



February 1, 2019

Oregon Department of Environmental Quality
Kevin Dana
700 NE Multnomah Street, Suite 600
Portland, Oregon 97323

**RE: 2019 ANNUAL POST CONSTRUCTION CAP INSPECTION
BLOCK 17 URBAN DEVELOPMENT
1161 NW OVERTON STREET
PORTLAND, MULTNOMAH COUNTY, OREGON
ECSI #5867
NOVA PROJECT NO. V19-0717**

Dear Mr. Dana,

Nova Consulting Group, Inc. (Nova) is submitting the annual post construction cap inspection at the above referenced property on behalf of Block 17 Holding, LLC.

The Block 17 Urban Development parcel located at 1161 NW Overton Street ("Property") is part of a larger tract of land known as the former Hoyt Street Railyard. Soil disposal and backfilling at the Property has been conducted in accordance with the Oregon Department of Environmental Quality's (DEQ) Record of Decision (ROD), the Revised Soil Management Plan (SMP) prepared by Terracon (dated December 6, 2013) and the DEQ's SMP approval letter (dated January 14, 2014). An engineered protective cap remains in place across the former Hoyt Street Railroad. As required in the Post Construction Cap Inspection and Maintenance Plan for Resident Building Blocks (dated November 2004) the protective cap requires an annual engineering inspection.

As per the requirements, the annual cap inspection was performed on January 16, 2019 by Melissa Roskamp, Project Engineer, and was accompanied by Hans Saucier, Service Director for Block 17 by Alta. The inspection included the building foundation, parking garage, sidewalks, and landscaped areas to identify any evidence of cracks or areas of weathering that would compromise the cap. In addition, surface water drainage features were inspected and there was no evidence of potential water damage to the cap. Based on observations, the cap was observed in excellent condition with no visible damage. Please see attached cap inspection checklist for details.

We appreciate the opportunity to perform these services for you. If you have any questions, please do not hesitate to contact us.

Respectfully submitted,

NOVA CONSULTING GROUP, INC.

A handwritten signature in black ink, appearing to read "M. Roskamp".

Melissa Roskamp
Project Engineer

A handwritten signature in black ink, appearing to read "Vanessa L. Chambers".

Vanessa L. Chambers, LEED AP
Senior Vice President

Attachments: Inspection Log, Photo Log

cc: Jeff Mills, Block 17 Holding, LLC

Location: Block 17, 1161 NW Overton Street, Portland, OR

Date: 1/16/19

Engineer Performing Inspection: Melissa Roskamp, PE

Hardscape Areas

Inspection performed for hardscape areas for evidence of cracks or unusual weathering that show the potential to allow soil or groundwater to migrate through the cap or allow direct exposure to soils. Hardscape areas within site include parking garage, building foundation, sidewalks and parking garage walls.

- Cracks and/or settlement? Yes No
- Maintenance Required? Yes No
- Holes and/or penetrations? Yes No
- Maintenance Required? Yes No

Landscape Areas

Inspection performed for landscape areas for evidence of holes, animal burrows, or cracks that could expose underlying soil. Landscape areas within site include planter and soft-scape areas.

- Exposed soil and/or fabric Yes No
- Maintenance required? Yes No

No evidence of surface water drainage issues which may damage the cap.

