



**PORTLAND PARKS & RECREATION**<sup>SM</sup>

Healthy Parks, Healthy Portland

October 16, 2023

Kevin Dana  
Oregon Department of Environmental Quality  
Northwest Region  
700 NE Multnomah Street, Suite 600  
Portland, OR 97232

Dear Mr. Dana:

Attached is a copy of the Annual Cap Inspection Report for Tanner Springs Park (ESCI ID 1080). Please feel free to contact me if you have any questions.

Sincerely,

Alex Shook  
Environmental Compliance Professional  
Portland Parks and Recreation  
6437 SE Division Street, Portland, OR 97206  
Email: [alex.shook@portlandoregon.gov](mailto:alex.shook@portlandoregon.gov)  
Phone: 503.250.0670

**PORTLANDPARKS.ORG**  
Commissioner Dan Ryan  
Director Adena Long



*Sustaining a healthy park and recreation system to make Portland a great place to live, work, and play.*

Site: Tanner Springs Park

Inspection Date: 10/3/2023

**Background:** Tanner Springs Park is a 0.92-acre municipal park located in NW Portland and bounded by NW Marshall St., NW Northrup St., NW 10<sup>th</sup> Ave., and NW 11<sup>th</sup> Ave. The park is situated in a portion of the former 26-acre Hoyt Street Rail Yard (HSRY) and is listed on the Oregon Department of Environmental Quality (DEQ) Environmental Cleanup Site Information (ECSI) Database as Hoyt Street Railyard - Former (ECSI Site ID: 1080). During historical HSRY operations, impacts to soil and groundwater occurred. Remaining impacts beneath the park include soils containing elevated concentrations of PAHs, lead, petroleum hydrocarbons, benzene, arsenic, and limited PCBs.

In December 2000 a Record of Decision (ROD) was published by DEQ for the HSRY and in January 2009 a Post Construction Cap Inspection and Maintenance Plan was submitted to DEQ for the Site. The 2000 ROD and the 2009 Post Construction Cap Inspection and Maintenance Plan describe remedial action requirements for the Site.

The selected remedial action for Tanner Springs Park is an engineered soil cap with an underlying demarcation layer (geotextile fabric marker). To meet this requirement a continuous soil cap was installed across the entire site. The soil cap consists of and either two (2) feet of clean soil or concrete (e.g., structure foundations, pathways, and sidewalks) as outlined in the ROD. For Tanner Springs Park, the cap consists of landscaped soil, concrete sidewalks, wood walkways, water features, and other hardscaping.

This inspection report was completed to assess the condition of the capped area which includes the entire park (i.e., landscaped soil, structure foundations, perimeter sidewalks, internal pathways, and storm water drainage features) and to document any potential breaches to the cap.

**Location Description: (i.e., boundary streets)**

NW Marshall, NW Northrup, NW 11<sup>th</sup>, and NW 10<sup>th</sup> streets (1N1E34BB Lot 2613)  
City block 12

**Party Performing Inspection / Preparing Report:**

Bethany Nabhan      Environmental Specialist / BES

John O'Donovan      Engineer III / BES

Alex Shook      Risk Specialist II / Portland Parks & Recreation

**Contact Numbers:**

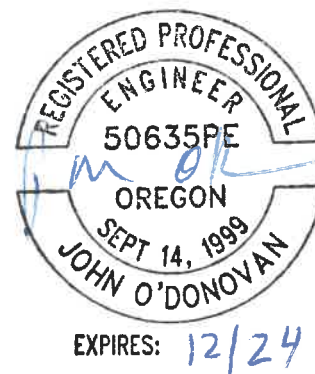
503-823-5524

503-823-7881

503-250-0670

**Inspection Performed For:**

Portland Parks & Recreation  
6437 SE Division St.  
Portland, OR 97206



**Hardscape Areas:** Inspect concrete sidewalks and walkways for evidence of cracks or unusual weathering that show the potential to allow soil to migrate through the cap or allow direct exposure to soils. List observations made and areas requiring maintenance.

Hardscaped areas are in good condition. Only minor cracking and evidence of settling was observed in the concrete sidewalks around the park and the cobblestone pathways within the park. These cracks are relatively the same as previous years. The cap did not appear compromised in the hardscaped areas and no patching is recommended.

