



STATE OF OREGON
DEPARTMENT OF COMMERCE
BUILDING CODES DIVISION

MOBILE HOME/MOBILE HOME ACCESSORY STRUCTURE
INSTALLATION PERMIT APPLICATION

WHEN APPROVED THIS APPLICATION IS YOUR PERMIT

PERMIT NO: MCC-260-79

COUNTY: CURRY

APPLICANT TO COMPLETE NUMBERED SPACES ONLY:

Address of Proposed Mobile Home Installation:		City	County	Zip
1. <u>N. BANK Rogue River - Adjoining 101 on River Side</u>		<u>Woodburn</u>	<u>Curry</u>	
Directions to Mobile Home Installation:		Legal Description if on Private Property		
2. <u>'</u>		2a. <u>36-14-30 TL 600</u>		
Is Mobile Home W/In City Limits <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		On Private Property <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		In a Mobile Home Park <input type="checkbox"/> Yes <input type="checkbox"/> No
Owner	Address	City	Phone No.	
6. <u>Lex Fromm</u>	<u>PO Box 31, Gold Beach, OR</u>	<u>Gold Beach</u>	<u>247-2500</u>	
Dealer-Installer	Address	City	Phone No.	Bldr. Bd. Reg. No.
7. <u>DAVE MORRIS HOMES, COOS BAY, OR</u>	<u></u>	<u></u>	<u></u>	<u></u>
Accessory-Installer	Address	City	Phone No.	Bldr. Bd. Reg. No.
8. <u></u>	<u></u>	<u></u>	<u></u>	<u></u>
9. Describe Work: Install Mobile Home <input checked="" type="checkbox"/>		10. Install Awning or Carport <input type="checkbox"/>		11. Install Cabana <input type="checkbox"/>
* Date Inspection Is Requested		Manufacturer of Mobile Home		Size of Mobile Home
12. <u></u>		<u></u>		<u>24 X 68</u>
13. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAW AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING MOBILE HOME INSTALLATIONS.				
<u>Lex Fromm</u> Signature of Owner (Date)		or <u></u> Signature of Dealer-Installer or (Accessory-Installer) (Date)		
APPLICANT PLEASE DO NOT WRITE BELOW THIS LINE:				
ZONING APPROVAL: Required <input type="checkbox"/> Yes <input type="checkbox"/> No		Received _____ Date _____		
SANITATION APPROVAL: Required <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Received <u>See Attached</u> <u>12-479</u> Date _____		
PARK LICENSE NUMBER		NUMBER OF APPROVED PARK SPACES		SPACE WHERE MH WILL BE LOCATED
* CALL FOR INSPECTION: PHONE NO. _____		TIEDOWNS REQUIRED <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
SPECIAL CONDITIONS: <u>FLOOD ZONE Tie-down Requirements must BE met + 7 Ties per side + 4 over the top -</u>				
1. <input type="checkbox"/> SINGLE WIDE (Inc. Tip-Out) \$25				
2. <input checked="" type="checkbox"/> DOUBLE WIDE <u>\$40</u>				
3. <input type="checkbox"/> EACH ADDITIONAL WIDTH \$15				
4. <input type="checkbox"/> CABANA (Factory Built) \$15				
5. <input type="checkbox"/> AWNING OR CARPORT \$5				
6. <input type="checkbox"/> ELECTRICAL _____				
7. <input checked="" type="checkbox"/> PLUMBING <u>15-</u>				
8. <input type="checkbox"/> MECHANICAL _____				
TOTAL <u>CK</u> CASH M.O. \$ <u>55-</u>				
APPLICATION APPROVED BY: <u>Bob Jensen</u>		DATE PERMIT ISSUED: <u>12-5-79</u>		

206-442-1026
206-446-0721
Chuck

Nov. 27, 1979

Based on HUD map 410052 0375 B the flood elevation on the up stream side of the Rogue River Bridge is 23 feet.