Inspector Signature: *Melissa Roskamp*

Date: 1/16/19





SELECTED SITE PHOTOGRAPHS

Block 17

Annual Cap Inspection

Portland, Oregon

Photograph 1: Parking Garage Slab/Foundation A

Photograph 2: Bike Storage Room

Photograph 3: Parking Garage Slab/Foundation B

Photograph 4: Parking Garage Slab/Foundation C

Photograph 5: Parking Garage Slab/Foundation D

Photograph 6: Bike Parking Area

Photograph 7: Electrical Room

Photograph 8: Interior Pump Room A

Photograph 9: Interior Pump Room B

Photograph 10: Sidewalk Looking West

Photograph 11: Exterior Landscaping/Hardscape Area

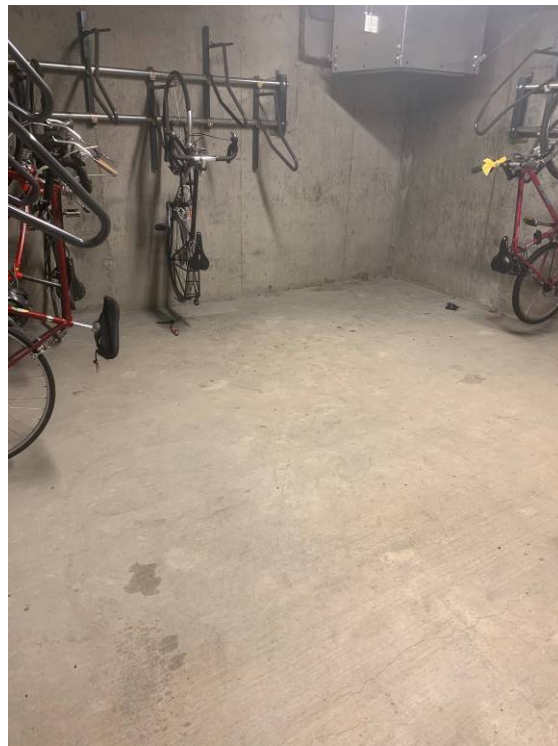
Photograph 12: Exterior Landscaping

PHOTOGRAPHS

SELECTED SITE PHOTOGRAPHS (continued)
Block 17
Annual Cap Inspection
Oregon



Photograph 1: Parking Garage Slab/Foundation A

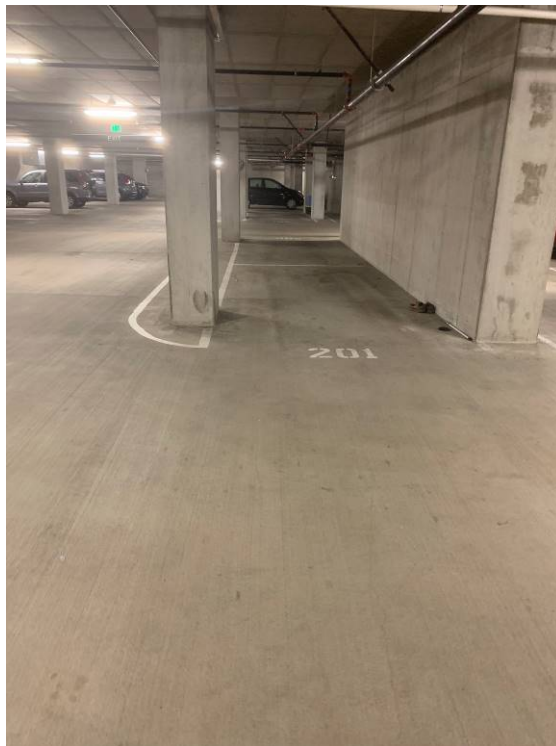


Photograph 2: Bike Storage Room