**Cracks, Settlement?** Yes X No    

Location(s):

Several minor cracks in concrete were documented in the attached photo log and accompanying map. Many of those cracks were documented in previous years inspection reports and have not changed in appearance (photo points 1-4 and 10-12). Several areas of minor separation (0.5 to 1.5 inches) were noted within the cobblestone path (photo points 6-9 13-16). Weathering is likely to have impacted seams in the cobblestone paths that appeared mostly in fair condition, but caulking was missing in a few places. None of these observations appear to have compromised the cap or have allowed subsurface soil to be exposed and no patching is recommended. There is a new photo point (17) that was added this year where sidewalk panels are being lifted near a street tree, likely by roots. This location will be monitored for changes during future inspections.

Maintenance required? Yes     No X

**Holes, Penetrations?** Yes     No X

Maintenance required? Yes     No X

**Landscape Areas:** Inspect landscape areas for evidence of holes, animal burrows, or cracks that could expose the underlying soil. List observations made and area(s) requiring maintenance.

Landscaped areas, including grass and planted areas, were inspected for holes, cracks, and visual evidence of exposed demarcation fabric. Landscape areas appeared in good, healthy condition. No evidence of surface erosion was observed. Vegetation is maturing nicely and is providing good erosion control.

**Exposed Soil or Fabric?** Yes     No X

Maintenance required? Yes     No X

**Surface Water Drainage Features:** Inspect storm water drainage paths and catch basins for evidence of blockage by debris or erosion damage caused by inadequate drainage control. List observations and area(s) requiring maintenance.

Storm water drainage paths and catch basins were clear and functional during the inspection.

**Groundwater Seepage Areas:** Note any evidence of groundwater seepage areas and associated problems.

No groundwater seepage areas were observed during the inspection.

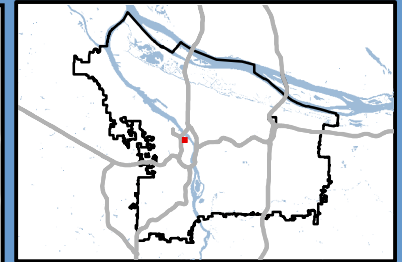
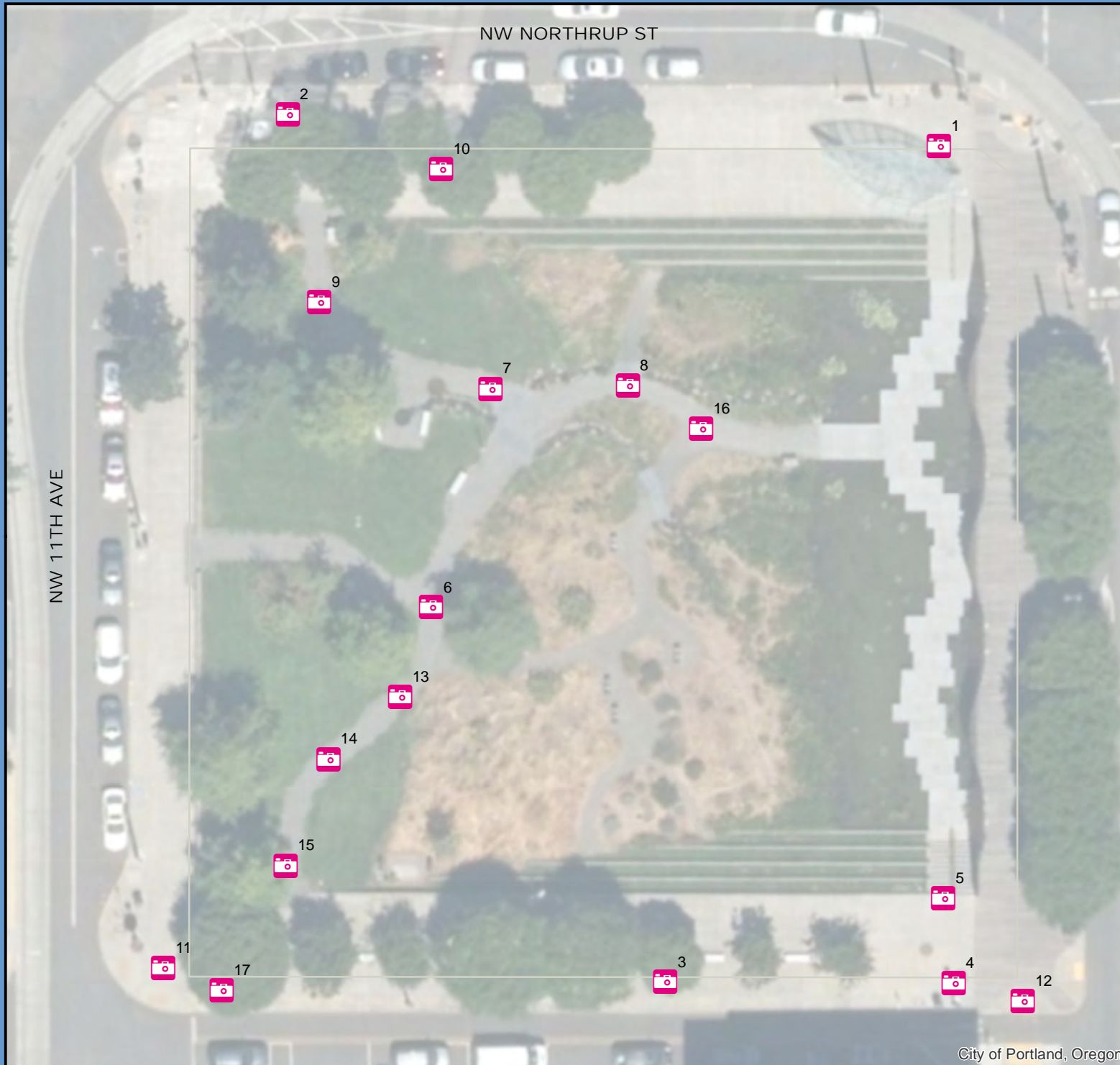
**Additional Comments:**