Based on the U.S. Army Corp of Engineers bench mark, located in front of the walkway of the Gold Beach Port Office at elevation 16.57 feet we run levels to a nail in the base of a brace pole on the Fromm boat launching site on the up stream side of the Rogue River bridge and find it to be 24.3 feet.

23'

20'

3' above Ground level

REGISTERED
PROFESSIONAL
LAND SURVEYOR

H. J. Newhouse

OREGON
MAY 10, 1957
H. J. NEWHOUSE
402

RKM 12/5

Jan. 25, 1980

I hereby certify that the 1964 flood elevation in the Fromm Boatworks in Wedderburn, Oregon was 21.3 feet (USGS). This is plainly denoted by water marks on the walls and windows in the building. At the time of the flood I was present and assisted in removing boats and equipment. No living man has seen Rogue River any higher. The nail in the brace pole referred to above is 21.0 (USGS). The HUD flood designation is obviously out of balance. Trailers are being allowed in Sections 1,2,11, and 12, 36-14, W.M. that are a full 8 feet below the high water flood of 1964. The best evidence of high water is where the river leaves a mark.

H. J. Newhouse

WEDDERBURN SANITARY DISTRICT
P.O. BOX 144
WEDDERBURN, OR. 97491

DECEMBER 4, 1979

RE: SEWER HOOK-UP

MR. LEX FROMM:
WEDDERBURN, OR.
97491

DEAR MR. FROMM:

THE WEDDERBURN SANITARY DISTRICT BOARD OF DIRECTORS HAVE
AUTHORIZED YOU, ONE SEWER HOOK-UP FOR ONE MOBIL HOME IN THE
AREA OF FROMM'S BOAT SHOP.

SINCERELY,

Henry D. Perkins

HENRY D. PERKINS

CHAIRMAN

BOARD OF DIRECTORS

ELEVATION/FLOODPROOFING CERTIFICATION FORM *
(For Use In Zones A1-30, and V1-30)

The appropriate section of this form must be completed for:

- (1) Any structure for which construction or substantial improvement was started after the date the community entered the Regular Program or,
- (2) Any structure existing prior to the date the community entered the Regular Program for which actual rating dependent on the structure's elevation relative to the base flood is desired.

The floodproofing and elevation sections of this form must be completed by either a registered professional engineer or architect. The elevation section may also be completed by a licensed land surveyor.

NOTE: The elevation certification may be replaced by an equivalent form from the local permit official.

☐ I certify that the structure at the property location described below is constructed so that the lowest floor is at an elevation of _____ feet NGVD (mean sea level).

☐ I certify that the structure, together with the proposed utility and sanitary facilities, are designed so that the structure will be watertight to an elevation of _____ feet NGVD (mean sea level), with walls substantially impermeable to the passage of water and structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.

My certification is conditional upon the actual construction of the building in strict accordance with the plans presented to me.

In the event of flooding, will this degree of floodproofing be achieved with human intervention**? _____
Will the structure be occupied as a residence? _____

**Floodproofed with human intervention means that water will enter the structure when floods up to the base flood level occur, unless measures are taken prior to the flood to prevent entry of water (e.g., bolting metal shields over doors and windows).

Affix Seal Here:

Signature _____

Name and Title _____

Address _____

Date _____

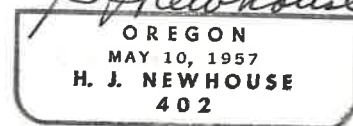
*Not Required: Suggested Only

Jan. 29, 1980

I hereby certify:

Based on USGS bench mark #42 on the North end of the Rogue River bridge we run to a nail in the base of a brace pole on the Fromm boat launching site on the upstream side of the Rogue River bridge and find the elevation to be 21.3 feet. The upstream ground elevation at this location is 20 feet and the downstream elevation is 17 feet.

H. J. Newhouse



Based on HUD map 410052 0375 B the flood elevation on the upstream side of the Rogue River Bridge is 23 feet. The ground level at nail in post at mobile site is 20 feet. Down stream elevation is 17 feet. The floor level of mobile home must be 3 feet above ground level at upper end of mobile home and must be 6 feet above ground level at down stream end of mobile home.

Harrell

1-30-80

John Harrell
Building Official
Curry County

Permit to clearly show that Flood Plain Ordinance
to be complied with.

RK Mubel

1-30-80



STATE OF OREGON
DEPARTMENT OF COMMERCE
BUILDING CODES DIVISION

MOBILE HOME/MOBILE HOME ACCESSORY STRUCTURE
INSTALLATION PERMIT APPLICATION

WHEN APPROVED THIS APPLICATION IS YOUR PERMIT

RE-INSTATEMENT FOR →

PERMIT NO: MCC-260-79

COUNTY: Cumy

APPLICANT TO COMPLETE NUMBERED SPACES ONLY:

1. Address of Proposed Mobile Home Installation: <u>Wilderburn</u>		City	County <u>Cumy</u> Zip <u>97144</u>
2. Directions to Mobile Home Installation: <u>North End of RR Bridge</u>		Legal Description if on Private Property 2a. <u>600-36-14-30 C±</u>	
3. Is Mobile Home W/In City Limits <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	4. On Private Property <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	5. In a Mobile Home Park <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
6. Owner <u>LEX FROMM PO Box 31 Gold Beach</u>	Address <u>COOS BAY</u>	City	Phone No. <u>247-7500</u>
7. Dealer-Installer <u>KARLS M.H.</u>	Address <u>COOS BAY</u>	City	Phone No. Bldr. Bd. Reg. No.
8. Accessory-Installer	Address	City	Phone No. Bldr. Bd. Reg. No.
9. Describe Work: Install Mobile Home <input checked="" type="checkbox"/>		10. Install Awning or Carport <input type="checkbox"/>	
* Date Inspection Is Requested		11. Install Cabana <input type="checkbox"/>	
12. Manufacturer of Mobile Home		Size of Mobile Home <u>24X68</u>	
13. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAW AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING MOBILE HOME INSTALLATIONS.			
<input type="checkbox"/> <u>Grace Fromm</u> 4-1-80		<input type="checkbox"/>	
Signature of Owner (Date)		Signature of Dealer-Installer or (Accessory-Installer) (Date)	

APPLICANT PLEASE DO NOT WRITE BELOW THIS LINE:

ZONING APPROVAL: Required <input type="checkbox"/> Yes <input type="checkbox"/> No	Received	Date
SANITATION APPROVAL: <u>Pumped</u> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Received	Date
PARK LICENSE NUMBER	NUMBER OF APPROVED PARK SPACES	SPACE WHERE MH WILL BE LOCATED
* CALL FOR INSPECTION: PHONE NO.		TIEDOWNS REQUIRED <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
SPECIAL CONDITIONS: <u>ALL FLOOD PLAIN REQUIREMENTS MUST BE COMPLIED WITH, FLOOR ELEV +23 AT FLOOR LEVEL GROUND LEVEL +10 HIGH END +17 LOW END MOBILE MUST HAVE OVER THE TOP TIES #4 (7 FRAME TIES) (CROSS TIES AT FRAME FOR ROTATION)</u>		
1. <input type="checkbox"/> SINGLE WIDE (Inc. Tip-Out) \$25	5. <input type="checkbox"/> AWNING OR CARPORT \$5	
2. <input checked="" type="checkbox"/> DOUBLE WIDE \$40	6. <input type="checkbox"/> ELECTRICAL	
3. <input type="checkbox"/> EACH ADDITIONAL WIDTH \$15	7. <input checked="" type="checkbox"/> PLUMBING 15.00	
4. <input type="checkbox"/> CABANA (Factory Built) \$15	8. <input type="checkbox"/> MECHANICAL	
TOTAL <u>CK</u> CASH M.O. \$55.00		
APPLICATION APPROVED BY: <u>Janell</u>	DATE PERMIT ISSUED: <u>4-1-80</u>	
<u>Paid previously on 12-5-1979</u>		

Part 1—Office Copy—White

Part 2—Applicant—Canary

Part 3—Inspector—Blue

Part 4—Auditor—Green

Part 5—Local Government—G-rod



COUNTY OF CURRY

BUILDING & PLUMBING
DEPARTMENT
P. O. BOX 1277
GOLD BEACH, OREGON 97444
PHONE 247-7011 EXT. 311

October 2, 1980

Doug Dusenbery
Dept. of Veterans' Affairs
455 South 4th Street
Coos Bay, OR 97420

Dear Mr. Dusenbery

The Curry County Building Department made an inspection on Lex Fromm's mobile home, on September 29, 1980.

The tiedowns are in place under the mobile home, and it is located above the desinated flood level of 21.3 feet mean sea level.

Over the top ties are not required because of the Oregon State Data Plate #060454 and HUD Data Plate #060944.

Mr. Fromm's mobile home meets all the regulations of the Curry County Flood Plain Program and has been approved.

Sincerely,

John Harrell
John Harrell
Building Official

JH:eb

cc: Lex Fromm

enclosure



COUNTY OF CURRY

**BUILDING & PLUMBING
DEPARTMENT**
P. O. BOX 1277
GOLD BEACH, OREGON 97444
PHONE 247-7011 EXT. 311

January 16, 1980

MEMO for FILE: *JF*

Reference: Lex Fromm mobile home permit MCC-260-79

Flood Plain Datum taken from Army Corp. of Engineers
benchmark.

Should be National Geodetic Vertical Datum of 1929
(Mean Sea Level).

Therefore, it should be raised the difference between
the Army Corp. of Engineers benchmark and the Mean
Sea Level.

"Inspectors Cause Safety"



COUNTY OF CURRY

BUILDING & PLUMBING
DEPARTMENT
P. O. BOX 1277
GOLD BEACH, OREGON 97444
PHONE 247-7011 EXT. 311

January 16, 1980

Howard Newhouse
P.O. Box 6
Wedderburn, OR 97491

Re: Flood Datum for Lex Fromm

Dear Sir,

After reviewing the prepared flood elevation, I find it inadequate. The Hud Map 4100052-0375B shows the flood elevation on the upstream side of the Rogue River to be 23.6 feet. The Hud Map Datum is the National Geodetic Vertical Datum of 1929.

The survey for Mr. Fromm references an Army Corp. Benchmark. Please supply a new Certified Survey which gives the Datum of that benchmark with an explanation of any differences in vertical elevation between Datums.

This information not being supplied resulted in the permit being revoked.

Cordially,

A handwritten signature in dark ink, appearing to read "John Harrell", is written over the typed name.

John Harrell
Building Official
Curry County

JH:eb
file

cc: Richard K. Mickelson, District Attorney's Office



COUNTY OF CURRY

**BUILDING & PLUMBING
DEPARTMENT
P. O. BOX 1277
GOLD BEACH, OREGON 97444
PHONE 247-7011 EXT. 311**

January 16, 1980

Lex Fromm
P.O. Box 31
Gold Beach, OR 97444

Re: Tax Lot 600, Map 36014-30, Flood Datum

Dear Mr. Fromm:

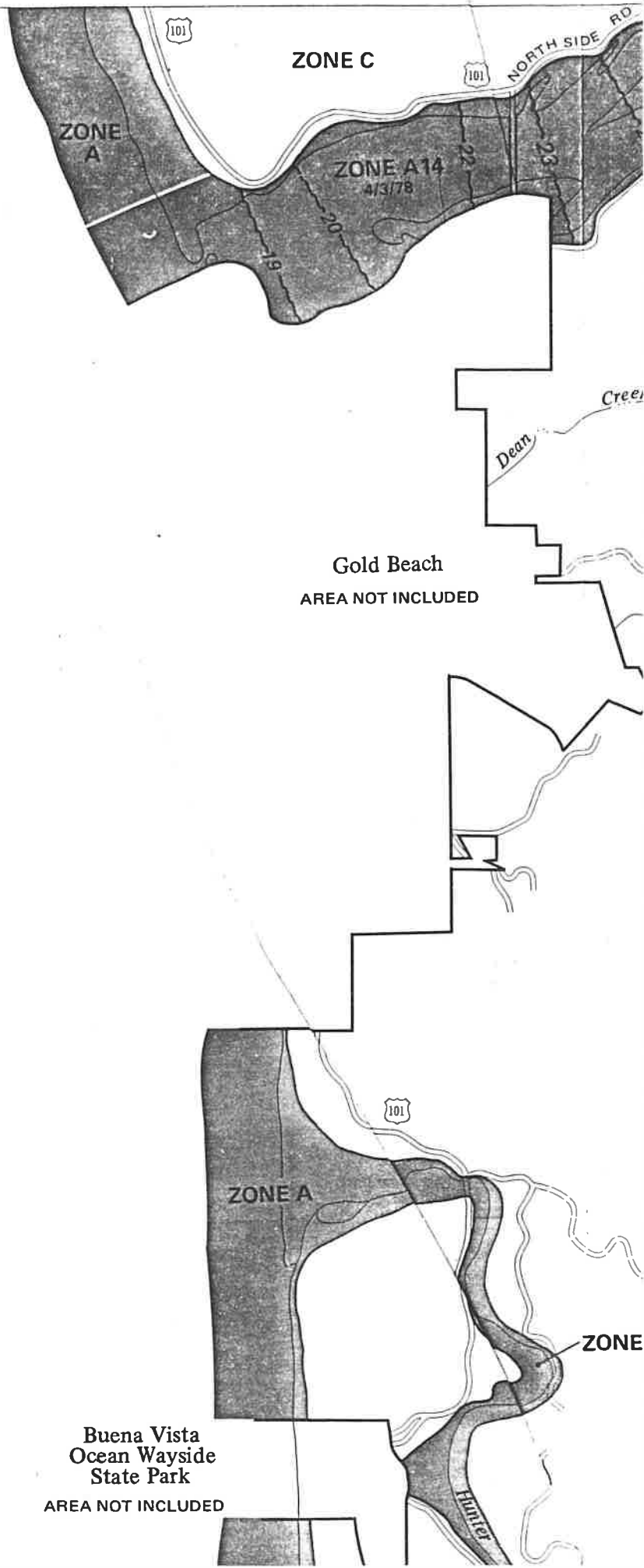
Due to the incorrect information supplied to us by your surveyor, Howard Newhouse, the Curry County Building Department hereby revokes your mobile home permit, issued to you December 5, 1979, No. MCC-260-79. Until Mr. Newhouse supplies us with the correct flood datum, we will not reissue your mobile home permit.

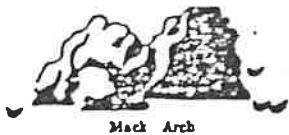
Sincerely,

John Harrell
Building Official

JH:eb
cc: Richard Mickelson
District Attorney's Office

O C E A N





COUNTY OF CURRY

BUILDING & PLUMBING
DEPARTMENT

P. O. BOX 1277

GOLD BEACH, OREGON 97444

PHONE 247-7011 EXT. 311

November 26, 1979

Mr. Lex Fromm
Box 31
Gold Beach, OR 97444

Re: Flood Plain Regulations

Dear Sir:

Your proposed structure may be subject to the regulations of Curry County Ordinance 78-15, (Flood Damage Prevention Ordinance)

Therefore it will be necessary for you to come to my office to discuss this ordinance before a permit can be issued. This is to determine whether or not your structure will have to conform to the regulations of this ordinance.

The Curry County Building Department is located in the County Annex Building across from the Curry County Court House.
Phone 247-7011 ext 311.

Thank you,

John Harrell
Building Official

JH:eb

KEY TO MAP

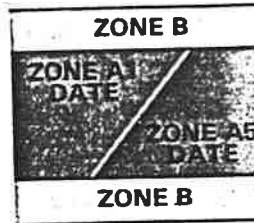
500-Year Flood Boundary

100-Year Flood Boundary

Zone Designations* With
Date of Identification
e.g., 12/2/74

100-Year Flood Boundary

500-Year Flood Boundary



Base Flood Elevation Line
With Elevation In Feet**

~~~~~ 513 ~~~~~

Base Flood Elevation in Feet  
Where Uniform Within Zone\*\*

(EL 987)

Elevation Reference Mark

RM7x

River Mile

• M1.5

\*\*Referenced to the National Geodetic Vertical Datum of 1929

## \*EXPLANATION OF ZONE DESIGNATIONS

| ZONE   | EXPLANATION                                                                                                                                                                                                                                                                                      |
|--------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| A      | Areas of 100-year flood; base flood elevations and flood hazard factors not determined.                                                                                                                                                                                                          |
| A0     | Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; average depths of inundation are shown, but no flood hazard factors are determined.                                                                                                                      |
| AH     | Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevations are shown, but no flood hazard factors are determined.                                                                                                                             |
| A1-A30 | Areas of 100-year flood; base flood elevations and flood hazard factors determined.                                                                                                                                                                                                              |
| A99    | Areas of 100-year flood to be protected by flood protection system under construction; base flood elevations and flood hazard factors not determined.                                                                                                                                            |
| B      | Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood. (Medium shading) |
| C      | Areas of minimal flooding. (No shading)                                                                                                                                                                                                                                                          |
| D      | Areas of undetermined, but possible, flood hazards.                                                                                                                                                                                                                                              |
| V      | Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors not determined.                                                                                                                                                                      |
| V1-V30 | Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors determined.                                                                                                                                                                          |

## NOTES TO USER

Certain areas not in the special flood hazard areas (zones A and V) may be protected by flood control structures.

This map is for flood insurance purposes only; it does not necessarily show all areas subject to flooding in the community or all planimetric features outside special flood hazard areas.

For adjoining map panels, see separately printed Index To Map Panels.

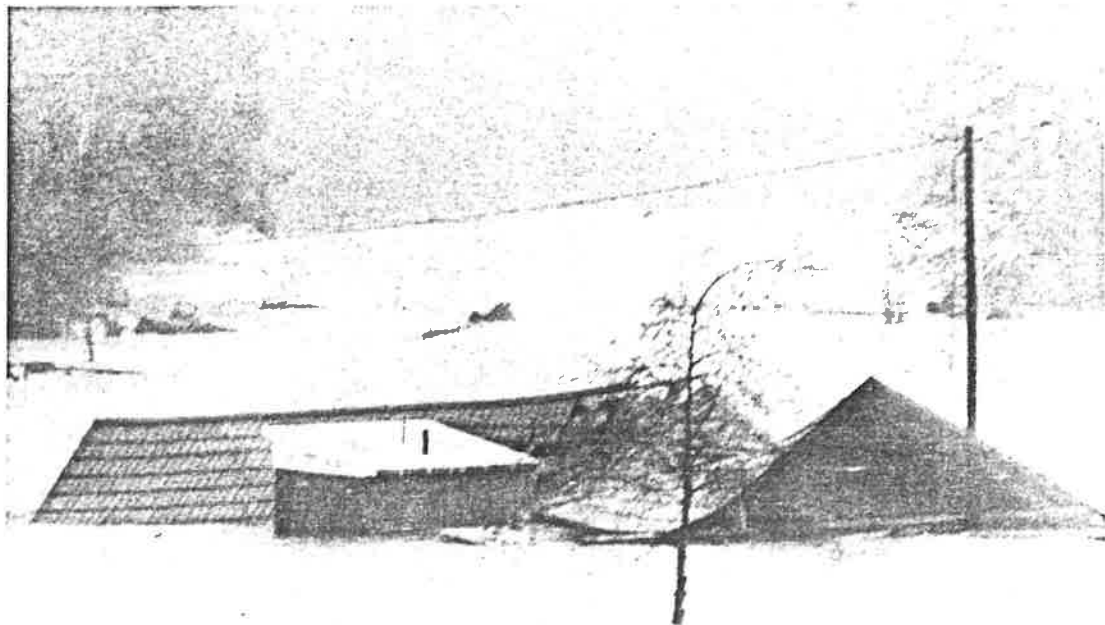


Figure 30. A small group of trees was all that prevented this house from floating out the mouth of the Chetco to the Pacific Ocean during the flood of 1964. View is on the west bank of the river looking north toward Snug Point. (Photo courtesy of the Brookings Harbor Pilot)



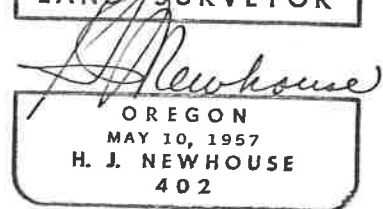
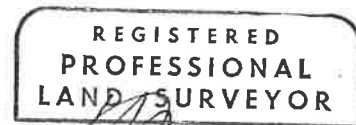
Figure 31. Rogue mail service boats were anchored in the driveway of Lex Fromm's boat house during the 1964 flood. (Photo courtesy of the Curry County Reporter)

Jan. 29, 1980

I hereby certify:

Based on USGS bench mark #42 on the North end of the Rogue River bridge we run to a nail in the base of a brace pole on the Fromm boat launching site on the upstream side of the Rogue River bridge and find the elevation to be 21.3 feet. The upstream ground elevation at this location is 20 feet and the downstream elevation is 17 feet.

*H. J. Newhouse*



Based on HUD map 410052 0375 B the flood elevation on the upstream side of the Rogue River Bridge is 23 feet. The ground level at nail in post at mobile site is 20 feet. Down stream elevation is 17 feet. The floor level of mobile home must be 3 feet above ground level at upper end of mobile home and must be 6 feet above ground level at down stream end of mobile home.

*Harrell*  
John Harrell  
Building Official  
Curry County

1-30-80

Permit to clearly show that Flood Plain Ordinance  
to be complied with.

*RK Munka*

1-30-80



COUNTY OF CURRY

BUILDING & PLUMBING  
DEPARTMENT  
P. O. BOX 1277  
GOLD BEACH, OREGON 97444  
PHONE 247-7011 EXT. 311

February 1, 1980

Lex Fromm  
P.O. Box 31  
Gold Beach, OR 97444

Re: Letter of January 16, 1980, Flood Plain Datum

Dear Mr. Fromm:

Mr. Howard Newhouse has corrected the Flood Plain Datum to meet with the Flood Plain Ordinance #78.15 4.3-3.

Based on the HUD map 410052-0375 B the flood elevation on the up stream side of the Rogue River bridge is 23 feet. The ground level at nail, in post at mobile site is 20 feet. Down stream elevation is 17 feet. The floor level of mobile home must be 3 feet above ground level at upper end of mobile home and must be 6 feet above ground level at down stream end of mobile home.

Your mobile home must have 4 over the top ties, 7 frame ties and cross ties at frame for rotation.

The Flood Plain Ordinance has a variance procedure, section 4.4-2, where those aggrieved by the determination made by the Building Official in the enforcement of the Ordinance, may appeal to the Curry County Board of Commissioners.

If you need any further assistance, please feel free to contact me.

Sincerely,

  
John Harrell  
Building Official

JH:eb

MCC-260-79  
Curry County, Oregon

Building Inspection Request

M-80-10

Date 7/29/80 am pm

Name Ler Fromm

Location Wedderburn  
Liedown Rust

O.K.

Handell

By

Curry County Reporter, Gold Beach, Ore.

405015-6