SITE PHOTOGRAPHS (continued)
Block 17
Annual Cap Inspection



Photograph 3: Parking Garage Slab/Foundation B

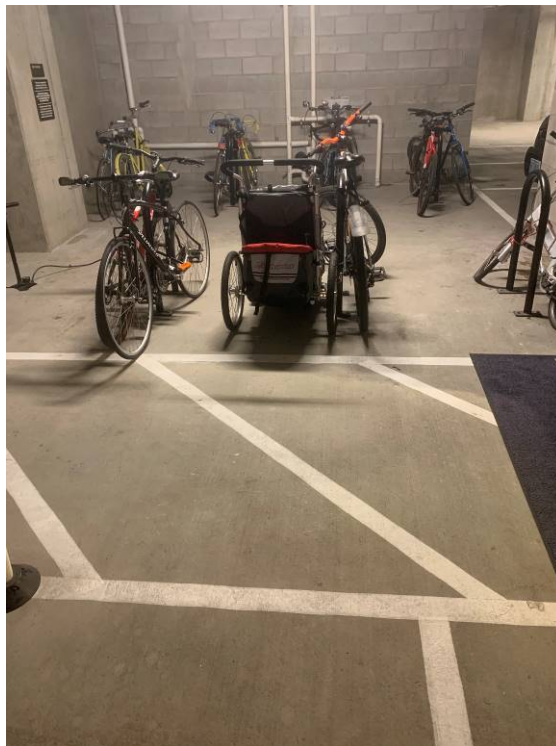


Photograph 4: Parking Garage Slab/Foundation C

SITE PHOTOGRAPHS (continued)
Block 17
Annual Cap Inspection



Photograph 5: Parking Garage Slab/Foundation D



Photograph 6: Bike Parking Area

SITE PHOTOGRAPHS (continued)
Block 17
Annual Cap Inspection



Photograph 7: Electrical Room

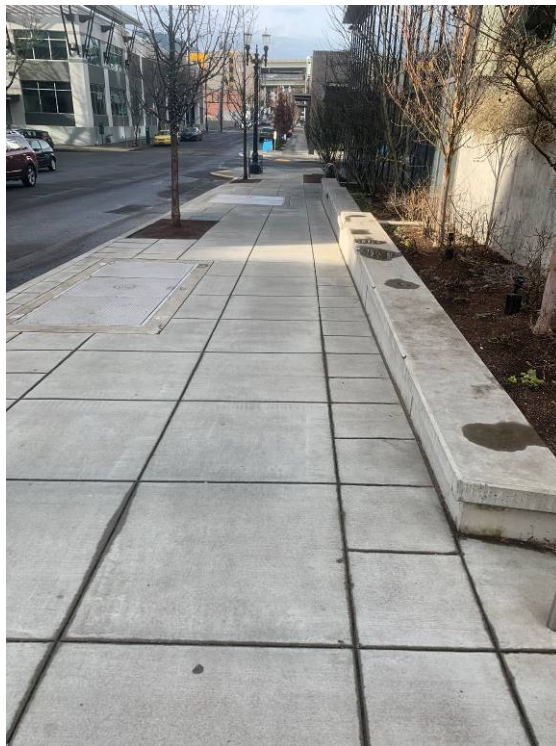


Photograph 8: Interior Pump Room A

SITE PHOTOGRAPHS (continued)
Block 17
Annual Cap Inspection



Photograph 9: Interior Pump Room B

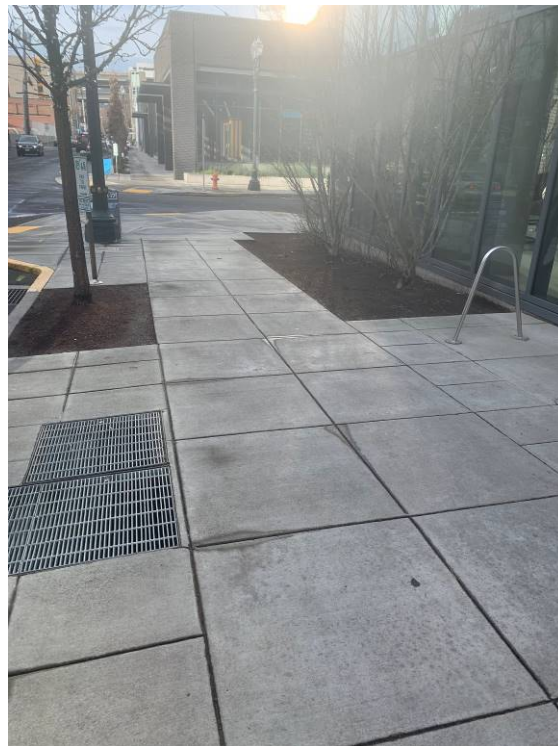


Photograph 10: Sidewalk Looking West

SITE PHOTOGRAPHS (continued)
Block 17
Annual Cap Inspection



Photograph 11: Exterior Landscaping/Hardscape Area



Photograph 12: Exterior Landscaping