Photographs have been taken of all areas of concern to document the condition of the cap. Photographic evidence includes pictures of any damage and repairs performed.

Please see attached Photo Locations Map and Photo Log.

Send one copy of completed Inspection Report, with supporting documentation including photographs and maintenance and repair records to:



Oregon Department of Environmental Quality  
NW Region UST Cleanups & Environmental Cleanup Programs  
700 NE Multnomah St., Suite #600  
Portland, OR 97232  
ATTN: Kevin Dana



**Figure 1**

**Tanner Springs Park  
Annual Cap Inspection  
Photo Locations Map**

**Legend**

-  Yearly Monitoring Locations
-  Taxlots

1 inch = 33.33 feet



Map Created by: Meghan S

October 5, 2023



City of Portland, Oregon



Site: Tanner Springs Park

Inspection Date: 10/3/2023

**Photo Point #1**

- 2019 inspection photo:



- 2020 inspection photo:



- 2021 inspection photo:





- 2022 inspection photo:



- 2023 inspection photo:



**Photo Point #2**



- 2019 inspection photo:



- 2020 inspection photo:



- 2021 inspection photo:





- 2022 inspection photo(s):

Photo 1

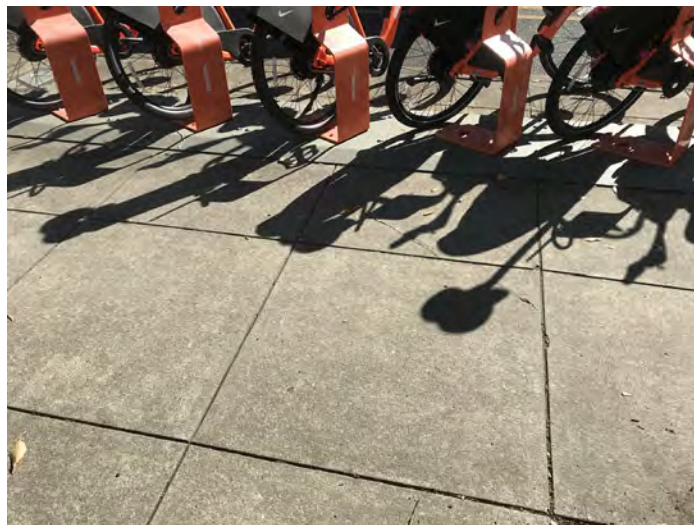


Photo 2



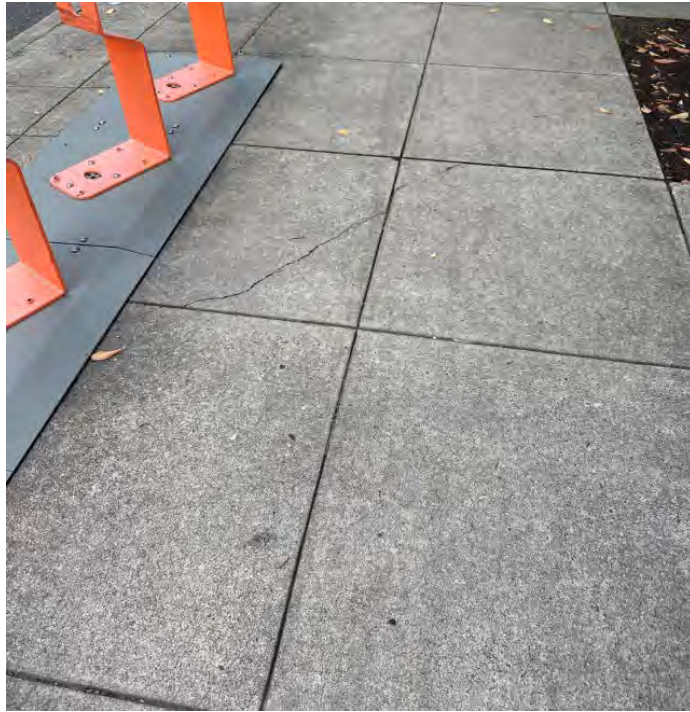
- 2023 inspection photo:

**Photo Point #3**



- 2020 inspection photo:





- 2021 inspection photo:



- 2022 inspection photo:





- 2023 inspection photo:

**Photo Point #4**



- 2019 inspection photo:



- 2020 inspection photo:



- 2021 inspection photo:





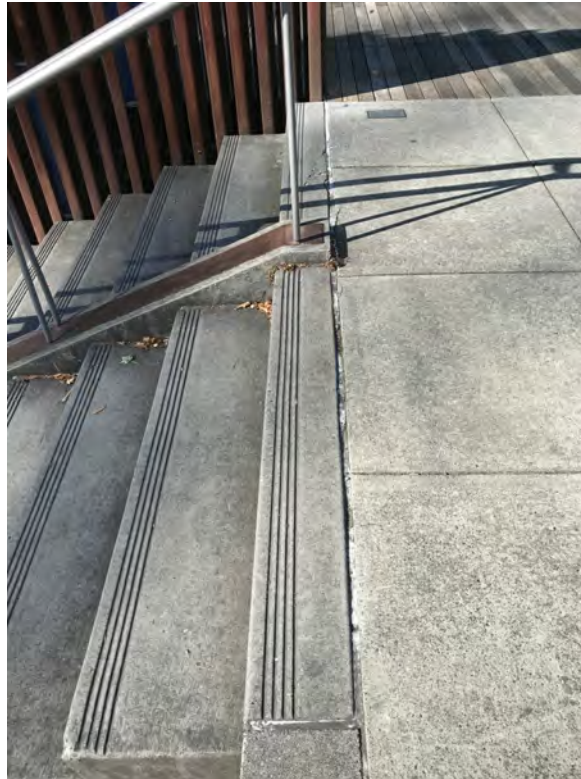
- 2022 inspection photo:



- 2023 inspection photo:



