/dispose of the material and told the resident they would replace it without consultation or approval from DEQ/GSI. GSI asked 3 Kings to hold off on ordering any replacement topsoil until a consensus on payment is reached.

0850 - 3 Kings placing gravel material along south side of backyard at [REDACTED] Baxter. 3 Kings notified GSI they were possibly changing the plant vendor for the project but that this had not been confirmed.

0925 - GSI confirmed with 3 Kings that disposal documentation would be provided for remaining material loaded into 3 Kings trailer. 3 Kings indicated this material would all be transported to Coffin Butte landfill. 3 Kings crew returning pea gravel to aquaponic system totes at [REDACTED] Baxter.

0945 - 3 Kings truck onsite delivery PlayAway fiber chips from LFP - 3 Kings confirmed they had imported the correct material.

1000 - 3 Kings informed GSI that they were now intending to continue using 4-ounce nonwoven construction fabric as weed barrier underlying wood chips in backyard of [REDACTED] rather than the 'weed barrier' specific products discussed the previous day. 3 Kings planning to overlap fabric by 1-ft when laying out in accordance with project plans. 3 Kings indicated they were not intending to stake fabric since this was not specified, but that they would take care to place fabric and mulch in manner appropriate to meet project goals.

1015 - Chris M. (GSI) onsite. GSI walked through properties and discussed the progress of RA activities and status of numerous outstanding punch list items that needed completion.

1100 - GSI/3 Kings measured fence and gate replacement/repair quantities in accordance with bid documents. 3 Kings confirmed plans to have crew onsite in some capacity Monday through Wednesday of

the following week, with landscaping scheduled for Thursday/Friday. 3 Kings/GSI discussed survey map for [REDACTED] Baxter - 3 Kings confirmed that northwest portion of property still needed to be surveyed. 3 Kings indicated that survey map confirmed that the entire [REDACTED] property was within 1-inch of previous grades (not possible?). GSI requested 3 Kings have surveyor add vertical scaling to final survey maps.

3 Kings crew installing landscape edging along gravel pads at [REDACTED] Baxter.

1145 - 3 Kings truck onsite delivering PlayAway chips from LFP.

1300 - 3 Kings crew began reinstalling metal chicken run fence at [REDACTED] Baxter.

1345 - 3 Kings/GSI reviewed loose ends tracking/upcoming project plans. GSI confirmed with 3 Kings that surfacing change from hydroseed to PlayAway chips in limited area around greenhouse at [REDACTED] Baxter would not constitute a change order.

1410 - 3 Kings informed GSI that they were holding off on reinstalling the chicken run fence at [REDACTED] Baxter until they could discuss the reinstallation with the resident. 3 Kings placed PlayAway chips in some backyard areas of [REDACTED] Baxter.

1415 - 3 Kings moving storage trailer and water buffalo out of [REDACTED] Baxter driveway. 3 Kings using excavator to combine load of Delta 'screened loam' imported to site with numerous loads of Rexius topsoil prior to final placement.

3 Kings crew using walk behind compactor on gravel at [REDACTED] Baxter and cleaning up wood debris and track out from construction traffic in ROW south of [REDACTED] Baxter.

1445 - 3 Kings began reattaching double-wide gate on the south side of [REDACTED] Baxter. 3 Kings crew installing site security at [REDACTED] Baxter for the weekend.

1500 - 3 Kings offsite (short day). DEQ (Sarah, Susan, Don) onsite. DEQ/GSI walkthrough properties and discuss RA progress and plans for following week. DEQ requested that GSI/DEQ both be onsite for plumbing inspection and repairs at [REDACTED] Baxter to document plumber diagnosis.

1630 - Security onsite.

1645 - GSI/DEQ offsite.

Truck Count:

Two loads of gravel and three loads of PlayAway fiber chips imported to site.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- ACM material from [REDACTED] Baxter disposed of by resident - may need additional documentation.
- ROW along south side of [REDACTED] Baxter and limited area to north of back porch not surveyed.

Upcoming Planned Activities

- DU-09: Sod placement, planting.
- DU-10: Additional touch up backfilling as needed. Fix damaged concrete in driveway, hydroseed application, planting.
- DU-11: Continue backfilling/surface restoration. Final excavations. Survey missed backyard excavation extents.
- DU-15: Continue backfilling/restoration. Resolve plumbing issues.
- SO-07: Complete irrigation system installation. Backfilling/ restoration.

RA Day 24 Photographs

Photograph 1. Greenhouse restoration progress. Photo taken facing east.



Photograph 2. Downspout drain line repair at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 3. 3 Kings placing additional demarcation fabric over gravel at [REDACTED] Baxter. Photo taken facing west.



Photograph 4. Walnut stump remanants cut to grade and fence repair progress at [REDACTED] Baxter. Photo taken facing south.



Photograph 5. Imported gravel placing in backyard of [REDACTED] Baxter. Photo taken facing southwest.



Photograph 6. 3 Kings reinstalling aquaponic system with resident help at [REDACTED] Baxter. Photo taken facing east.



Photograph 7. Demarcation fabric placing for gravel area at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 8. Returning pea gravel to aquaponic system at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 9. 3 Kings checking backfill grades at [REDACTED] Baxteer. Photo taken facing north.



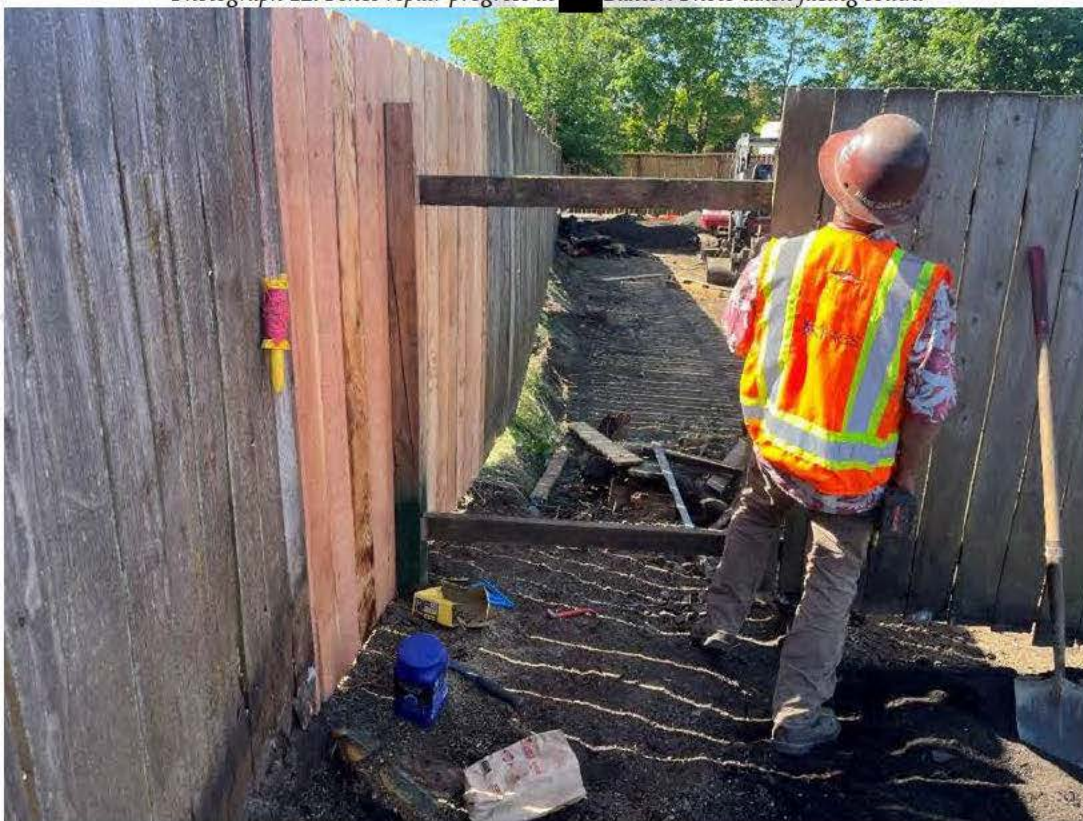
Photograph 10. PlayAway fiber chips from LFP imported to site. Photo taken facing north.



Photograph 11. Pea gravel returned to aquaponic system totes in greenhouse. Photo taken facing northwest.



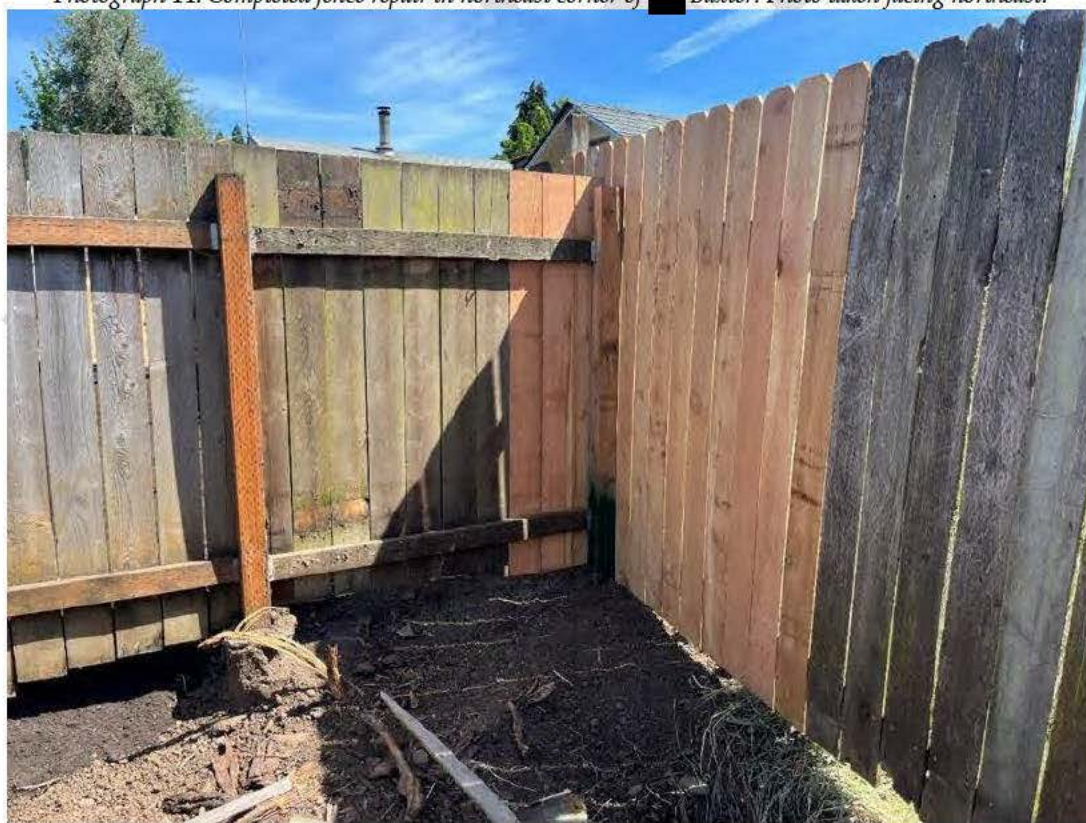
Photograph 12. Fence repair progress at [REDACTED] Baxter. Photo taken facing south.



Photograph 13. Completed fence repair at southeast corner of [REDACTED] Baxter. Photo taken facing south.



Photograph 14. Completed fence repair in northeast corner of [REDACTED] Baxter. Photo taken facing northeast.



Photograph 15. Landscape edging installation at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 16. Gravel surface touched up in front yard of [REDACTED] Baxter. Photo taken facing east.



Photograph 17. Surface restoration progress at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 18. Gravel pad installation progress at [REDACTED] Baxter. Photo taken facing south.



Photograph 19. Gravel pad installed at Baxter. Photo taken facing west.



Photograph 20. Delta 'screened loam' product mixed with Rexius topsoil prior to final placing. Photo taken facing southeast.



Photograph 21. Chip placing at [REDACTED] Baxter. Photo taken facing south.



Photograph 22. Gravel compacting at [REDACTED] Baxter. Photo taken facing west.



Photograph 23. Fence sections reinstalled at [REDACTED] Baxter. Photo taken facing east.



Photograph 24. 3 Kings reinstalling double-wide gate at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 25. Site security installed at [REDACTED] Baxter. Photo taken facing north.



DRAFT



OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #25 Date: June 3, 2024

TO: Don Hanson / DEQ **COPIES:** Rick Ernst / GSI Water Solutions
Sarah Eagle / DEQ
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Cloudy/Showers - 50s
PM: Cloudy/Showers - 60s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
3 Kings (Adrianna, Shane, Steve, 4 crew)
Mid-State Industrial Service
Minister & Glaeser Surveying Inc.

Site Visitors

Organization and Name: • No site visitors today.

Safety

Topics covered: • Appropriate PPE
• Site security
• Traffic control
• ESCP requirements
• Daily workplan

Activities Performed

0700 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings indicated that surveyor would be onsite today to survey lingering areas missed at [REDACTED] Baxter and to collect final surveys on majority of [REDACTED] through [REDACTED] Baxter properties.
- 3 Kings continuing to wrap up restoration activities at all properties.

0705 - 3 Kings using hand tools to clean up and place gravel along south side of [REDACTED] Baxter.

0725 - 3 Kings using excavator to perform follow up excavations along eastern fence line of [REDACTED] Baxter to remove residual contaminated soil left in place due to limited access prior to fence repair. GSI observed that 3 Kings did not appear to be fully meeting required 12-inch excavation depth while removing soil along the property line and asked operator to follow up with some additional soil removal to ensure required grades were met. 3 Kings also to remove some additional material around walnut tree remnants observed in the northeast corner of [REDACTED] Baxter (tree formerly located in southeast corner of [REDACTED] Baxter).

0745 – GSI observed that 3 Kings had dumped out job trailer contents including some excavated soil from [REDACTED] Baxter and miscellaneous refuse onto the ROW/south side of [REDACTED] Baxter. 3 Kings intending to transfer this material to haul truck for transport to the landfill. GSI indicated to 3 Kings operators that they would now need to over excavate some of the underlying soil and/or gravel beneath the material dumped here to eliminate potential cross contamination from impacted soils being placed on clean leave surfaces. 3 Kings indicated they were aware of this and would remove extra material as needed when loading the soil/debris into the haul truck.

3 Kings indicated they had imported 40 cubic yards of the LFP Playaway Fiber Chips product for placing at [REDACTED] Baxter but were unsure if this would be sufficient.

0805 – 3 Kings loading dumped soil from job trail and construction related refuse into haul truck. GSI observed 3 Kings using excavator and hand tools to slightly over dig around the footprint of where this material was placed to ensure residual impacted soil temporarily placed here was fully removed.

3 Kings discussing layout of chicken run fence at [REDACTED] Baxter with resident to confirm proposed reinstallation is acceptable. Resident (Josh) indicated that over the weekend some plumbing issues had started to occur in his bathtub fixture. Resident indicated that the fixture appeared to be clogged and was no longer supplying sufficient water. Resident indicated he would continue to try unclog the fixture himself at lunch today and then notify GSI/3 Kings if this doesn't work so that 3 Kings can plan how to respond.

0830 – 3 Kings began loading material generated from follow up excavations along eastern fence line at [REDACTED] Baxter into haul truck for transport to landfill. 3 Kings using hand tools to remove additional soil in northeast corner of property around walnut stump remnants.

GSI asked 3 Kings if a plumber had been scheduled to troubleshoot issues at [REDACTED] Baxter. 3 Kings indicated they were having trouble finding contractors that could meet BOLI requirements but that they may have Home Comfort (HVAC contractor) perform the work. 3 Kings to keep GSI apprised on contractor scheduling for coordination with residents. GSI informed 3 Kings that some plumbing issues were being observed at [REDACTED] Baxter and that 3 Kings may need to consider scheduling work for both properties concurrently. 3 Kings/GSI discussed landscape scheduling – 3 Kings sent contract to Rexius for review and still targeting Thurs/Friday (June 6/7) to perform hydroseeding, sod installation, and planting.

0915 – 3 Kings loading some spent BMPs (waddle etc.) from site into haul truck for disposal along with remaining excavated soil. Minister & Glaeser onsite to survey RA excavation extents and surface restorations.

0920 – 1X 3 Kings truck offsite with load of refuse and contaminated soil for transport to landfill. GSI/Minister & Glaeser discussed survey plans and topo map previously provided for [REDACTED] Baxter finish grades. Minister & Glaeser confirmed that vertical scaling on the finish surface topo was in increments of 1 inch – the majority of the property was backfilled to within +1 or -1 inches of previous grades, with some limited deviations due to uneven prior surface conditions around the tree etc.. GSI requested that Minister & Glaeser include a vertical scale on the final map deliverables to help mitigate potential confusion regarding the map grades. Minister & Glaeser indicated that they could also indicate the surface material (mulch, topsoil, gravel) when surveying the finish grades of [REDACTED] Baxter for reference during future map reviews. Minister & Glaeser to start by surveying missed excavation extent areas at [REDACTED] Baxter and ROW to the south so that these areas can be backfilled ASAP.

0945 – 3 Kings began working on installing sprinkler heads for irrigation system in the backyard of [REDACTED] Baxter. 3 Kings indicated that Minister & Glaeser had checked excavation depths to the north of the back porch at [REDACTED] Baxter and had confirmed required depths were met – 3 Kings to start placing additional topsoil here.

1015 – Minister & Glaeser marking out some areas that were backfilled approximately four tenths of a foot too low relative to required backfill grades within the backyard of [REDACTED] Baxter. GSI/3 Kings discussed how to approach regrading this area. GSI recommended referencing concrete slab elevation (or just above) within the back yard of the property and trying to grade out areas relatively flat to this approximate elevation to help fill in low points, ensure that required restoration elevations are generally met, and provide a level restoration surface for the residents.

1115 – GSI informed 3 Kings that DEQ was coordinating with [REDACTED] Baxter residents to facilitate access to items stored in the garage so that they could be returned to replacement shed. 3 Kings aware of this and prepared to help move heavier items when needed.

1230 – Minister & Glaeser checking surface restoration grades in front yards of [REDACTED] Baxter. 3 Kings continuing to place/grade out gravel backfill along south side of [REDACTED] Baxter property. GSI observed that eastern extent of gravel area being constructed was well over 12-inches thick, generally returning closer to a 12-inch total gravel depth moving west towards the residence.

1255 – Minister & Glaeser began final survey of northwestern portion of [REDACTED] Baxter. 3 Kings spot backfilling some additional gravel in ROW parking area in the front yard of this property.

1300 – 3 Kings truck onsite delivering topsoil. Topsoil placed and spread within the backyard of [REDACTED] Baxter.

1405 – 3 Kings began placing some additional topsoil at [REDACTED] Baxter to raise grades based on surveyor input and previous 'existing conditions' survey map.

1430 – Minister & Glaeser offsite.

1450 – 3 Kings began laying out and placing demarcation fabric and LFP Playaway Fiber Chips along north side of [REDACTED] Baxter backyard. 3 Kings continuing sprinkler head install and confirming that fabric placed for mulch delineation won't interfere with sprinklers in this area.

1458 – 3 Kings truck onsite delivering topsoil. 3 Kings at [REDACTED] Baxter using hand tools to smooth out grades around shed in anticipation of sod placement at the end of the week. GSI inspected shed and did not see obvious signs of leaking or water buildup within shed after recent heavy rains – GSI unable to observe conditions during ongoing precipitation. 3 Kings indicated some of the holes in the shed frame that may act as leak points could be filled with caulk if needed.

3 Kings confirmed that surveyor would be returned to finish final grade surveys at properties on June 5.

1518 – 3 Kings testing portions of sprinkler system at [REDACTED] Baxter to confirm operational.

1530 – 3 Kings wrapping up site activities for the day.

1540 – GSI/3Kings offsite.

Truck Count:

1 load offsite to landfill.

2 loads of topsoil from Rexius imported to site.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- Apparent new plumbing issue at [REDACTED] Baxter after water line reconnection.
- Potential additional ACM material disposal documentation.

Upcoming Planned Activities

- [REDACTED] Baxter (DU-09): Return items to shed. Sod placement/planting.
- [REDACTED] Baxter (DU-10): Fix damaged concrete in driveway, hydroseed application, planting.
- [REDACTED] Baxter (DU-11): Continue backfilling/surface restoration. Final survey areas still needing backfill. Planting/sod.
- [REDACTED] Baxter (DU-15): Surface restoration – primarily mulch placement remaining. Resolve plumbing issues. Planting.
- [REDACTED] Baxter (SO-07): Complete irrigation line installation. Surface restoration. Hydroseed application, sod, planting.

RA Day 25 Photographs

Photograph 1. Additional gravel placement and clean up at [REDACTED] Baxter. Photograph taken facing northeast.



Photograph 2. Gravel area and landscape edging installed at [REDACTED] Baxter. Photograph taken facing west.



Photograph 3. Supplemental excavation along [REDACTED] Baxter fence line. Photograph taken facing southeast.



Photograph 4. Manual excavation depth field truthing at [REDACTED] Baxter. Photograph taken facing south.



Photograph 5. Miscellaneous refuse and some contaminated soil temporarily dumped at [REDACTED] Baxter. Photograph taken facing west.



Photograph 6. Finished surfacing of gravel strip at [REDACTED] Baxter. Photograph taken facing east.



Photograph 7. 3 Kings cleaning up soil and refuse temporarily dumped at [REDACTED] Baxter. Photograph taken facing southwest.



Photograph 8. 3 Kings slightly over digging where refuse and soil were dumped at [REDACTED] Baxter. Photograph taken facing northwest.



Photograph 9. 3 Kings removing additional soil from walnut stump remnants in northeast corner of [REDACTED] Baxter.
Photograph taken facing east.



Photograph 10. Compacted gravel along south [REDACTED] Baxter fence. Photograph taken facing east.



Photograph 11. Replaced fence boards at [REDACTED] Baxter. Photograph taken facing south.



Photograph 12. Surveyor checking excavation grade to north of back porch at [REDACTED] Baxter. Photograph taken facing southwest.



Photograph 13. Grade checks at [REDACTED] Baxter. Photograph taken facing south.



Photograph 14. 3 Kings placing and compacting gravel at [REDACTED] Baxter. Photograph taken facing east.



Photograph 15. 3 Kings placing some additional topsoil and regrading [REDACTED] Baxter per surveyor input. Photograph taken facing northeast.



Photograph 16. Sprinkler heads installed in back yard of [REDACTED] Baxter. Photograph taken facing east.



Photograph 17. Restoration progress at [REDACTED] Baxter. Photograph taken facing north.



Photograph 18. 3 Kings spot backfilling gravel area in ROW at [REDACTED] Baxter. Photograph taken facing west.



Photograph 19. Additional gravel placed at [REDACTED] Baxter. Photograph taken facing east.



Photograph 20. Gravel path construction progress at [REDACTED] Baxter. Photograph taken facing west.



Photograph 21. Additional topsoil placed in northwest [REDACTED] Baxter after surveyor input. Photograph taken facing northwest.



Photograph 22. 3 Kings placing fabric and mulch along northern [REDACTED] Baxter. Photograph taken facing east.



Photograph 23. 3 Kings testing sprinkler system at [REDACTED] Baxter. Photograph taken facing northwest.



DRAFT



OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #26 Date: June 4, 2024

TO: Don Hanson / DEQ **COPIES:** Rick Ernst / GSI Water Solutions
Sarah Eagle / DEQ
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Cloudy/Drizzle - 50s
PM: Cloudy - 70s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
3 Kings (Adrianna, Shane, Steve, 4 crew)
Mid-State Industrial Service

Site Visitors

Organization and Name: • Sarah Eagle - DEQ - Oversight

Safety

Topics covered:

- Appropriate PPE
- Site security
- Traffic control
- ESCP requirements
- Daily workplan

Activities Performed

0655 - GSI staff (Julian) onsite. 3 Kings crew arriving onsite. Daily tailgate/safety meeting. Specific project scope items discussed included:

- 3 Kings to continue wrapping up site restoration activities including remaining backfill placement and resurfacing and irrigation line installation.
- 3 Kings to reinstall chicken run fence at [REDACTED] Baxter at some point today.

0715 - GSI discussed returning items stored in garage at [REDACTED] Baxter back to replacement shed with resident. Resident indicated that she did not feel that the items would fit in the shed. GSI asked if there was a time that 3 Kings could try to at least move some of the larger items back to the shed and resident indicated she was unsure, but that she would be home around 4 pm. Resident to contact roommate and see if someone could also be available the following morning to provide access for 3 Kings.

GSI/3 Kings discussed status of plumbing contractor for [REDACTED] Baxter and potentially [REDACTED] as well. 3 Kings indicated they were still having trouble finding a contractor who could meet BOLI requirements and that most outfits they were able to get in touch with were booked for the next several days. 3 Kings to keep GSI

apprised on status. 3 Kings also indicated they were working through outstanding punch list items for the properties and would keep GSI informed if any questions arose.

0730 - 3 Kings started installing sprinkler heads for irrigation system in front yard at [REDACTED] Baxter.

0740 - 3 Kings truck delivering topsoil to site. 3 Kings crew placing demarcation fabric and mulch at [REDACTED] properties.

0812 - Rexius onsite delivering topsoil.

0821 - 3 Kings onsite delivering topsoil. 3 Kings using skid steer to place material at [REDACTED] Baxter.

0845 - 3 Kings/GSI discussed upcoming hydroseed application at [REDACTED] Baxter. 3 Kings still targeting Thursday/Friday to have Rexius complete seed application, sod installation, and planting. 3 Kings expressed concern about Rexius' ability to effectively apply hydroseed mix around significant planting and landscaping done by residents over the past few weeks. GSI indicated 3 Kings should defer to Rexius input regarding application plans but that GSI/DEQ would discuss potential concerns. GSI indicated it was likely not possible to move any of the recently placed plants, garden beds, or other landscaping and that Rexius would need to work around these as best they could.

GSI indicated to 3 Kings that they could start removing some BMPs that were no longer serving any purpose and that all BMPs could likely be removed from site upon completion of sod/seed install.

3 Kings asked about any final cleaning specifications that may be required at the site. GSI indicated that roadways generally looked good, but that some additional sweeping/cleaning may be required after straw waddles along private drive are removed. GSI indicated that hardscape surfaces should be restored to pre-RA conditions throughout site.

0915 - 3 Kings testing sprinklers for irrigation system in front yard of [REDACTED] Baxter.

0920 - Rexius onsite delivering topsoil. 3 Kings coordinating with residents at [REDACTED] Baxter on desired location of covered structure set aside during earthwork.

1000 - GSI observed that 3 Kings had covered water meter at [REDACTED] Baxter with fabric placed as weed barrier. GSI requested 3 Kings uncover the meter - 3 Kings crew cut out fabric around meter housing. 3 Kings crew continuing to work on fence reinstall at [REDACTED] Baxter.

1015 - 3 Kings started working on replacing damaged concrete pad at [REDACTED] Baxter. 3 Kings indicated they would remove/replace the entire panel.

1020 - 3 Kings cut and capped sewer clean out at [REDACTED] Baxter to topsoil finish grade.

1030 - GSI/DEQ weekly teams meeting to discuss RA progress and upcoming site activities. DEQ attempting to coordinate returning [REDACTED] Baxter items to shed - GSI indicated that 3 Kings would only have crew onsite to do this the next couple of days. DEQ to bring this to the attention of the residents. DEQ to get an estimate on replacement potting soil costs from the resident at [REDACTED] Baxter. DEQ indicated they would like some additional information from [REDACTED] residents regarding the disposal of potential ACM material at the property (date thrown out, garbage collector, etc.) - DEQ/GSI to discuss with residents. DEQ working on plant list changes with residents.

1100 - 3 Kings truck onsite delivering topsoil.

1115 - GSI observed 3 Kings had completed install of new clean out cap/housing at [REDACTED] Baxter. 3 Kings pouring replacement concrete pad in driveway at [REDACTED] Baxter. 3 Kings crew continuing to work on chicken run fence reinstall at [REDACTED] Baxter.

1320 - 3 Kings crew continuing to grade topsoil being placed at [REDACTED] Baxter, work on chicken run fence reinstall. 3 Kings testing remaining sprinkler heads at [REDACTED] Baxter. Based on lack of coverage, 3 Kings to replace one 8-ft radius sprinkler with a 15-ft radius sprinkler head. 3 Kings indicated that all other sprinkler zones had appeared to have complete coverage during testing.

1340 – 3 Kings demobbing larger excavator from site.

1355 – DEQ (Sarah) onsite. DEQ indicated that they had spoken with resident at [REDACTED] Baxter regarding plumbing issues observed in bathtub fixture and that the resident had been able to resolve the issue on his own. DEQ informed GSI that DEQ had indicated to the residents at [REDACTED] Baxter that installing a larger replacement shed was not an option and that DEQ had provided a timeframe to the residents on when 3 Kings crew could help move items back to the current shed.

1415 – GSI/DEQ spoke with residents at [REDACTED] Baxter regarding potential ACM material placed in trash. The residents indicated that their garbage collection was serviced by Lane Apex and that trash was picked up on Fridays (potential ACM likely picked up 5/17 or 5/24).

1430 – GSI/DEQ asked 3 Kings about above-ground rebar observed around HVAC unit pad at [REDACTED] Baxter. 3 Kings intended to pull rebar or hammer pieces below surface prior to sod installation. DEQ indicated that leaving rebar was acceptable if fully buried.

1440 – DEQ offsite.

1530 – 3 Kings wrapping up RA activities for the day.

1540 – Street sweeper onsite. GSI/3Kings offsite.

Truck Count:

Approximately five loads of topsoil and one load of PlayAway chips imported to site.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- Potential additional ACM material disposal documentation.

Upcoming Planned Activities

- DU-09: Return items to shed. Sod placement/planting.
- DU-10: Hydroseed application, planting.
- DU-11: Continue backfilling/surface restoration. Planting/sod.
- DU-15: Surface restoration – primarily mulch placement remaining. Resolve plumbing issues. Planting.
- SO-07: Hydroseed application, sod, planting.

RA Day 26 Photographs

Photograph 1. PlayAway chips placing at [REDACTED] Baxter. Photo taken facing east.



Photograph 2. Restoration progress at [REDACTED] Baxter. Photo taken facing south.



Photograph 3. Demarcation fabric/weed barrier and PlayAway fiber chip placing at [REDACTED] Baxter. Photo taken facing north.



Photograph 4. Fiber chip spreading via hand tools at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 5. Sprinkler testing in front yard of [REDACTED] Baxter. Photo taken facing southeast.



Photograph 6. Gazebo returned to resident requested location at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 7. Meter housing at [REDACTED] Baxter uncovered from fabric placed on top. Photo taken facing southeast.



Photograph 8. Damaged section of concrete cut out at [REDACTED] Baxter. Photo taken facing south.



Photograph 9. Fabric/weed barrier placing and mulch staging at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 10. Cleanout stub up pipe being cut to finish grade at [REDACTED] Baxter. Photo taken facing east.



Photograph 11. 3 Kings working on chicken fence replacement at [REDACTED] Baxter. Photo taken facing north.



Photograph 12. Installing new concrete pad at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 13. PlayAway fiber chips installed along north side of [REDACTED] Baxter. Photo taken facing east.



Photograph 14. Replacement concrete pad curing at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 15. Sprinkler head testing in backyard of [REDACTED] Baxter. Photo taken facing north.



Photograph 16. Nonwoven construction fabric and landscape staples used for weed barrier at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 17. Restoration progress at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 18. Restoration progress at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 19. Form pulled from concrete pad repair at [REDACTED] Baxter. Photo taken facing northwest.



DRAFT



OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #27 Date: June 5, 2024

TO: Don Hanson / DEQ COPIES: Rick Ernst / GSI Water Solutions
 Sarah Eagle / DEQ
FROM: Chris Martin / GSI Water Solutions
 Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Cloudy/Drizzle - 50s
 PM: Sunny - 70s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
 3 Kings (Adrianna, Shane, Steve, 4 crew)
 Mid-State Industrial Service
 Rexius
 Minister & Glaeser Surveying, Inc.

Site Visitors

Organization
and Name: • No site visitors today.

Safety

Topics
covered: • Appropriate PPE
 • Site security
 • Traffic control
 • ESCP requirements
 • Daily workplan

Activities Performed

0630 - GSI staff (Julian) onsite.

0640 - GSI knocked/rang doorbell to try talk to resident about moving items from garage back to replacement shed - no answer.

0655 - 0710 - GSI able to contact [REDACTED] Baxter resident (Tahnee). GSI and resident discussed returning items to shed. Resident indicated that a wooden table would not be able to fit into the new shed due to the door being smaller. GSI asked resident if she would like to leave the table in the garage or have it moved somewhere else in the backyard - resident was unsure so table was left in the garage due to lack of time for additional discussion. After GSI received approval from resident, 3 Kings crew was able to return the majority of the remaining items back to the shed. In addition to the wooden table, some folding chairs stored in the previous shed were left in the garage.

0710 - Resident offsite to go to work and closed garage.

0715 - 3 Kings indicated they still had concerns about the planned hydroseed application at [REDACTED] Baxter due to significant amounts of planting and items placed in yard by residents over the last couple weeks. GSI indicated that DEQ/GSI had discussed the seeding with residents and that they were aware that some areas may not be able to effectively be seeded due to the items placed in the yard. 3 Kings requested GSI ask residents to move some items including hammocks, chairs, and a cat enclosure prior to seed application to avoid spraying these. According to 3 Kings, Rexius had indicated that the seed/tackifier mixture should not be a concern for young plants recently placed in the ground throughout the property.

0730 - 3 Kings asked if they were approved to place PlayAway chips around greenhouse at [REDACTED] Baxter (area scoped for hydroseed). GSI indicated that 3 Kings should only do this if using excess material and the work would not result in a change order. 3 Kings crew indicated they were expecting a change for this so GSI asked them to leave area as is and proceed with hydroseed application according to project plans. GSI said that if 3 Kings had excess material they wanted to leave here for the resident, that would be fine if it did not result in a change in scope/costs.

3 Kings inquired about BMP requirements throughout site due to demobilization activities occurring and 3 Kings intending to leave with haul trailer at EOD. 3 Kings asked if they could pull BMPs early. GSI indicated that 3 Kings could remove BMPs that were no longer serving a purpose (waddle along private drive, waddle along mulch areas) but that other BMPs should remain in place until sod is installed, and erosion concerns are eliminated. GSI indicated that if sod installation is completed on Friday, any remaining BMPs could likely be removed from the site then.

0815 - Rexius delivered one load of topsoil to site - likely last load of imported soil.

0900 - Minister & Glaeser onsite to perform final surveys of DUs following surface restoration. Some areas of site to be final surveyed prior to final placement of sod. Minister & Glaeser asked about required survey deliverables for the project as 3 Kings had apparently not provided any direction on this. GSI indicated that per contract documents, GSI was expecting survey data to be provided as well as survey maps in PDF format including pre-con topographic, excavation extents, and as-built existing conditions upon backfilling for each DU. Minister & Glaeser asked about desired map format for extents/final surveys (measured elevations or maps depicting relative depths to pre-con) and GSI suggested providing maps that showed relative elevations for each DU. GSI to create other figures based on survey data if needed.

3 Kings indicated they likely had a plumber scheduled for Friday 6/7 but could not provide additional details on a timeframe yet.

1000 - Minister & Glaeser checking backfill grades throughout [REDACTED] Baxter. 3 Kings continuing to reinstall chicken run fence at [REDACTED] Baxter.

1015 - Minister & Glaeser indicated that grades throughout the backyard of [REDACTED] generally looked good and were higher overall compared to previous surface elevations. GSI asked 3 Kings/Minister & Glaeser if they were including surveying the lateral extents of areas slated for surfacing such as sod or gravel as payment for some of these line items was supposed to be based on as-built surveys. Minister & Glaeser indicated they were recording the surface material during final surveys and this could be used to measure extents, GSI indicated to 3 Kings that some field truthing of these area would also likely be performed during final walk throughs of the DUs.

1056 - SiteOne landscape supply delivering additional construction fabric to site.

1134 - DEQ made GSI aware that additional plumbing issues were apparently being observed at [REDACTED] Baxter. According to the residents, a kitchen faucet that had previously been replaced due to clogging after water line replacement at the property was again non-functional. GSI relayed this information to 3 Kings so that they could potentially include trouble shooting this fixture along with plumbing work being scheduled for [REDACTED] Baxter.

1200 - 3 Kings completed chicken run fence replacement at [REDACTED] Baxter. Majority of 3 Kings crew began taking lunch break. Minister & Glaeser resurveying some portions of [REDACTED] Baxter after recent spot backfilling performed by 3 Kings.

1245 - Minister & Glaeser finished with final surveys of DUs and offsite.

1305 – 3 Kings began installing landscape edging along gravel/soil interface at [REDACTED] Baxter. Other 3 Kings crew beginning to reinstall fence at [REDACTED] Baxter property back yards.

DEQ informed GSI that kitchen sink fixture at [REDACTED] Baxter was apparently completely clogged. DEQ indicated that [REDACTED] residents had spoken with plumber who said that water pressure should have been restored slowly after water line replacement to prevent material from lines getting knocked loose.

1350 – 3 Kings placed excess PlayAway chips from [REDACTED] Baxter into chicken run at [REDACTED] Baxter for resident to use around greenhouse if desired. GSI to discuss with resident and confirm this is acceptable.

3 Kings informed GSI that they had confirmed a plumber was available on Friday 6/7 to inspect plumbing issues at [REDACTED] and [REDACTED] Baxter. GSI indicated 3 Kings needed to provide a timeframe for the visit so that GSI/DEQ could coordinate with residents and confirm they were available and could provide access to the homes. 3 Kings to get additional details regarding plumbing visit timing.

1420 – 3 Kings spot backfilling gravel in front yard of [REDACTED] Baxter.

1445 – 3 Kings crew installing landscape edging along gravel/soil interface in front yard at [REDACTED] Baxter.

1510 – 3 Kings prepped new post hole for fence section reinstall along the south side of [REDACTED] Baxter. 3 Kings delivering additional 4'X4' posts for fence repairs at [REDACTED] Baxter. 3 Kings crew packing up miscellaneous site items into trailer and demobbing mini excavator for removal from site.

1540 – Street sweeper onsite – cleaning property driveways in addition to sweeping activities along roadways. [REDACTED] Baxter residents arrived at home – GSI discussed plumbing work slated for Friday and residents indicated they would prefer an 8 AM visit so they could take time off work to be at home on Friday morning and provide the plumber access to the residence.

3 Kings offsite.

1600 - GSI discussed scheduled plumber visit with residents at [REDACTED] Baxter who indicated they would be home around 12 PM on Friday to provide access to the residence.

1620 – Security onsite. GSI offsite.

Truck Count:

1 load of topsoil from Rexius imported to site.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- Additional water issue discovered at [REDACTED] Baxter after water line reconnection and previous fixture replacement.
- Potential additional ACM material disposal documentation.

Upcoming Planned Activities

- DU-09: Sod placement/planting.
- DU-10: Hydroseed application, planting.
- DU-11: Loose ends/punch list items. Planting/sod.
- DU-15: Loose ends/punch list items. Resolve plumbing issues. Planting.
- SO-07: Loose ends/punch list items. Hydroseed application, sod, planting.

RA Day 27 Photographs

Photograph 1. 3 Kings crew returning [REDACTED] Baxter items from garage to shed. Photo taken facing northeast.



Photograph 2. Majority of [REDACTED] Baxter items returned to new shed. Photo taken facing north.



Photograph 3. Majority of [REDACTED] Baxter items returned to new shed. Photo taken facing north.



Photograph 4. [REDACTED] Baxter items under pergola that may need moving prior to hydroseed application. Photo taken facing northwest.



Photograph 5. Sprinkler heads installed at [REDACTED] Baxter. Photo taken facing west.



Photograph 6. Restoration progress and grade checks at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 7. Weed barrier and mulch placing at [REDACTED] Baxter. Photo taken facing south.



Photograph 8. Surface restoration progress at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 9. Chicken run fence replacing progress at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 10. Surveyor checking grades/surfacing extents at [REDACTED] Baxter. Photo taken facing west.



Photograph 11. Topsoil placing in ROW to the south of [REDACTED] Baxter. Photo taken facing west.



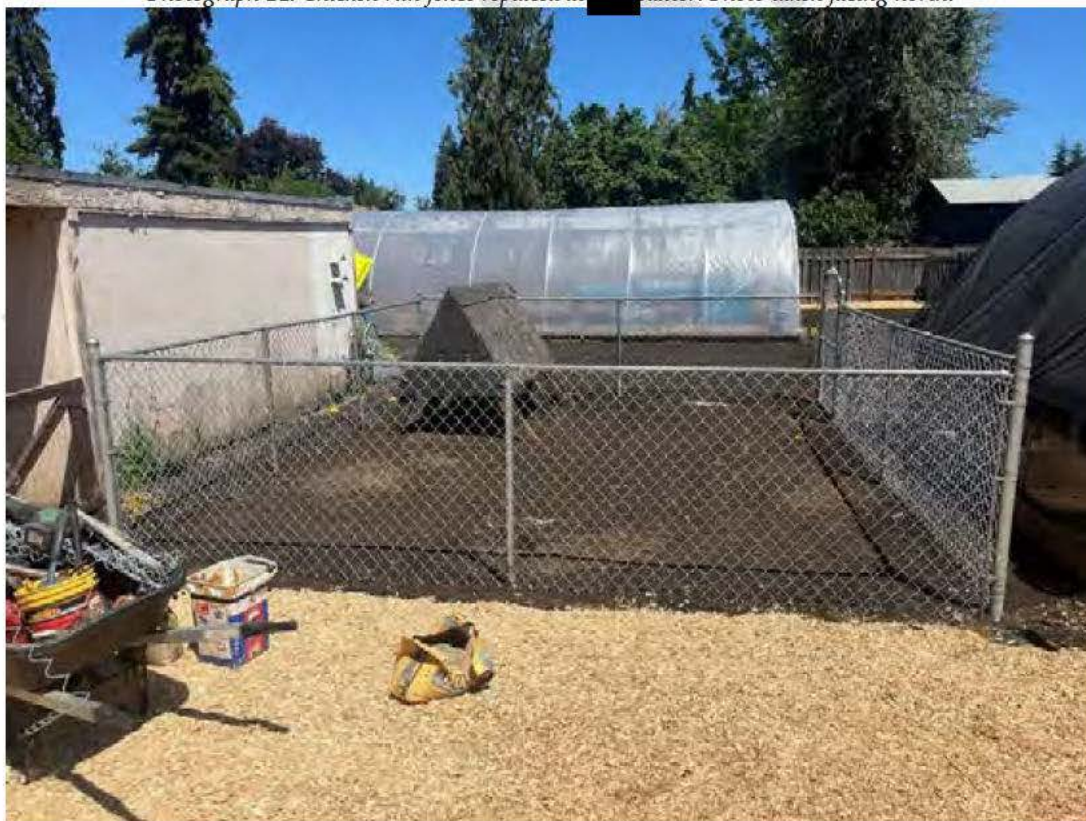
Photograph 12. Surveyor checking backfill grades in ROW along [REDACTED] Baxter. Photo taken facing west.



Photograph 13. Chicken run fence replaced at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 14. Chicken run fence replaced at [REDACTED] Baxter. Photo taken facing north.



Photograph 15. Chicken run fence replaced at [REDACTED] Baxter. Photo taken facing west.



Photograph 16. Restoration progress at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 17. 3 Kings installing landscape edging at [REDACTED] Baxter. Photo taken facing west.



Photograph 18. Installing landscape edging at [REDACTED] Baxter. Photo taken facing east.



Photograph 19. Excess PlayAway chips placed at [REDACTED] Baxter for resident. Photo taken facing northwest.



Photograph 20. [REDACTED] Baxteer fence sections partially reinstalled. Photo taken facing north.



Photograph 21. Topsoil placement completed in backyard of [REDACTED] Baxter. Photo taken facing south.



Photograph 22. Landscape edging installed along backyard of [REDACTED] Baxter. Photo taken facing west.



Photograph 23. Restoration progress at [REDACTED] Baxter. Photo taken facing west.



Photograph 24. Street sweeper cleaning cross street connecting Baxter and Alva Park. Photo taken facing east.





OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #28 Date: June 6, 2024

TO: Don Hanson / DEQ COPIES: Rick Ernst / GSI Water Solutions
 Sarah Eagle / DEQ
FROM: Chris Martin / GSI Water Solutions
 Julian Peter / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Sunny - 50s
 PM: Sunny - 70s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter)
 3 Kings (Adrianna, Steve, 2 crew)
 Mid-State Industrial Service
 Rexius

Site Visitors

Organization
and Name: • Sarah Eagle - DEQ - Oversight

Safety

Topics
covered: • Appropriate PPE
 • Site security
 • Traffic control
 • ESCP requirements
 • Daily workplan

Activities Performed

0658 - GSI staff (Julian) onsite. 3 Kings (4 crew total today) onsite. Rexius arriving onsite with sod/plant delivery for properties. GSI asked 3 Kings to confirm that no rebar would be left sticking out of the ground from around HVAC unit pad at [REDACTED] Baxter - 3 Kings indicated they had hammered pieces of rebar farther into topsoil to ensure it would be covered up by sod placement.

0715 - 3 Kings crew continued landscape edging installation along gravel/topsoil interface in front yard of [REDACTED] Baxter. 3 Kings and GSI discussed sod installation and resident-requested bare soil strip along front porch at [REDACTED] Baxter. GSI indicated that approximately 2 foot (width of sod roll) strip should be left along the front porch area based on discussions with resident. 3 Kings indicated that mapped area of bare soil had not corresponded to exactly 2' X 17' and this may cause issue with billing for sod line item.

0730 - Rexius inquired if sod should be installed in small area of bare soil near western side yard gate at [REDACTED] Baxter. GSI observed that the gate appeared to have sufficient clearance for the sod installation and indicated to Rexius/3 Kings that sod should be placed here in accordance with project plans.

0745 – GSI/3 Kings walked through [REDACTED] and [REDACTED] Baxter properties and marked anticipated planting locations based on site maps and/or resident input. Some mapped locations did not exactly correspond to resident requested planting spots and GSI indicated some interpretation would be required and that input from Rexius regarding appropriate locations and tree or plant spacing (distance from fences etc.) was desired. 3 Kings provided Rexius with updated plant list including varieties requested by [REDACTED] Baxter. Rexius indicated they had not brought blueberry varieties for [REDACTED] Baxter due to confusion regarding if these had been approved by DEQ in Excel sheet previously provided. Rexius to acquire blueberries today for planting in addition to other plants.

0800 – Rexius provided recommendation on spacing for apple trees at [REDACTED] Baxter – Rexius recommended placing apple trees with approximately 10 feet lateral distance in between to provide sufficient space. Trees were also placed approximately 5 feet off of the northern fence line to allow trees to fill in with ample space.

0830 – Rexius/3 Kings unloading plant varieties for properties in private drive along [REDACTED] Baxter. 3 Kings confirming correct varieties imported to site and staging them for planting at corresponding properties.

0905 – Rexius planted plum tree in front yard of [REDACTED] Baxter in location marked by GSI/3 Kings.

0910 – DEQ onsite. DEQ observed ongoing sod placement at [REDACTED] Baxter and planned locations for apple trees. DEQ sent proposed planting locations of these trees to [REDACTED] residents who indicated they were acceptable.

Residents at [REDACTED] Baxter placed imported plants in desired locations for Rexius to reference when planting. DEQ/Rexius discussed recommendations regarding sprinkler systems at [REDACTED] Baxter in order for DEQ to purchase appropriate supplies and allow residents at these properties perform lawn care after landscaping is completed.

0930 – Rexius crew raking front yard of [REDACTED] Baxter topsoil to prep area for sod installation. Remaining crew working on sod install at [REDACTED] Baxter.

0945 – DEQ talked to residents at [REDACTED] Baxter to confirm they could visit site to discuss desired planting locations with Rexius.

0950 – DEQ offsite.

1000 – [REDACTED] Baxter resident (Josh) onsite. Resident offered input on desired layout of plants in front yard – two currants placed in desired locations near mailbox, 5 rose varieties to be evenly spaced a couple feet within future fence line running along ROW from [REDACTED] property line to approximate location of water meter. Resident and Rexius discussed desired tree locations in the backyard of the property and Rexius recommendations on plant spacing and/or spacing off of fence line to allow sufficient room for the trees to fill in – Rexius recommended installing trees a minimum of 6-feet off of fence line with approximately 10 – 12 feet between trees. Resident indicated they would like cherry trees to the north, peach/plumb tree to the south end of tree line in the backyard. Resident marked the desired planting location of the fig tree and marked a line that all trees should stay south of due to plans for a chicken run in this area.

1015 – [REDACTED] Baxter resident confirmed that someone from the household would be available on Friday morning to meet with the plumber. Resident indicated that plumbing issues had continued to worsen at several fixtures within the residence, likely due to continued debris buildup after water line replacement.

[REDACTED] residents moving some items from front yard to accommodate anticipated hydroseed application on Friday.

1130 – GSI observed that Rexius had planted the Black Tupelo tree in front yard of [REDACTED] Baxter. 3 Kings indicated it was unlikely that replacing this tree with a cherry would be possible at this point. Rexius expressed concern about limited water pressure at the properties likely making it difficult to run DEQ-purchased sprinklers all at once – may need to run portions of sprinkler systems individually.

1140 – GSI observed that some pier block footings, apparently left over from shed replacement at [REDACTED] Baxter, had been left in the backyard. 3 Kings confirmed that these were left by them and that they would remove these prior to wrapping up site activities. Rexius continued sod installation at [REDACTED] Baxter.

1148 - DEQ (Sarah) back onsite. DEQ delivering watering supplies including hoses, various sprinkler heads based on yard configuration, and timers for residents to use for sod/hydroseed maintenance.

1215 - DEQ/GSI spoke with resident at [REDACTED] Baxter via phone - resident confirmed that the PlayAway chips 3 Kings had placed in chicken run were in an acceptable location and that he could spread this material around the greenhouse areas himself. Resident indicated that he would like to plant imported trees/blueberries himself if this did not cause any issues with Rexius's warranty. DEQ/GSI to confirm that Rexius is ok with resident planting himself. Resident confirmed that he had purchased 30 bags of replacement potting soil for the raised beds in his greenhouse - resident to provide receipt to DEQ for possible reimbursement.

1225 - DEQ offsite. 3 Kings demobbing skid steer from site.

1315 - Rexius continuing sod installation along ROW to the south of [REDACTED] Baxter, starting sod install in backyard of [REDACTED]

1435 - GSI observed section of edging installed along gravel/topsoil interface at [REDACTED] Baxter that was no longer set correctly and sticking out above finish surfacing grades. 3 Kings was aware of this and intending to reset the edging. GSI asked 3 Kings to confirm that double-wide gate at [REDACTED] Baxter was functioning correctly - 3 Kings operator indicated he had checked the gate functionality and that it was working.

1500 - Rexius completed landscaping activities for the day - offsite. 3 Kings crew hand placing PlayAway chips along fence lines at [REDACTED] and [REDACTED] Baxter. GSI and 3 Kings discussed some remaining punch list items for RA completion. 3 Kings indicated they had another plumbing contractor scheduled to perform the property sewer scopes tomorrow. 3 Kings also indicated they were aware that construction signage would need to be returned after wrapping up site activities. 3 Kings intending to perform some additional cleaning along private drive and ROWs after removing BMPs and prior to wet-vac sweeper performing last site visit.

1535 - GSI/3Kings offsite.

Outstanding Issues or Concerns

- Lingering plumbing issues at [REDACTED] Baxter after water line reconnection.
- Additional water issue discovered at [REDACTED] Baxter after water line reconnection and previous fixture replacement.

Upcoming Planned Activities

- DU-09: Plant cherry blossom.
- DU-10: Hydroseed application, planting.
- DU-11: Planting/ sod.
- DU-15: Resolve plumbing issues. Planting.
- SO-07: Hydroseed application, planting.

RA Day 28 Photographs

Photograph 1. Rexius delivering sod to site. Photo taken facing southeast.



Photograph 2. Various trees and shrubs for planting at properties. Photo taken facing southwest.



Photograph 3. Rexius installing sod at [REDACTED] Baxter. Photo taken facing north.



Photograph 4. [REDACTED] Baxter restoration progress. Photo taken facing northwest.



Photograph 5. Landscape edging installation completed in front yard of [REDACTED] Baxter. Photo taken facing east.



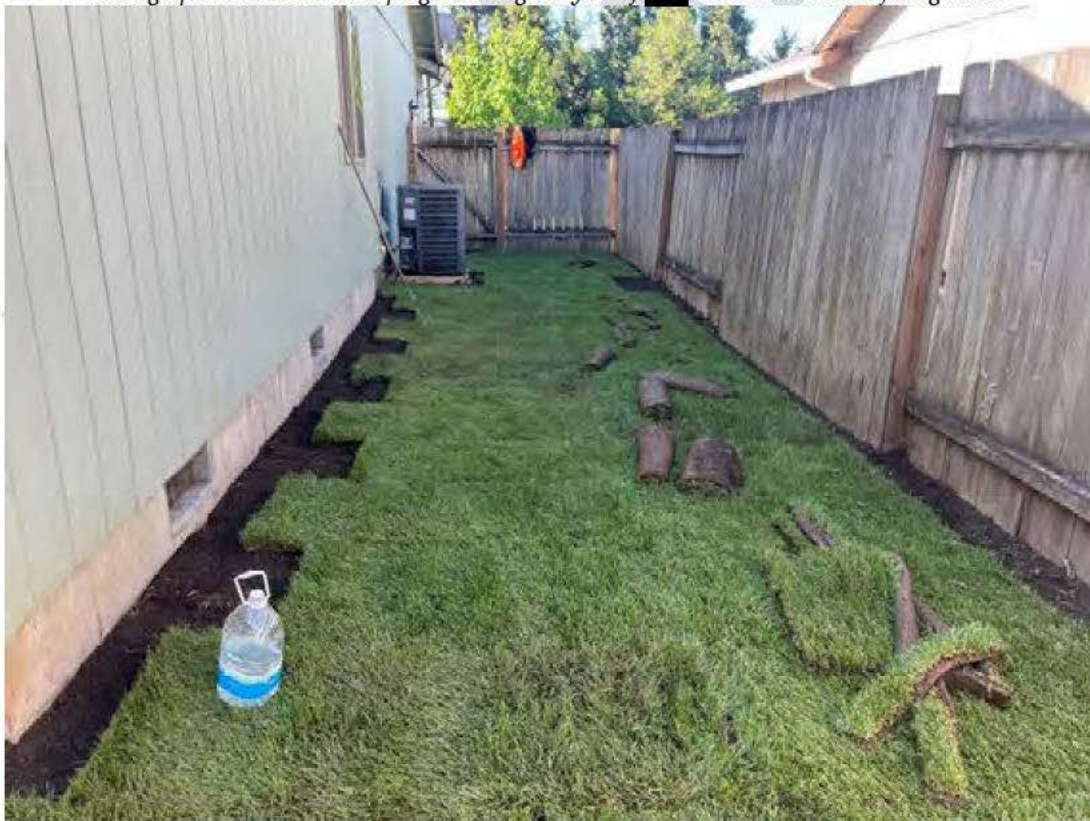
Photograph 6. Resident selected plant locations for Rexius. Photo taken facing northwest.



Photograph 7. Bare soil planting area left along front porch of [REDACTED] Baxter. Photo taken facing west.



Photograph 8. Sod installation progress along sideyard of [REDACTED] Baxter. Photo taken facing south.



Photograph 9. Plum tree planted at [REDACTED] Baxter. Photo taken facing north.



Photograph 10. Fence reinstallation along south side of [REDACTED] Baxter. Photo taken facing east.



Photograph 11. Fence reinstallation progress at [REDACTED] Baxter. Photo taken facing north.



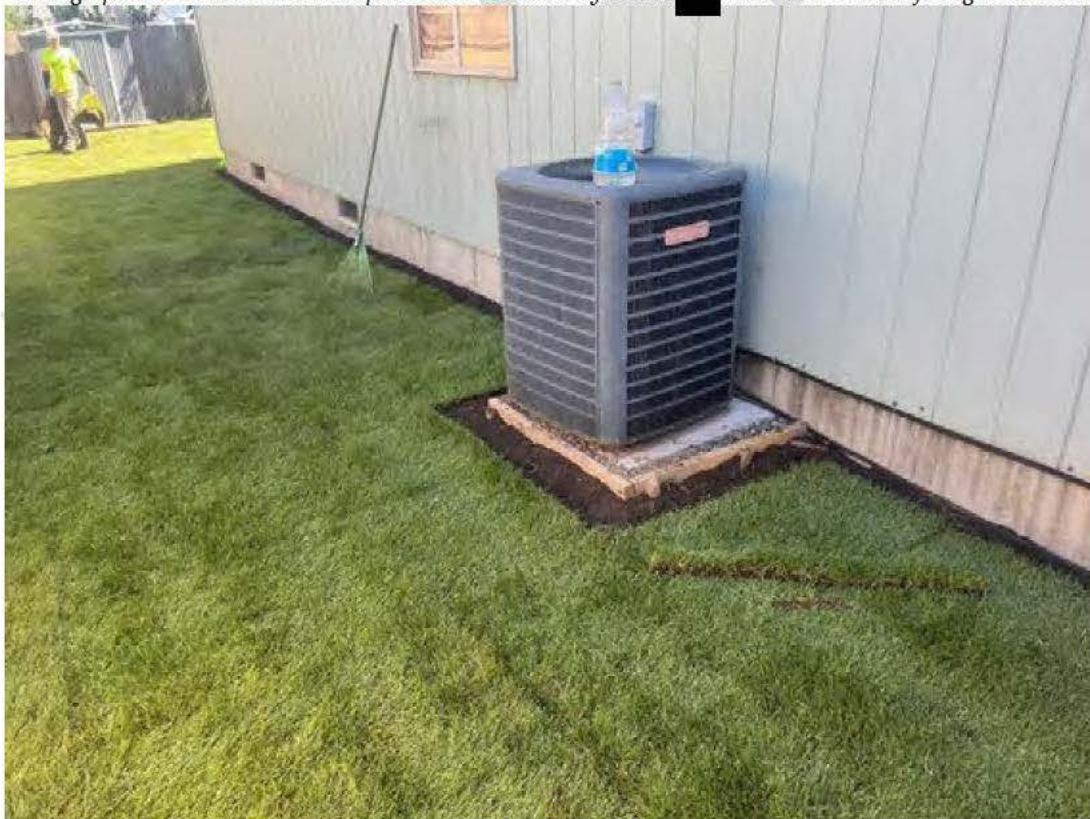
Photograph 12. Toposil placed around back porch at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 13. Sod installed in front of sideyard gate at [REDACTED] Baxter. Photo taken facing north.



Photograph 14. Sod installation completed around HVAC system at [REDACTED] Baxter. Photo taken facing northwest.



Photograph 15. Sod installation at [REDACTED] Baxter. Photo taken facing east.



Photograph 16. Apple trees planted at [REDACTED] Baxter. Photo taken facing west.



Photograph 17. Bare soil patch and staged plants at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 18. Surface restoration progress at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 19. Replacement potting soil for greenhouse raised beds purchased by [REDACTED] Resident.



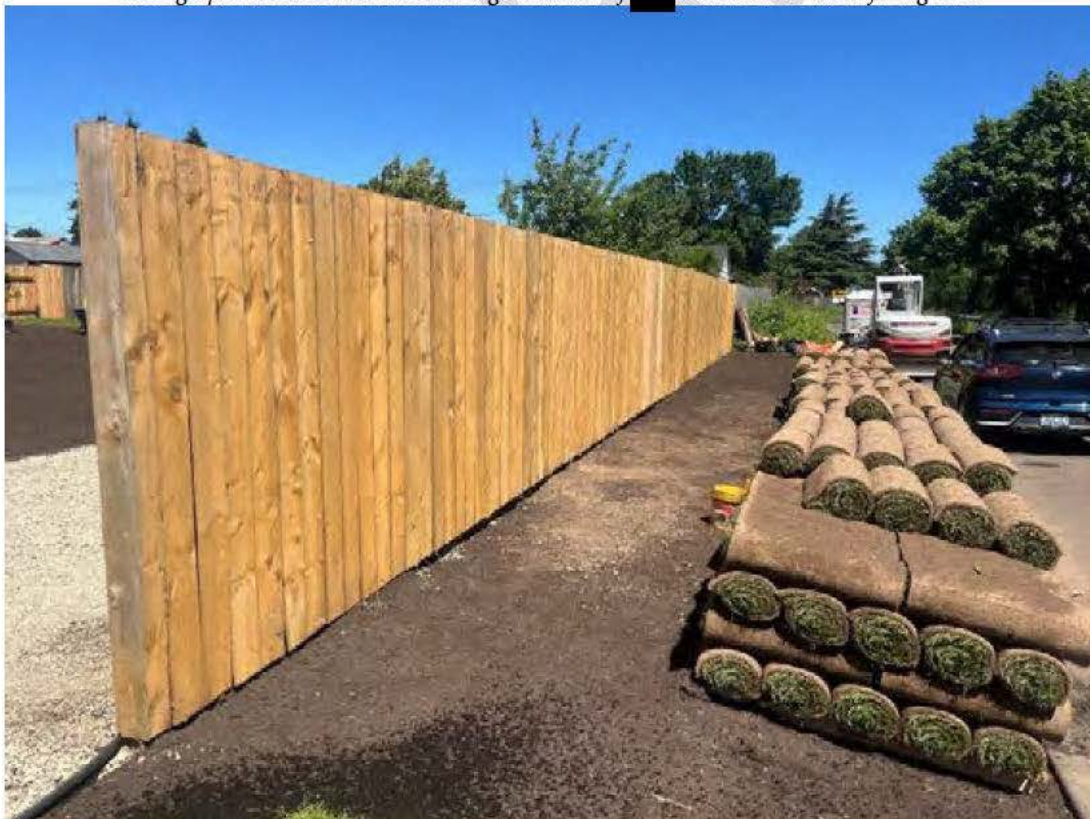
Photograph 20. Sod installtion along ROW to the south of [REDACTED] Baxter. Photo taken facing east.



Photograph 21. Sod installed around cleanout at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 22. Fence restoration along south side of [REDACTED] Baxter. Photo taken facing east.



Photograph 23. Sod and landscape edging installed along Baxter. Photo taken facing west.



Photograph 24. Black Tupelo tree planted in front yard of Baxter. Photo taken facing southeast.





OFFSITE REMOVAL ACTION - DAILY FIELD REPORT
JH BAXTER OFFSITE REMEDIAL ACTION
EUGENE, OREGON

Report: #29 Date: June 7, 2024

TO: Don Hanson / DEQ
Sarah Eagle / DEQ
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions
COPIES: Rick Ernst / GSI Water Solutions

This daily field report summarizes the completed field activities and notable issues/comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties as part of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: AM: Sunny - 50s
PM: Sunny - 80s

Project Staffing

Contractors: GSI Water Solutions (Julian Peter, Chris Martin)
3 Kings (Adrianna, Steve, 1 crew)
Mid-State Industrial Service
Rexius
Pacific Plumbing and Rooter (PPR)
Local Plumbing Co.

Site Visitors

Organization and Name:

- Sarah Eagle - DEQ - Oversight
- Don Hanson - DEQ - Oversight
- Scott Mathews - Owner - [REDACTED] Baxter

Safety

Topics covered:

- Appropriate PPE
- Site security
- Traffic control
- ESCP requirements
- Daily workplan

Activities Performed

0650 - GSI staff (Julian) onsite. 3 Kings (Adrianna, Steve, 1 crew) arriving onsite. 3 Kings started raking out mulch at [REDACTED] Baxter to clear out planting area in accordance with project plans. 3 Kings also looking at double wide gate on the south side of [REDACTED] Baxter to determine if any improvements to how the gate was set could be performed. 3 Kings crew asked GSI about required width and layout of bare soil for planting area. GSI pointed 3 Kings to scope memo for this property which detailed that a 2-ft wide strip of bare soil should be installed along the western and northern sides of the residence in the front yard.

0735 - Rexius crew members arriving onsite. Setting up to continue sod installations, planting, and hydroseeding.

0745 - Plumbing contractor (Local Plumbing Co.) onsite to troubleshoot plumbing issues at [REDACTED] and [REDACTED] Baxter.

0750 - 3 Kings haul truck arrived onsite to haul off remaining BMPs, leftover construction waste, and miscellaneous refuse from site (haul truck driver may count towards 3 Kings project crew). 3 Kings indicated they would try to slightly realign the corner post for the south half of the double wide gate at [REDACTED] Baxter to improve alignment/functionality of the doors. 3 Kings using hand tools to regrade gravel to better match landscape edging installed in this area.

Rexius crew resumed sod installation in backyard of [REDACTED] Baxter. Local Plumbing speaking with resident at [REDACTED] Baxter about plumbing issues being observed at the property. According to the resident, the toilet was experiencing issues both with filling too slowly and with cycling more often than it should, and 'sediment' (likely rust and/or corrosion in lines) was continuing to build up in the kitchen sink fixture causing clogging issues.

0800 - DEQ (Don), Chris M. (GSI) onsite. Local Plumbing continuing to walk through plumbing concerns with resident at [REDACTED] Baxter and perform diagnosis. Rexius consulting with residents at [REDACTED] Baxter to help guide hydroseed application in the yard and identify any areas the residents would like left bare.

0815 - 3 Kings began removing site BMPs and miscellaneous remaining construction related refuse into haul truck for disposal. 3 Kings crew reinstalling edging along [REDACTED] Baxter to set flush with finish grades.

0825 - Resident at [REDACTED] Baxter provided initial plumbing assessment based on her understanding of what the plumber had found - resident confirmed that debris from old lines being knocked loose during water line repairs continuing to be an issue within the residence. The resident also indicated that the issues appeared to be exacerbated by the aerator at the sink fixture and that no issues were observed when running the sink without the aerator installed.

0900 - 3 Kings began removing BMPs and performing some additional cleaning along private driveway in front of [REDACTED] Baxter.

0945 - DEQ (Sarah) onsite. 3 Kings crew began power washing resident driveways. 3 Kings/GSI/DEQ discussed placing wood chips around the base of trees that Rexius was installing - 3 Kings confirmed that placing this limited volume of wood chips would not constitute a change order. 3 Kings confirmed that the cherry blossom tree for [REDACTED] Baxter and pear tree for [REDACTED] Baxter were being delivered today.

1005 - 3 Kings washing driveway at [REDACTED] Baxter and watering sod installed in the front yard of this property.

1045 - Resident at [REDACTED] Baxter informed DEQ/GSI that the plumber had apparently run into some issues while troubleshooting the plumbing within the residence. DEQ discussed with 3 Kings who indicated they were discussing the potential issue internally to determine best path forward.

1100 - GSI/DEQ observed double-wide reinstall at [REDACTED] Baxter. Based on prior photos, the south side of the double-wide gate appeared to be misaligned from previous conditions. 3 Kings indicated they were aware of this and still planning on resetting the gate. GSI observed that 3 Kings had leveled off fence boards at [REDACTED] Baxter as requested.

1125 - Street sweeper onsite performing final wet-vac cleaning of roadways, driveways, and private drive. 3 Kings completed double-wide gate reset at [REDACTED] Baxter.

1145 - GSI/DEQ received updated from resident at [REDACTED] Baxter regarding plumbing issues - according to resident, the toilet was now completely non-functional and Local Plumbing was working to remedy this issue. Rexius planting at [REDACTED] Baxter.

1150 - Chris M. offsite.

1200 - DEQ offsite. Mid-State industrial service using backpack blower to help clean up additional track out along side road to the south of [REDACTED] Baxter. 3 Kings pulling construction signage from site.

1205 - Rexius asked about preference on sod installation by north side yard gate at [REDACTED] Baxter. Rexius was concerned that sod filling in may interfere with the ability to open and close the gate. GSI asked Rexius to stick to project plans and install sod here as specified, but asked if they could grade out some topsoil to drop

the sod level by about a half inch and provide some more clearance by the gate. Rexius confirmed they could do this.

GSI confirmed with [REDACTED] Baxter resident that the locations where fruit trees were placed in the backyard of the property were where they would like the plants installed. Resident indicated that when the pear arrives onsite it should be planted in the southeast corner of the property.

PPR plumbing arrived onsite to scope sewer lines at properties. GSI requested that PPR take extra care to ensure complete videos of the sewer lines are captured for all the properties.

3 Kings demobbing excavator.

1220 - Local Plumbing back onsite after going to store and continuing to troubleshoot plumbing issues at [REDACTED] Baxter.

1305 - 1X 3 Kings crew offsite. Rexius crew planting in backyards of [REDACTED] and [REDACTED] Baxter. Rexius prepping equipment for hydroseed application at [REDACTED] Baxter.

1330 - Local Plumbing completed troubleshooting/repairs at [REDACTED] Baxter. 3 Kings indicated that all issues had been resolved. Local Plumbing went to [REDACTED] Baxter to begin diagnosing and troubleshooting plumbing concerns at this property next.

1335 - PPR plumbing informed GSI that all sewer scope videos had looked good and that no damage due to RA activities was observed. PPR indicated videos would be provided attached to invoices so that issues with downloading them from a thumb drive would not occur.

1400 - GSI helped 3 Kings/Rexius determine planting location of cherry blossom tree at [REDACTED] Baxter. Honey Bucket onsite demobbing porta potty.

1510 - [REDACTED] Baxter resident indicated they were missing a gardening hose from their back yard. GSI determined that Rexius had mistakenly taken this to water sod at [REDACTED] Baxter and returned the hose.

1538 - Scott Mathews ([REDACTED] Baxter property owner) onsite. GSI/Scott walked through restoration work at the property. Scott expressed concern about care instructions for sod and his ability to perform watering - GSI indicated he should be receiving care instructions for the sod and pointed him to DEQ for additional questions. GSI/Scott observed that water meter at [REDACTED] Baxter had been covered by the sod install - GSI asked Rexius to uncover the meter. Rexius began hydroseed application at [REDACTED] Baxter.

1545 - DEQ (Sarah) back onsite. DEQ/Rexius discussed restoration and landscape maintenance with Scott M.

1612 - GSI observed that Rexius had uncovered water meter housing at [REDACTED] Baxter.

1640 - Rexius completed hydroseed application at [REDACTED] Baxter. Remobilizing to [REDACTED] Baxter to perform hydroseed application at this property. According to 3 Kings, Local Plumbing was able to complete repairs at [REDACTED] Baxter and all plumbing issues were resolved - Local Plumbing offsite.

1700 - DEQ performing watering with sprinklers at [REDACTED] Baxter. Rexius prepping hydroseed mix.

1730 - Rexius started hydroseed application at [REDACTED] Baxter. Hydroseed applied in resident requested areas with some limited portions of the yard left unseeded due to recent planting and/or other landscaping installed in these areas.

1800 - Rexius completed hydroseed application at [REDACTED] Baxter. GSI/DEQ/3 Kings/Rexius offsite.

Truck Count - One load of miscellaneous refuse and BMP waste to landfill.

1800 - GSI/3Kings offsite.

Outstanding Issues or Concerns

NA

Upcoming Planned Activities

Site-wide final walkthrough scheduled for 6/13.

RA Day 29 Photographs

Photograph 1. Landscape edging reset at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 2. Cleaning private drive after removing BMPs. Photo taken facing west.



Photograph 3. 3 Kings cleaning property driveways. Photo taken facing southeast.



Photograph 4. Planting area installed along [REDACTED] Baxter residence. Photo taken facing south.



Photograph 5. Wood chips installed around Tupelo tree per landscaper recommendation. Photo taken facing southwest.



Photograph 6. Wood chips installed around plum tree per landscaper recommendation. Photo taken facing northwest.



Photograph 7. Wood chips installed around apple trees. Photo taken facing northeast.



Photograph 8. Plants installed at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 9. Bare soil patch left around mailboxes at [REDACTED] per landscaper requirements. Photo taken facing northwest.



Photograph 10. [REDACTED] Baxter driveway swept up. Photo taken facing southeast.



Photograph 11. Finished surface restoration at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 12. Double-wide gate at [REDACTED] Baxter reset. Photo taken facing east.



Photograph 13. Street sweeper performing final cleaning of roadways. Photo taken facing east.



Photograph 14. Fence reinstall and sod installation along ROW south of [REDACTED] Baxter. Photo taken facing north.



Photograph 15. Rexius planting rose bushes in front yard of [REDACTED] Baxter. Photo taken facing south.



Photograph 16. Fruit trees planted in resident-requested locations at [REDACTED] Baxter. Photo taken facing east.



Photograph 17. Private drive along [REDACTED] and [REDACTED] Baxter after street sweeping. Photo taken facing east.



Photograph 18. Planting area at [REDACTED] Baxter widened per project plans. Photo taken facing south.



Photograph 19. Blueberries stored in backyard of [REDACTED] Baxter for resident to plant. Photo taken facing west.



Photograph 20. Surface restoration completed at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 21. Surface restoration completed at [REDACTED] Baxter. Photo taken facing east.



Photograph 22. Surface restoration completed at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 23. Cherry blossom installed and surface restoration completed at [REDACTED] Baxter. Photo taken facing northeast.



Photograph 24. Hydrangeas installed at [REDACTED] Baxter. Photo taken facing west.



Photograph 25. Hydroseed application at [REDACTED] Baxter. Photo taken facing southeast.



Photograph 26. Hydroseed application at [REDACTED] Baxter. Photo taken facing east.



Photograph 27. Meter uncovered from sod at [REDACTED] Baxter. Photo taken facing east.



Photograph 28. Surface restoration completed at [REDACTED] Baxter. Photo taken facing southwest.



Photograph 29. Sod installation completed along ROW south of [REDACTED] Baxter. Photo taken facing east.



Photograph 30. Hydroseed application around pergola at Baxter. Photo taken facing northwest.



Photograph 31. Hydroseed application in backyard of Baxter. Photo taken facing north.



Photograph 32. Hydroseed application in front yard of [REDACTED] Baxter. Photo taken facing south.





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EUGENE, OREGON

Report: #30 Date: June 13, 2024

TO: Don Hanson / DEQ
Sarah Eagle / DEQ
FROM: Chris Martin / GSI Water Solutions
Julian Peter / GSI Water Solutions
COPIES: Rick Ernst / GSI Water Solutions

This daily field report summarizes the final property walkthrough notes and comments for the DU-09, DU-10, DU-11, DU-15, and SO-07 offsite properties following substantial completion of the offsite RA at the JH Baxter & Co. (Baxter) Offsite Remedial Action Site in Eugene, Oregon.

Weather

Conditions: Sunny - 60s

Walkthrough Attendees

- GSI Water Solutions (Julian Peter, Chris Martin)
- 3 Kings (Adrianna, Brett)
- Sarah Eagle - DEQ
- Don Hanson - DEQ

Walkthrough Notes

0950 - GSI staff (Julian, Chris) onsite. 3 Kings (Brett, Adrianna) onsite.

1000 - DEQ (Sarah, Don) arrived onsite. DEQ informed GSI/3 Kings that they had not heard from [REDACTED] Baxter property owners regarding additional plumbing issues since being addressed on 6/7/2024. 3 Kings informed GSI that their subcontracted land surveyor was finishing up as-built drawings and would provide them later in the week.

1010 - GSI, DEQ, and 3 Kings performed final property walkthroughs at each of the five DUs completed during Phase II RA work. Properties were reviewed with respect to RA workplan/contract document requirements. DUs generally looked in good order and completed in accordance with project requirements. GSI observed that the [REDACTED] Baxter resident had planted provided plants in desired locations (as requested) as well as spread out excess mulch left behind by 3 Kings. GSI recorded the approximate locations of these plants for summary reporting purposes. One small section of landscape edging near the southeast corner of [REDACTED] Baxter was observed to be lifting, appears to be disturbed by the tenants' dogs.

1045 - GSI, DEQ, and 3 Kings observed ROWs within project vicinity. ROWs appeared in good order and GSI/DEQ agreed no additional cleaning of streets would be required. GSI/3 Kings discussed using as-built surveys for quantity billing purposes - if survey does not fully capture different material quantities, GSI may return to collect additional field verification measurements by hand. 3 Kings indicated they intended on billing 28.5 onsite working days.

1115 - Site walkthrough complete. GSI, DEQ, and 3 Kings offsite.

RA Day 30 Photograph

*Photograph 1. Landscape edginging lifted at [REDACTED] Baxter. Digging covered by downspout splash block in photograph.
Photo taken facing north.*