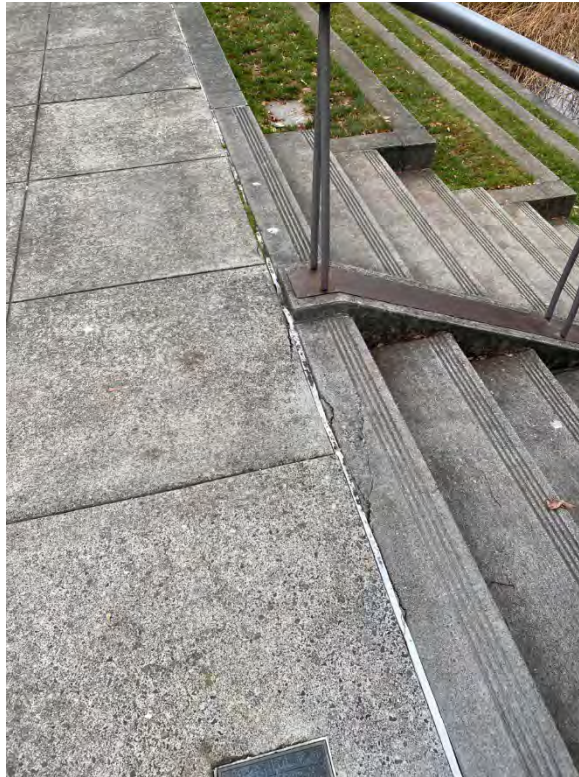
**Photo Point #5**



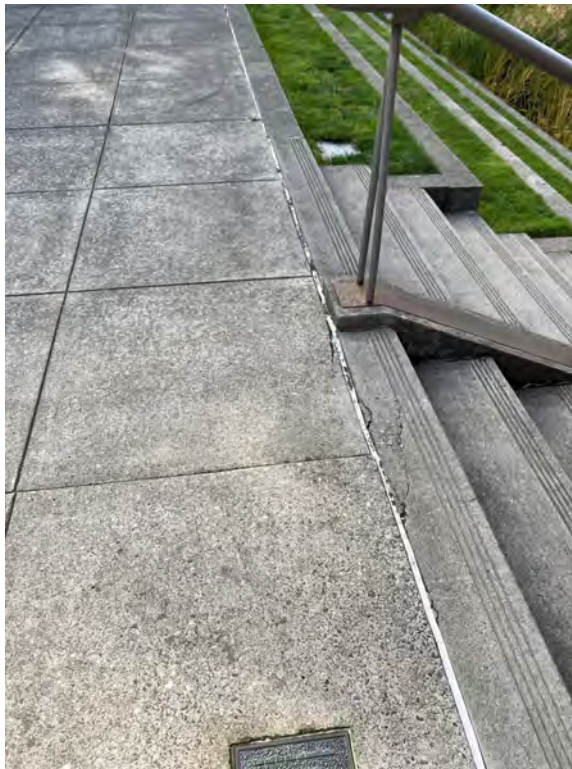
- 2020 inspection photo:



- 2021 inspection photo:



- 2022 inspection photo:



- 2023 inspection photo:



**Photo Point #6**



- 2022 inspection photo:

Photo 1



Photo 2





- 2023 inspection photo:



**Photo Point #7**

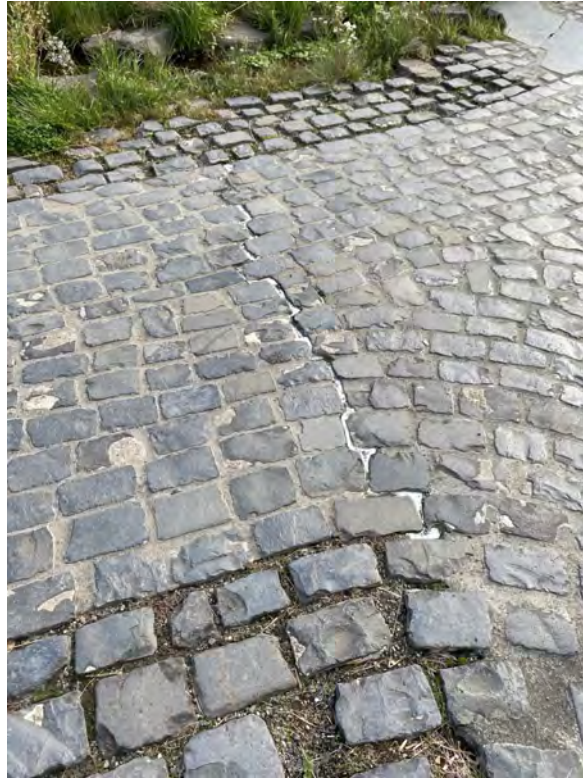


- 2021 inspection photo:



- 2022 inspection photo:





- 2023 inspection photo:

**Photo Point #8**



- 2021 inspection photo:



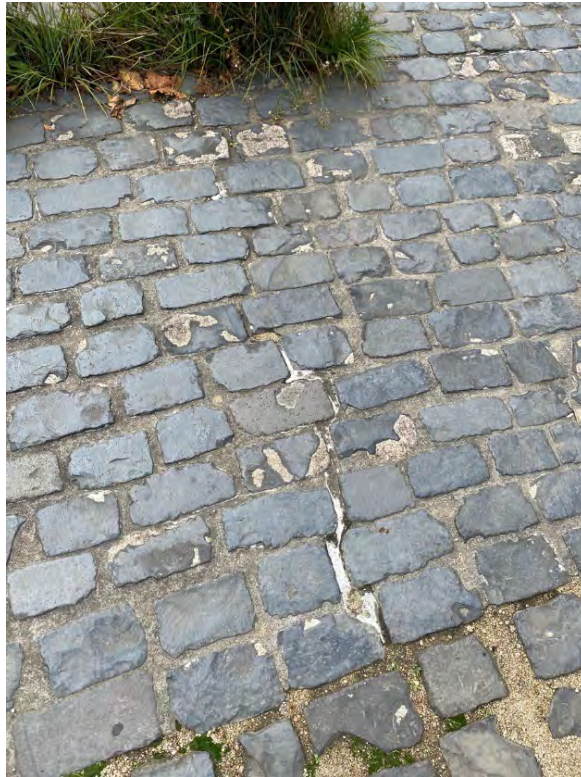


- 2022 inspection photo:



- 2023 inspection photo:

**Photo Point #9**



- 2021 inspection photo:



- 2022 inspection photo:





- 2023 inspection photo:

**Photo Point #10**



- 2021 inspection photo:



- 2022 inspection photo:



- 2023 inspection photo:



**Photo Point #11**



- 2022 inspection photo:

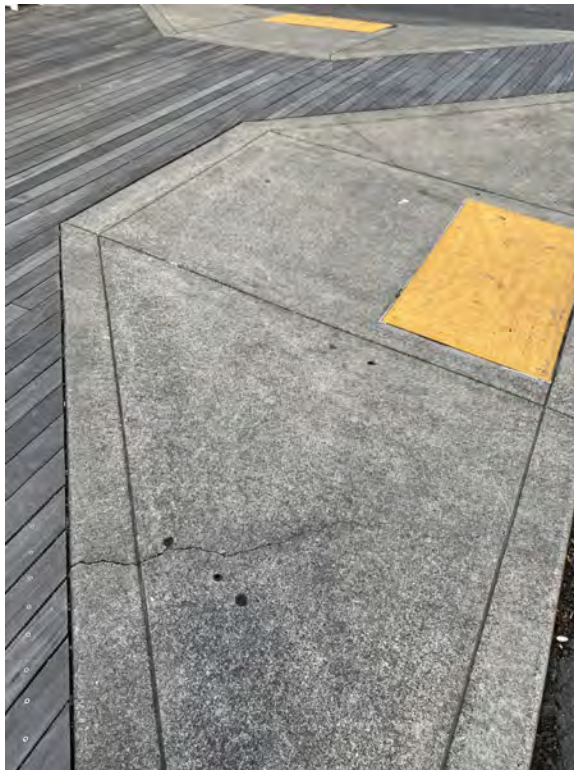


- 2023 inspection photo:

**Photo Point #12**



- 2022 inspection photo:



- 2023 inspection photo:



**Photo Point #13**

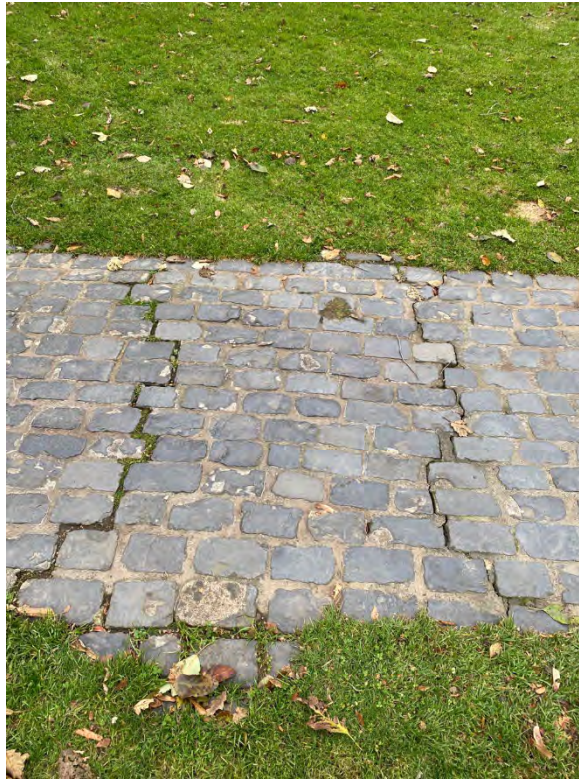


- 2022 inspection photo:



- 2023 inspection photo:

**Photo Point #14**



- 2022 inspection photo:



- 2023 inspection photo:



**Photo Point #15**



- 2022 inspection photo:



- 2023 inspection photo:

**Photo Point #16**



- 2022 inspection photo:



- 2023 inspection photo:



**Photo Point #17 \*NEW\***



- 2023 inspection photo: