



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
COMMUNITY DEVELOPMENT DEPARTMENT

SITE TEAM AGENDA

The information contained in this agenda is for preliminary comments/concerns only.

Thursday, May 9, 2024, 1:00 p.m.

Please note: Applicant start time is 2:00 p.m.

Meeting held via Zoom

<https://us06web.zoom.us/j/88316496257?pwd=VVdxVm5wQjRialdpOG9TdGFVeWF2QT09>

Meeting ID: **883 1649 6257** Passcode: **636603**

Dial: 1-669-900-6833 or 1-253-215-8782

Action Items

This item is for your review and comment. Please comment on or before the scheduled Site Team Meeting.

- A. **Bryce McNab, ODFW** – Site Plan Review. Applicant is requesting approval to site and construct a 120' x 30' three-sided, metal storage building in the existing gravel parking lot. The property is located at 3561 Klindt Drive and further described as 2N 13E 28 D tax lot 2200. Property is zoned I – Industrial District.
Planner: Frank Glover
- B. **EDJE Venture, LLC** – Site Plan Review. Applicant is requesting approval to add a second story to an existing single-story office. The property is located at 1539 Bargeway Road and further described as 2N 13E 33 A tax lot 600. Property is zoned CR – Recreational Commercial District.
Planner: Frank Glover

Next regularly scheduled Site Team meeting: Thursday, May 23, 2024.



City of The Dalles
Community Development Dept.
 313 Court Street
 The Dalles, OR 97058
 (541) 296-5481, ext. 1125
 www.thedalles.org

Site Team #: ST 014-24
 Received: 04/10/2024
 Filing Fee: \$100.00
 Receipt #: XBP 170022311
 Meeting Date: _____

Site Team / Pre-Application Meeting

- | | | | |
|---------------------------------------|---|--|--|
| <input type="radio"/> Adjustment | <input type="radio"/> Mobile Home Park | <input type="radio"/> Conditional Use Permit | <input type="radio"/> Property Line Adjustment |
| <input type="radio"/> Building Permit | <input checked="" type="radio"/> Site Plan Review | <input type="radio"/> Minor Partition/Replat | <input type="radio"/> Planned Unit Development |
| <input type="radio"/> Variance | <input type="radio"/> Vacation (Street) | <input type="radio"/> Comp Plan Amendment | <input type="radio"/> Comp Plan/Zone Change |
| <input type="radio"/> Subdivision | <input type="radio"/> Zone Change | <input type="radio"/> Other: _____ | |

Applicant

Name: Bryce Macnab
 Address: 3561 Klindt Dr
The Dalles, Or 97058
 Phone #: 541-296-8026
 Email: Bryce.a.macnab@odfw.oregon.gov

Legal Owner (if other than Applicant)

Name: Oregon Dept. of Fish & Wildlife
 Address: _____
 Phone #: _____
 Email: _____

Property Information

Address: 3561 Klindt Dr, The Dalles

Map and Tax Lot: 2N 13E 28D tax lot 2200

Project Description (continue on next page if necessary)

ODFW is wanting to construct a metal storage building in our existing gravel parking lot. The building will be located on the west side of the lot along Klindt Dr. The proposed 3 sided storage building will be 120' long, 30' deep and have 16' eaves. The building will be open on the east side and consist of 4 bays at 30' wide, and will be used to store equipment (see attached drawing).

Application Policy

I certify that I am the applicant or owner identified below. I acknowledge that the final approval by the City of The Dalles, if any, may result in restrictions, limitations, and construction obligations being imposed on this real property. I understand that if the property is owned in part or totality by a trust, partnership, corporation or LLC, I will be required to present legal documentation listing all persons that make-up the entity, as well as proof of my authorization to act on the entity's behalf. I consent and hereby authorize City representative(s) to enter upon my property for any purpose of examination or inspection related to this application. I certify that all information provided is true and correct, and consent to the filing of the application, authorized by my original signature below.

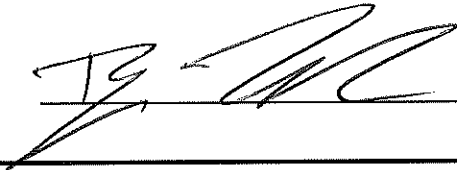
The Site Team/Pre-Application meeting does not constitute an approved Land Use Application. The resulting Land Use Application must adhere to all applicable standards in effect at the time of application.

Signature of Applicant

Signature of Property Owner



4/10/24
Date



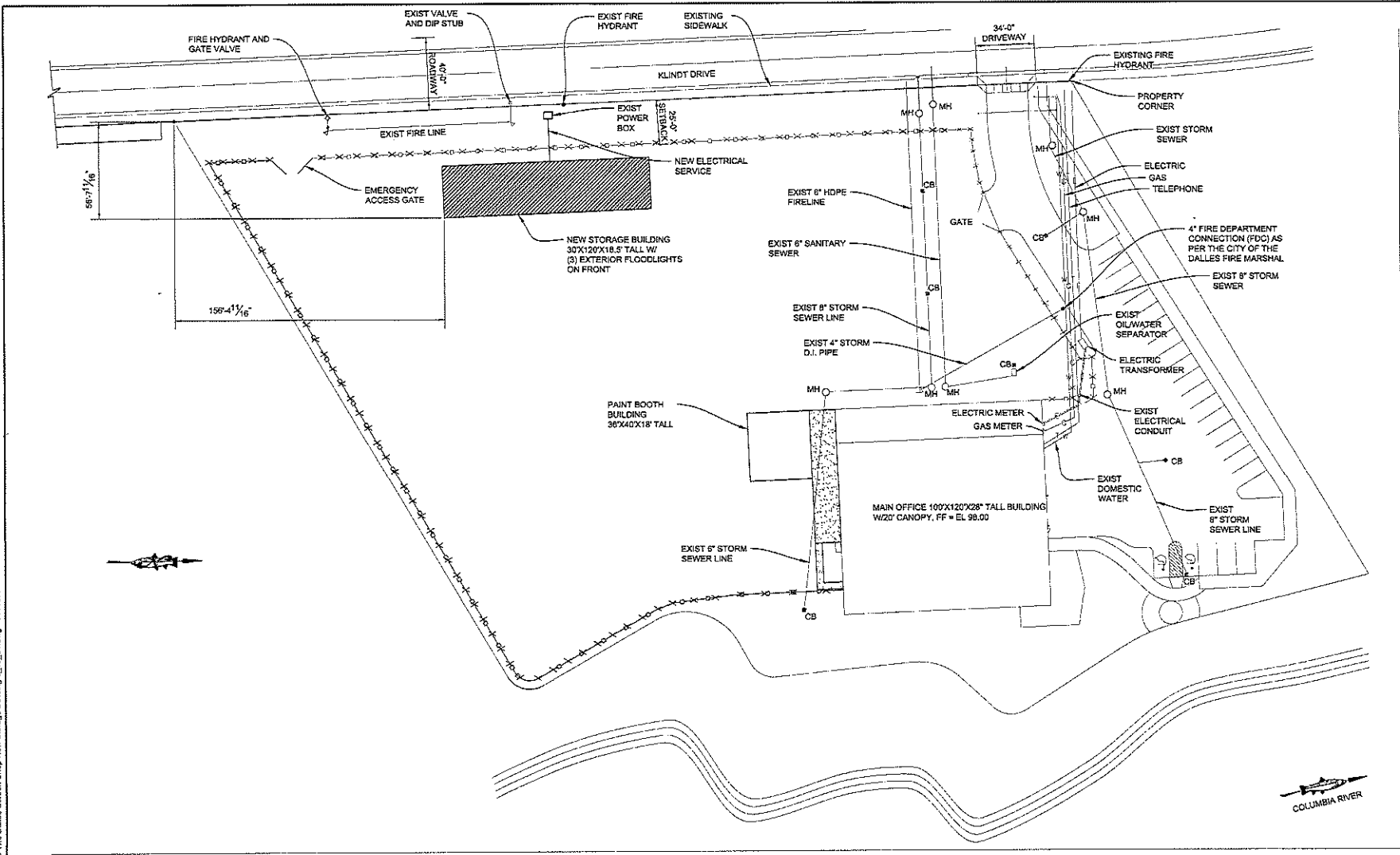
4/10/24
Date

Department Use Only

City Limits: Yes No Zone: _____ Overlay: _____ Airport Zone: Yes No
Geohazard Zone: _____ Flood Designation: _____
Historic Structure: Yes No Current Use: _____
Previous Planning Actions:

Erosion Control Issues? Access Issues? Utilities and Public Improvements? Items Needing Attention?

File: C:\Users\mccorm\Documents\24-008 The Dalles Screen Shop New Storage Building 1_15_24.dwg Sheet: 20/0024 Pric: 3/20/2024 7:07 PM



Oregon
 DEPARTMENT OF FISH AND WILDLIFE
 DIVISION OF PERMITTING AND REGULATIONS
 ENGINEERING SECTION
 4034 FARVIEW INDUSTRIAL DRIVE SE
 TALLAHASSEE, OREGON 97142
 TEL: (503) 945-6222



REV	DATE	DESCRIPTION

THE DALLES SCREENSHOP
 NEW STORAGE BUILDING
 SITE PLAN FOR COUNTY PERMITTING

DATE: March 20, 2024
 DESIGN BY: RLM
 DRAWN BY: RLM
 CHECKED BY: RLM
 CHIEF ENGINEER
 FILE #: 24-008
 SHEET 1
 OF 1



City of The Dalles
Community Development Dept.
 313 Court Street
 The Dalles, OR 97058
 (541) 296-5481, ext. 1125
 www.thedalles.org

Site Team #: ST 016-24
 Received: 04/30/2024
 Filing Fee: _____
 Receipt #: _____
 Meeting Date: 05/09/2024

Site Team / Pre-Application Meeting

- | | | | |
|---------------------------------------|---|--|--|
| <input type="radio"/> Adjustment | <input type="radio"/> Mobile Home Park | <input type="radio"/> Conditional Use Permit | <input type="radio"/> Property Line Adjustment |
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| <input type="radio"/> Variance | <input type="radio"/> Vacation (Street) | <input type="radio"/> Comp Plan Amendment | <input type="radio"/> Comp Plan/Zone Change |
| <input type="radio"/> Subdivision | <input type="radio"/> Zone Change | <input type="radio"/> Other: _____ | |

Applicant

Name: EDJE Venture, LLC
 Address: PO Box 966
The Dalles, OR 97058
 Phone #: 541-993-3959 (Ed)
 Email: jessica@devcomechanical.com

Legal Owner (if other than Applicant)

Name: Ed and Jessica DeVlaeminck
 Address: PO Box 966
The Dalles, OR 97058
 Phone #: 541-993-5600 (Jess)
 Email: ed@devcomechanical.com

Property Information

Address: 1539 Bargeway Road The Dalles, OR

Map and Tax Lot: 02N13 E33A 00600 00

Project Description (continue on next page if necessary)

Adding a second story to the existing single story office.

Application Policy

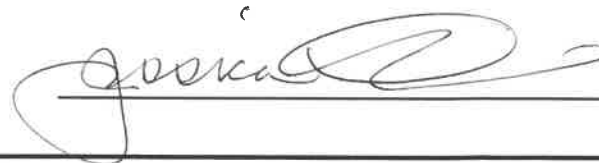
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The Site Team/Pre-Application meeting does not constitute an approved Land Use Application. The resulting Land Use Application must adhere to all applicable standards in effect at the time of application.

Signature of Applicant

Signature of Property Owner


_____ member _____
Date 4/30/24


_____ _____
Date 4/30/24

Department Use Only

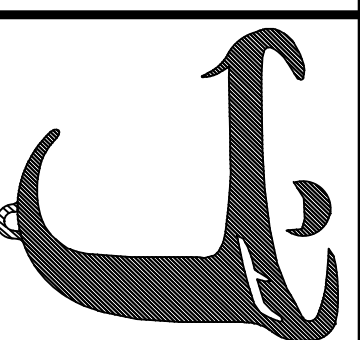
City Limits: Yes No Zone: _____ Overlay: _____ Airport Zone: Yes No
Geohazard Zone: _____ Flood Designation: _____
Historic Structure: Yes No Current Use: _____

Previous Planning Actions:

Erosion Control Issues? Access Issues? Utilities and Public Improvements? Items Needing Attention?

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BELL DESIGN COMPANY
CIVIL ENGINEERING LAND SURVEYING
900 WEST STEUBEN STREET, P.O.B. 306, BINGEN, WA, 98605
PHONE (504) 443-3886 FAX (504) 443-3885



PROJECT INFORMATION
DEVCO MECHANICAL
PROPOSED OFFICE EXPANSION
1534 BARGEWAY RD THE DALLES, OR

JOB NO: 23B429
DATE: 04/2/24
DRAWN BY: EAH CHECKED BY: DAB
REVISIONS: DATE:
RECORD DRAWINGS: DATE:

REGISTERED PROFESSIONAL ENGINEER
55,816
OREGON
13,200
DEVCO A. BELL
4-3-24
EXPIRES: 12-31-25

SHEET NO.
G1.00

PROJECT INFORMATION

PROPERTY ADDRESS
1534 BARGEWAY RD
THE DALLES, OR 97058

OWNER CONTACT
D&E, LLC
ED DeVLAEMINCK
T. (541)298-8889
E. ed@devco.com

PROJECT DATA
THIS PROJECT CONSISTS OF A SECOND STORY BEING ADDED TO AN EXISTING SINGLE LEVEL OFFICE WITH ATTIC. THE BUILDING IS WOOD CONSTRUCTION.

DESIGN LOADS

DEAD	ROOF FLOOR	18PSF
LIVE	FLOOR	15PSF
ROOF SNOW	ROOF SNOW	25PSF
GROUND SNOW	GROUND SNOW	44PSF
UPPER LEVEL OFFICE	UPPER LEVEL OFFICE	80PSF
WIND	WIND	110 MPH
EXP C	EXP C	EXP C
CAT C	CAT C	CAT C

SEISMIC
CONSTRUCTION TYPE: TYPE V-B
OCCUPANCY TYPE: B, S-2
STORIES: 2
FIRE SPRINKLERS: NO

DRAWING INDEX

G1.00	GENERAL INFORMATION
A1.00	EXISTING & PROPOSED ELEVATIONS
A2.00	GROUND FLOOR PLANS
A2.01	UPPER FLOOR PLANS
S1.00	STRUCTURAL NOTES
S2.00	FOUNDATION & FLOOR FRAMING PLANS
S2.01	ROOF FRAMING PLAN
S3.00	BUILDING SECTIONS

SYMBOLS

DRAWING TITLE
DRAWING SCALE

ROOM TYPE X-Y-Y	ROOM INFORMATION ROOM WIDTH X-X (FT-IN) ROOM DEPTH Y-Y (FT-IN)
ELEVATION X XX	ELEVATION X SHOWN ON SHEET XX
DETAIL X XX	DETAIL X SHOWN ON SHEET XX
REVISION CLOUD	REVISION NUMBER X
DOOR WIDTH X-X (FT-IN) DOOR HEIGHT Y-Y (FT-IN)	DOOR WIDTH X-X (FT-IN) DOOR HEIGHT Y-Y (FT-IN)
WINDOW WIDTH X-X (FT-IN) WINDOW HEIGHT Y-Y (FT-IN)	WINDOW WIDTH X-X (FT-IN) WINDOW HEIGHT Y-Y (FT-IN)
SMOKE DETECTOR	SMOKE DETECTOR
MINI-SPLIT	MINI-SPLIT

ABBREVIATIONS

CL	CENTERLINE DIAMETER
B.O.	BOTTOM OF
CJ	CONTROL JOINT
CONC	CONCRETE
CONT	CONTINUOUS
DW	DISHWASHER
E	EAST
EQ	EQUAL
(E)	EXISTING
FD	FLOOR DRAIN
FF	FINISHED FLOOR
FLR	FLOOR
FT	FOOT
GYP	GYPSUM
HB	HOSE BIBB
HVAC	HEATING, VENTILATING, & AIR CONDITIONING
ID	INSIDE DIAMETER
INSUL	INSULATION
LAV	LAVATORY
MAX	MAXIMUM
MIN	MINIMUM
N	NORTH
(N)	NEW
NTS	NOT TO SCALE
OAA	OR APPROVED ALTERNATIVE
OC	ON CENTER
OD	OUTSIDE DIAMETER
PLY	PLYWOOD
PT	PRESSURE TREATED
REF	REFRIGERATOR
REINF	REINFORCE(D)(ING)
REQ'D	REQUIRED
RO	ROUGH OPENING
S	SOUTH
SHTNG	SHEATHING
SIM	SIMILAR
SPECS	SPECIFICATION
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
W/	WITH
W/O	WITHOUT
W	WEST
WH	WATER HEATER

CODE ANALYSIS

JURISDICTION
WASCO COUNTY

APPLICABLE CODE
2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC)

OCCUPANCY (CHAPTER 3)
GROUND FLOOR B/S-2 (LOW HAZARD)
UPPER FLOOR B

ALLOWABLE HEIGHT, STORIES & AREA (TABLE 504.3, 504.4, 506.2)

ALLOWABLE (CONSTRUCTION TYPE V-B)	ACTUAL
HT. = 40'	HT. = 24'
S-2 = 2 STORIES, 13,500 SF/STORY	S-2 = 1 STORY, 1743 SF/STORY
B = 2 STORIES, 9000 SF/STORY	B = 2 STORIES, 1743 SF/STORY

NONSEPARATED OCCUPANCIES (SECTION 508.3)
BUILDING MEETS REQUIREMENTS OF NONSEPARATED CLASSIFICATION. NO FIRE SEPARATION REQUIRED.

CONSTRUCTION TYPE (CHAPTER 6)
TYPE V-B

FIRE RESISTIVE REQUIREMENTS (TABLE 601)

STRUCTURAL FRAME	0 HOURS	EXTERIOR NON-BEARING WALLS & PARTITIONS	0 HOURS
EXTERIOR BEARING WALLS	0 HOURS	INTERIOR NON-BEARING WALLS & PARTITIONS	0 HOURS
INTERIOR BEARING WALLS	0 HOURS	FLOOR CONSTRUCTION	0 HOURS
		ROOF CONSTRUCTION	0 HOURS

FIRE RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 705.5)

FIRE SEPARATION DISTANCE	CONSTRUCTION TYPE	OCCUPANCY	1 HR	0 HR
X' < 5'	ALL (V-B)	B,S-2	1 HR	0 HR
5' < X' < 10'	OTHERS(V-B)	B,S-2	1 HR	0 HR
10' < X' < 30'	OTHERS(V-B)	B,S-2	0 HR	0 HR

EXTERIOR WALL OPENINGS (SECTION 705, TABLE 705.8)

FIRE SEPARATION DISTANCE	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA
5' < X' < 10'	UNPROTECTED, NONSPRINKLERED	10%
10' < X' < 15'	UNPROTECTED, NONSPRINKLERED	15%
15' < X' < 20'	UNPROTECTED, NONSPRINKLERED	25%
20' < X' < 25'	UNPROTECTED, NONSPRINKLERED	45%
25' < X' < 30'	UNPROTECTED, NONSPRINKLERED	70%
30' < X'	UNPROTECTED, NONSPRINKLERED	NO LIMIT

FIRE PROTECTION SYSTEMS (SECTION 903)
NONSPRINKLERED
NONSEPARATED OCCUPANCIES

OCCUPANT LOAD (TABLE 1004.5)
BUSINESS: 150 GROSS
WAREHOUSE: 500 GROSS

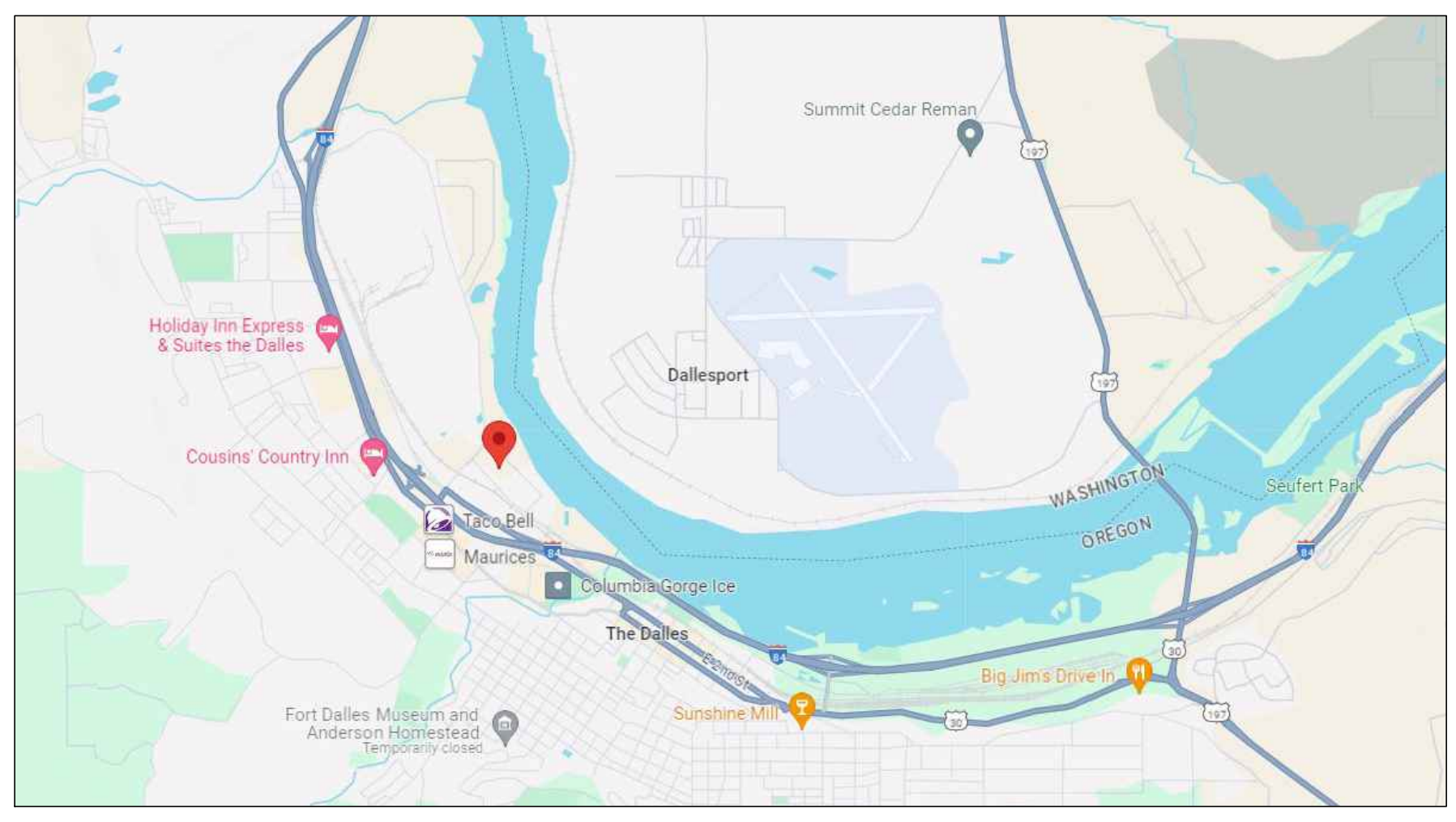
ROOF ASSEMBLY FIRE CLASSIFICATION (TABLE 1505.1)
CONSTRUCTION TYPE V-B
CLASS C ROOF COVERING IS REQUIRED

AREA SUMMARY

LOWER LEVEL	4504 SF
UPPER LEVEL	1004 SF
TOTAL	5508 SF

OCCUPANT SUMMARY

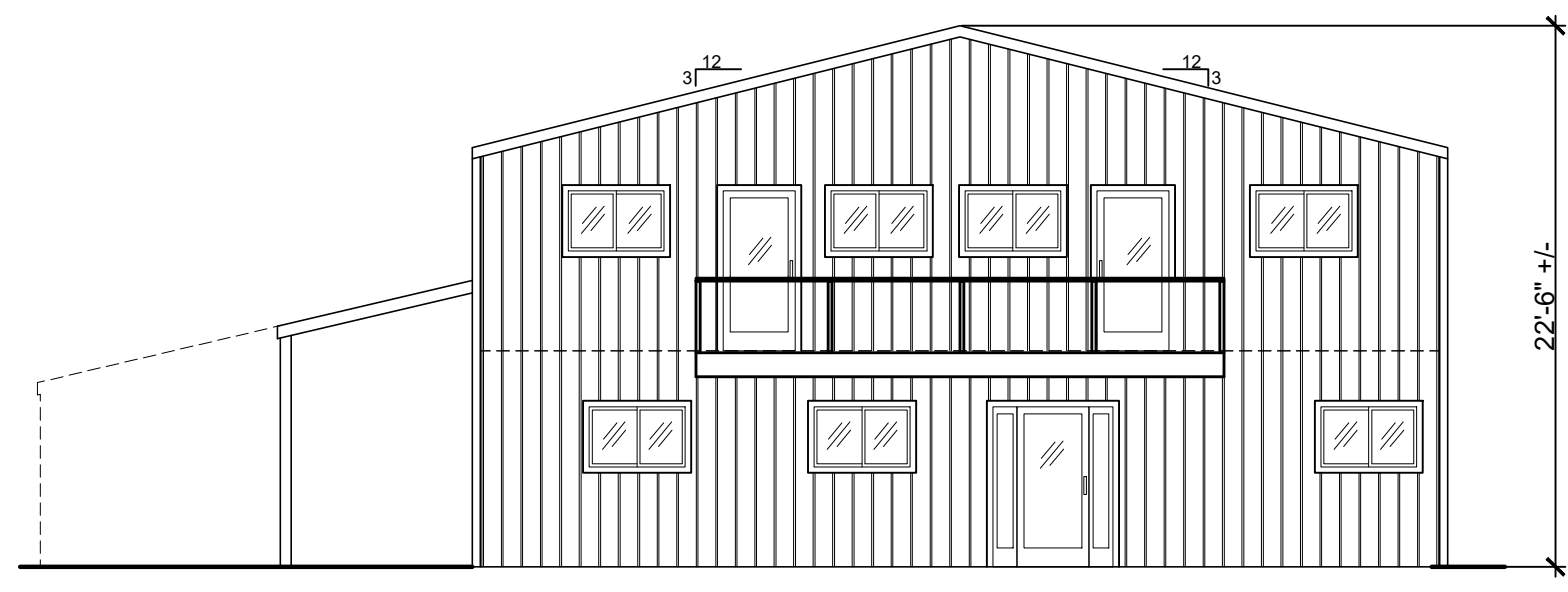
BUSINESS	150 SF/OCC	18 OCC
STORAGE	500 SF/OCC	18 OCC
TOTAL		18 OCC



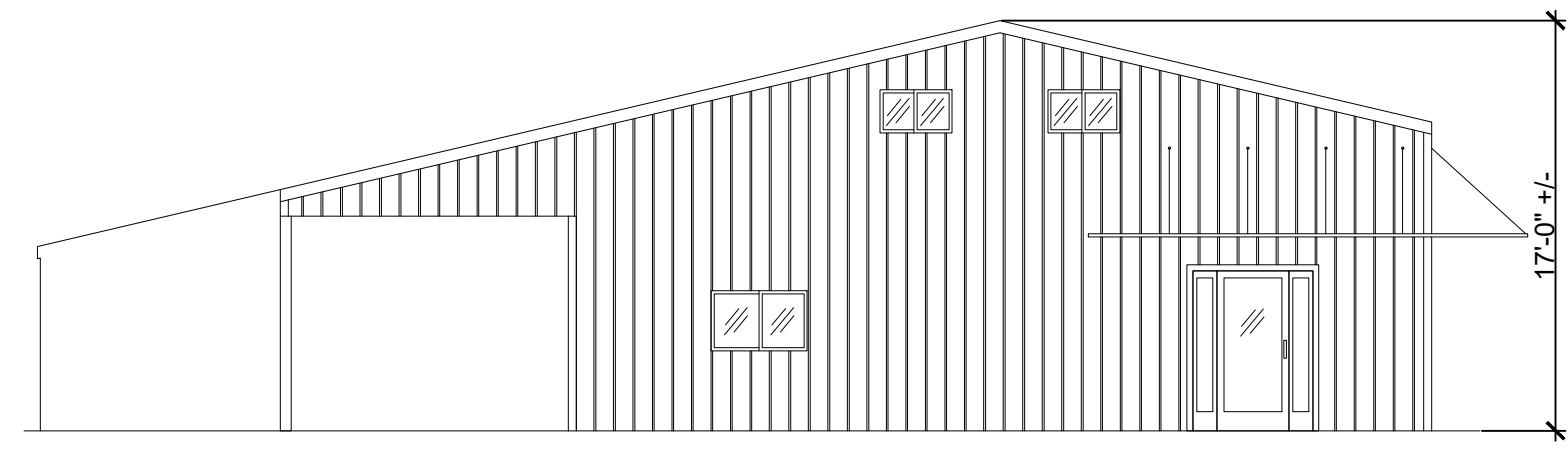
A-3 VICINITY MAP
G1.00 NO SCALE



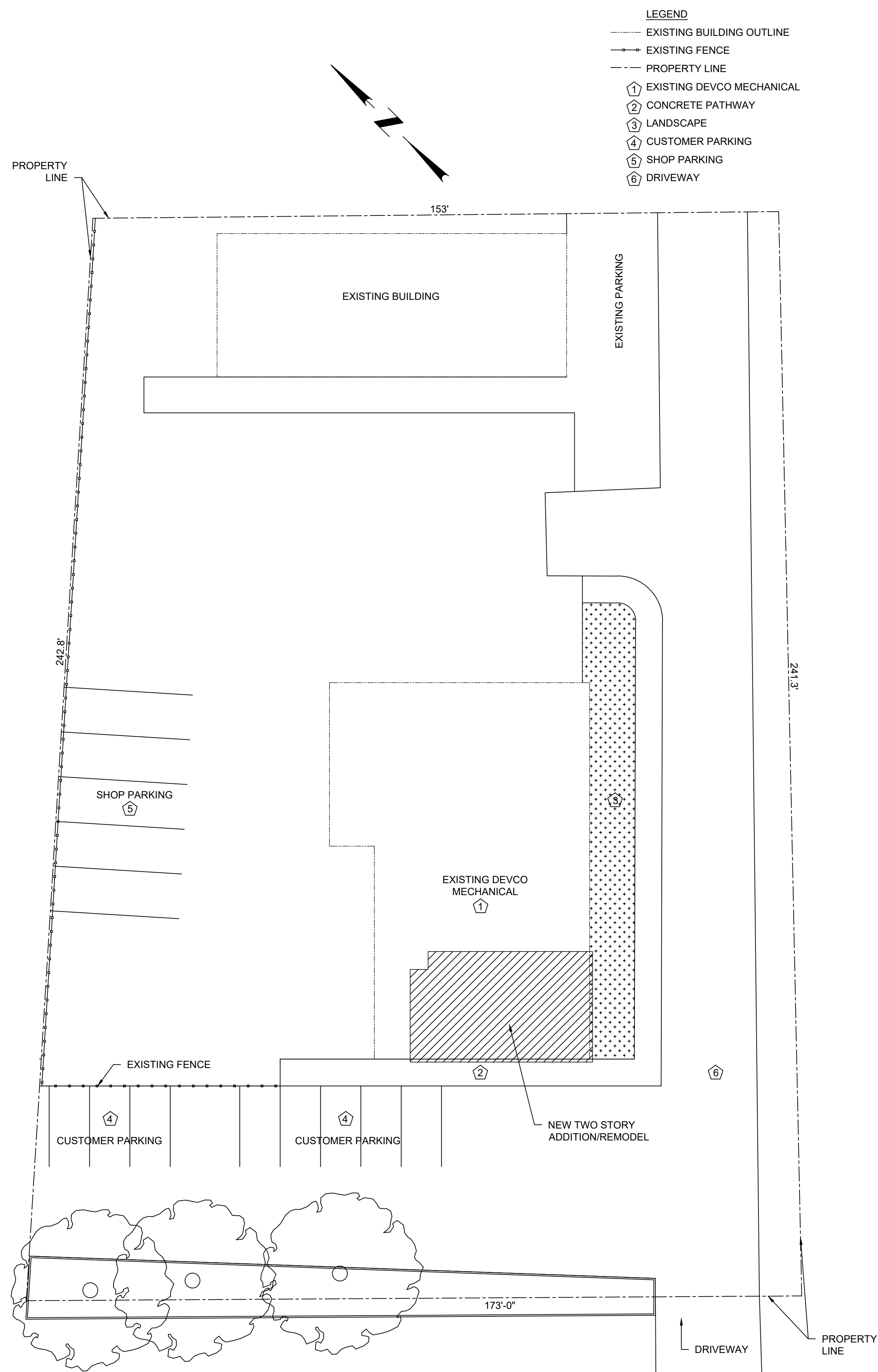
B-3 PROJECT LOCATION
G1.00 NO SCALE



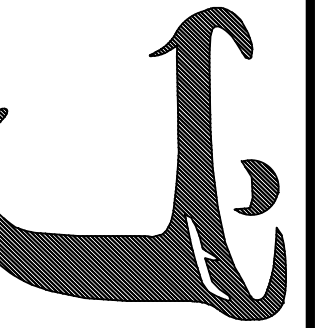
PROPOSED SOUTH ELEVATION
G1.00 SCALE: 1/8" = 1'-0"



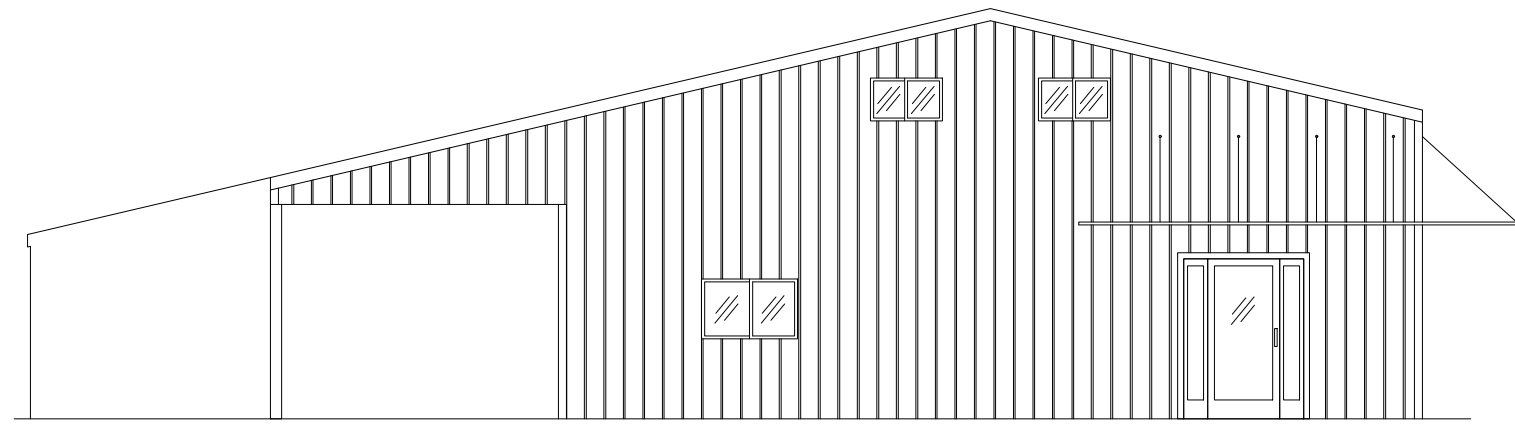
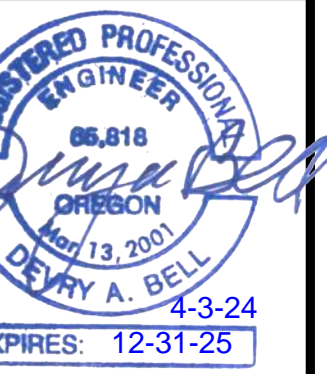
C-4 EXISTING SOUTH ELEVATION
G1.00 SCALE: 1/8" = 1'-0"



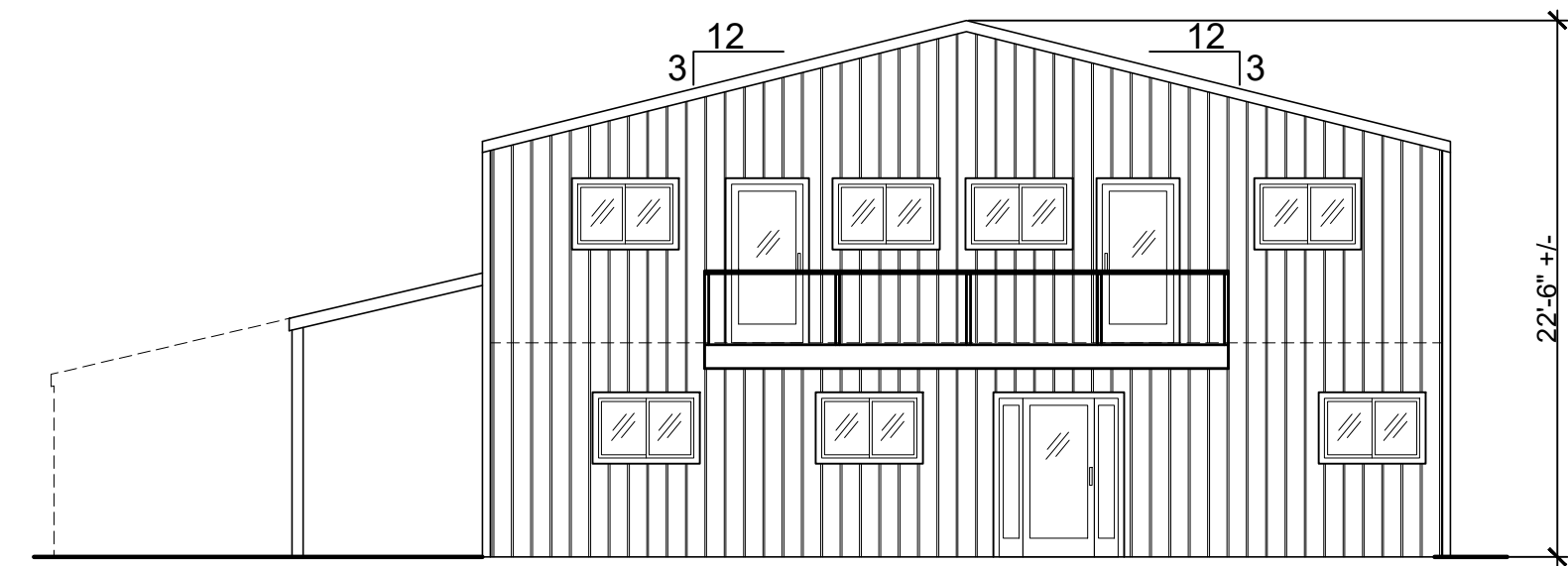
C-1 SITE PLAN & AREA OF WORK
G1.00 SCALE: 1/16" = 1'-0"



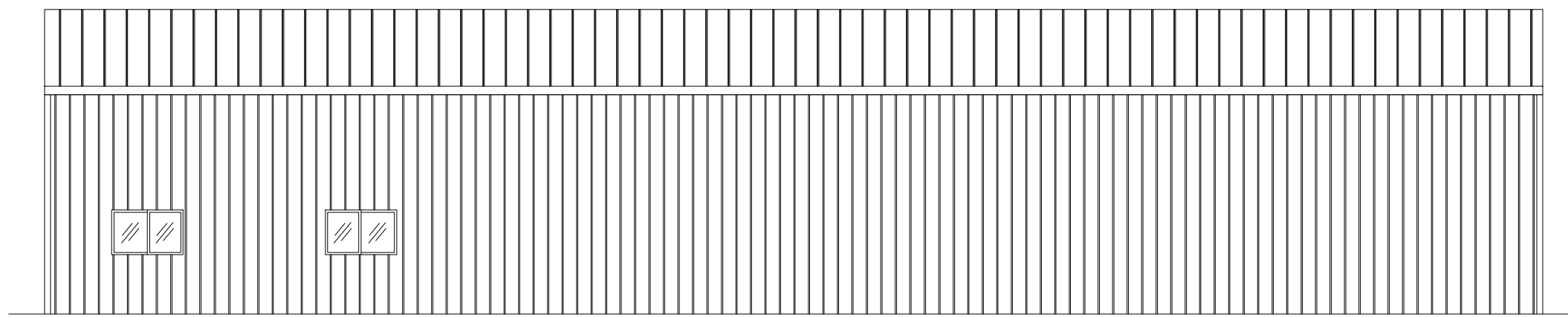
JOB NO.	23B429
DATE	04/2/24
DRAWN BY	EAH
CHECKED BY	DAB
REVISIONS	DATE
RECORD DRAWINGS	DATE



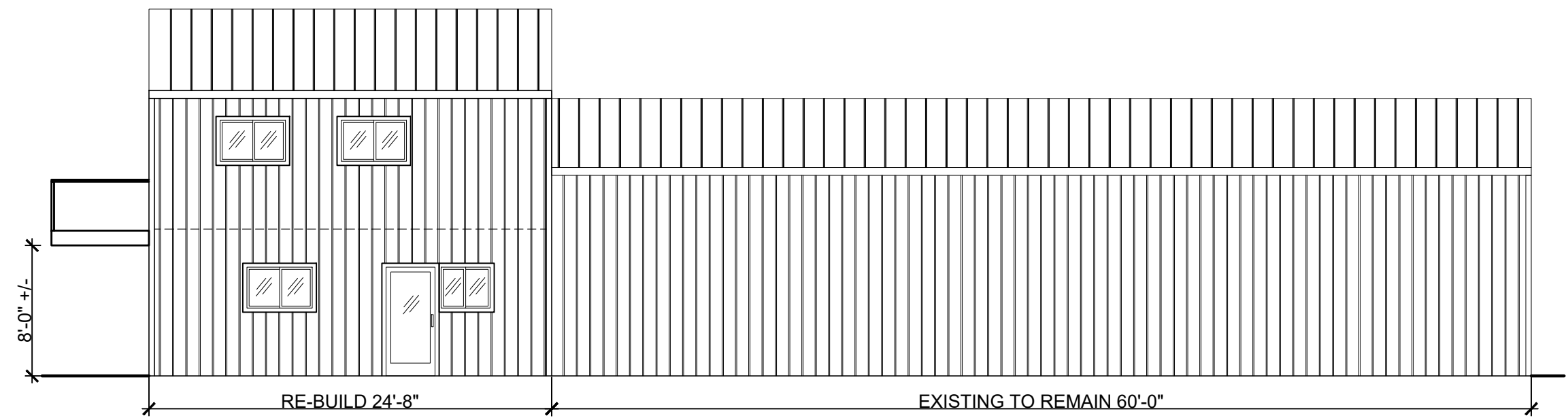
A-1 EXISTING SOUTH ELEVATION
A1.00 SCALE: 1/8" = 1'-0"



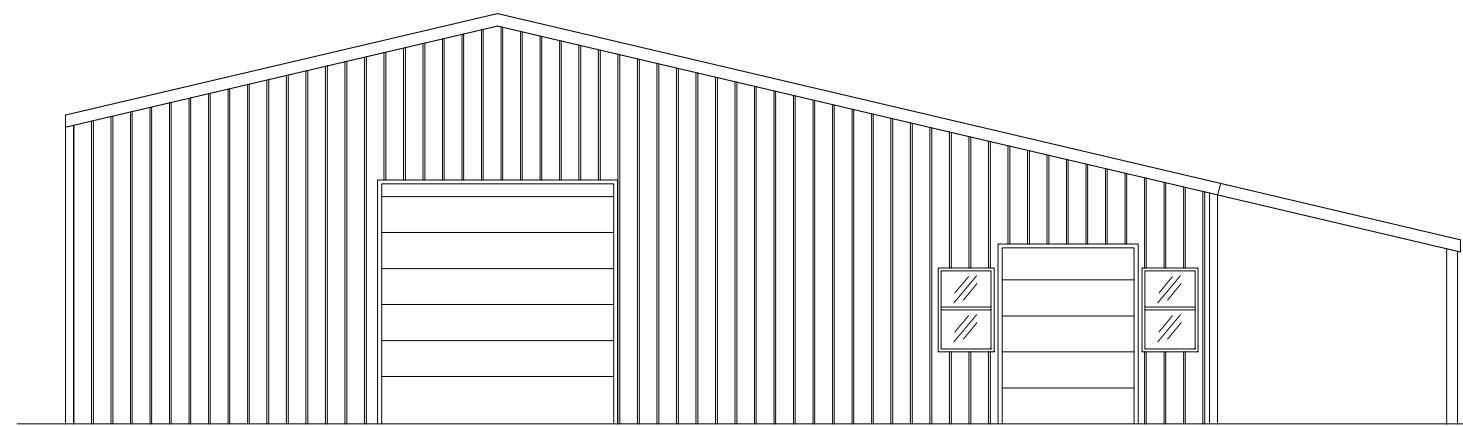
A-3 PROPOSED SOUTH ELEVATION
A1.00 SCALE: 1/8" = 1'-0"



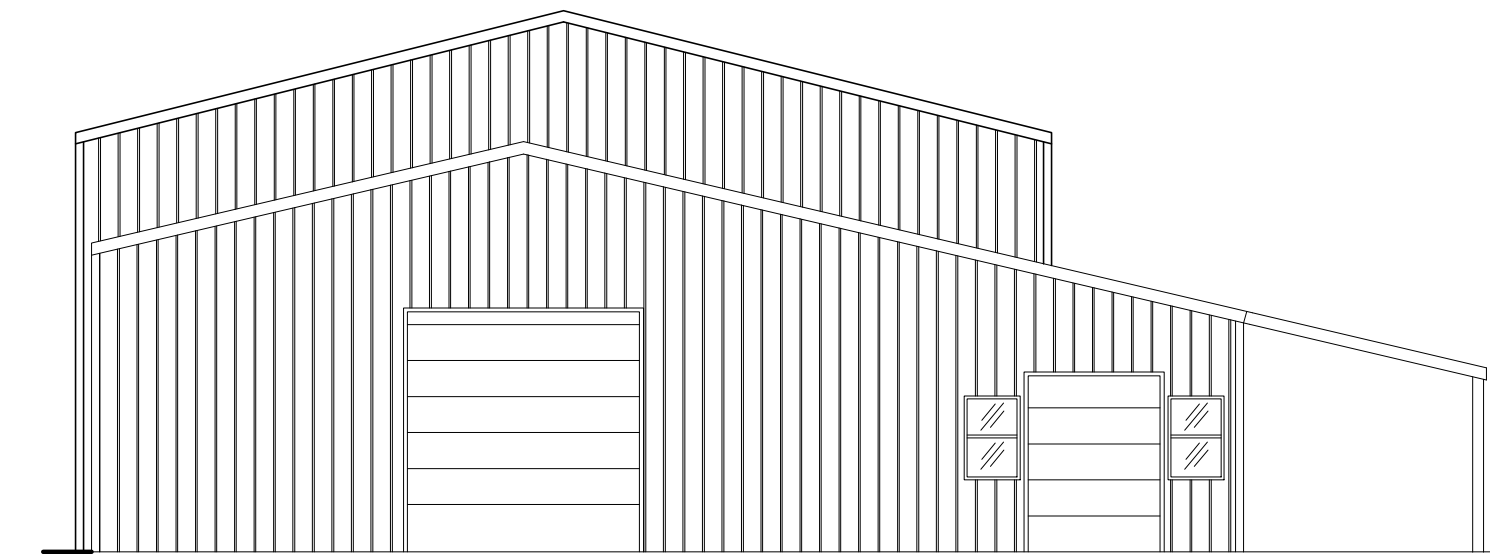
B-1 EXISTING EAST ELEVATION
A1.00 SCALE: 1/8" = 1'-0"



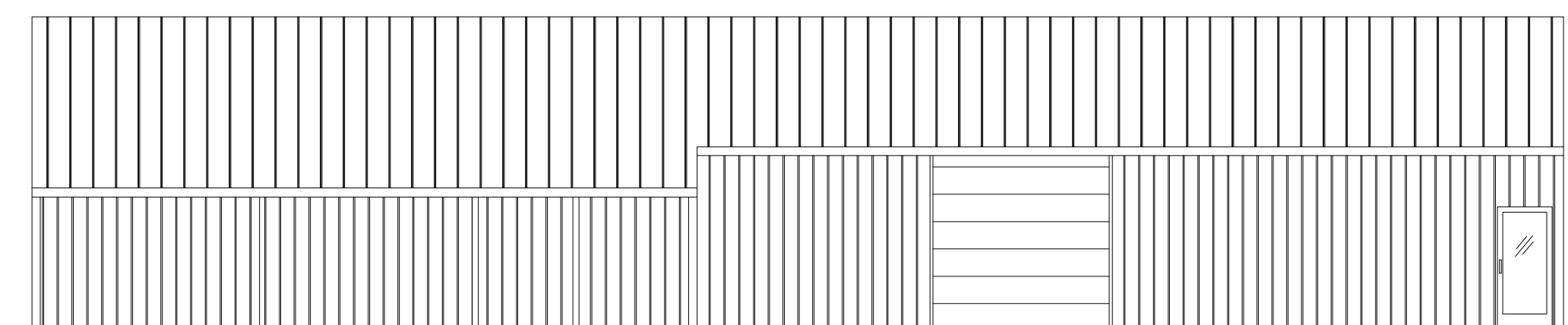
B-3 PROPOSED EAST ELEVATION
A1.00 SCALE: 1/8" = 1'-0"



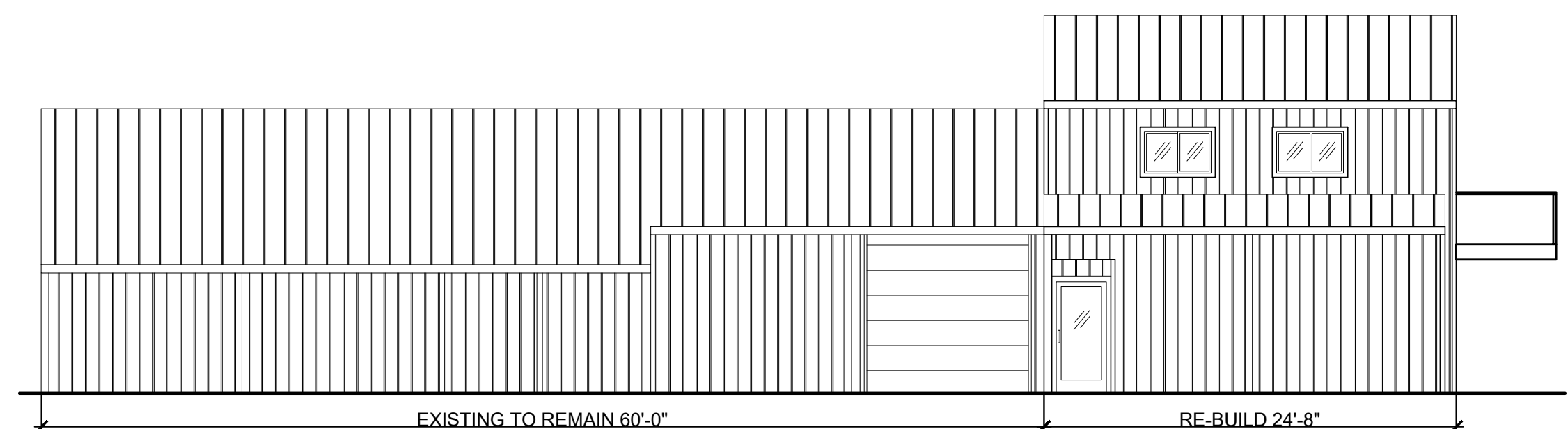
C-1A EXISTING NORTH ELEVATION
A1.00 SCALE: 1/8" = 1'-0"



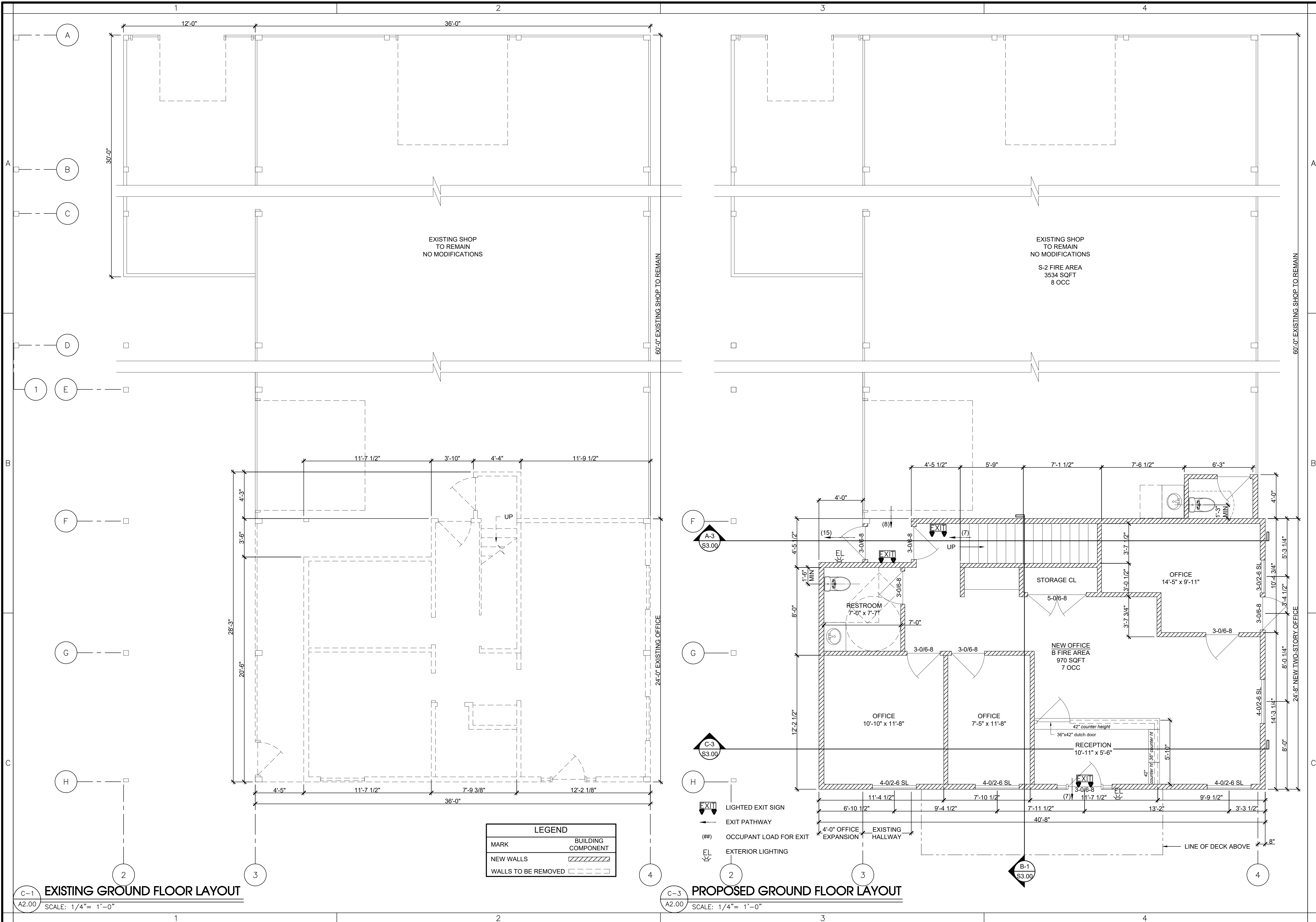
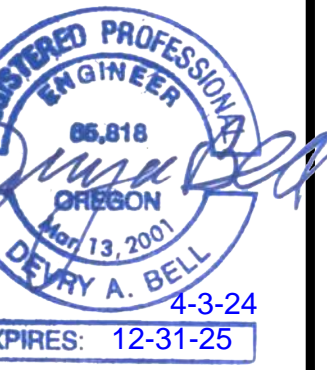
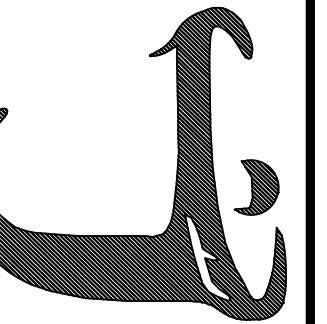
C-3A PROPOSED NORTH ELEVATION
A1.00 SCALE: 1/8" = 1'-0"



C-1B EXISTING WEST ELEVATION
A1.00 SCALE: 1/8" = 1'-0"

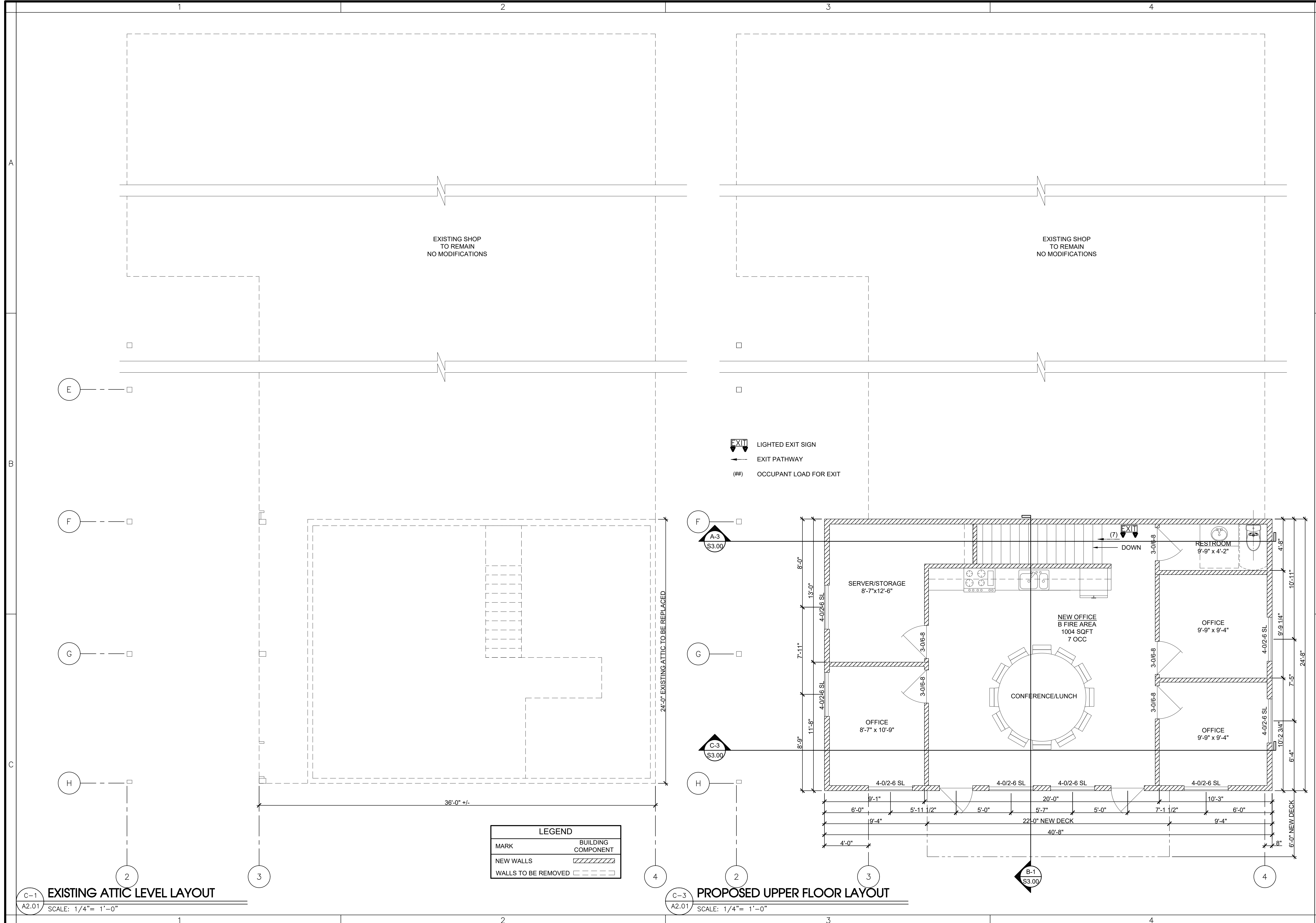
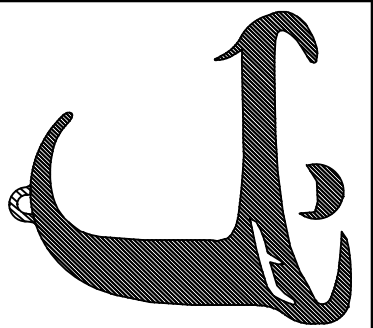


C-3B PROPOSED WEST ELEVATION
A1.00 SCALE: 1/8" = 1'-0"



C-1
A2.00
EXISTING GROUND FLOOR LAYOUT
SCALE: 1/4" = 1'-0"

C-3
A2.00
PROPOSED GROUND FLOOR LAYOUT
SCALE: 1/4" = 1'-0"



C-1
A2.01
EXISTING ATTIC LEVEL LAYOUT
SCALE: 1/4" = 1'-0"

C-3
A2.01
PROPOSED UPPER FLOOR LAYOUT
SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES

01.0 GENERAL NOTES

- 1. THESE NOTES SET MINIMUM STANDARDS FOR CONSTRUCTION. THE DRAWINGS GOVERN OVER THE STRUCTURAL NOTES TO THE EXTENT SHOWN.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON DRAWINGS AND IN FIELD. COORDINATE LOCATIONS OF OPENINGS THROUGH FLOORS, ROOFS AND WALLS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS.
3. CONSTRUCTION MEANS, METHODS AND ALL NECESSARY TEMPORARY SUPPORT PRIOR TO COMPLETION OF VERTICAL AND LATERAL LOAD SYSTEMS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. COMPLYING WITH ALL SAFETY AND OSHA REQUIREMENTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
5. WHERE REFERENCE IS MADE TO ASTM, AISC, ACI OR OTHER STANDARDS, THE LATEST ISSUE AT THE BUILDING PERMIT DATE SHALL APPLY.

Table with columns: ROOFS, WIND, SEISMIC, LIVE, SNOW LOAD, BASIC WIND SPEED, EXPOSURE, LAT. / LONG., DESIGN CATEGORY. Values include 25 PSF, 110 MPH, 3-SEC GUST, 45.613327/-121.197842, D1.

- 8. MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING LARGER THAN 2 INCH DIAMETER OR OTHER ITEMS PRODUCING A HANGER LOAD OVER 50 LBS. SHALL BE HUNG BY A SYSTEM APPROVED BY THE OWNER'S REPRESENTATIVE.
9. BRACE ALL MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING, ETC. TO THE TOP OF STRUCTURAL MEMBERS TO RESIST 34 PERCENT OF ITS WEIGHT BY A SYSTEM APPROVED BY THE MECHANICAL OR ELECTRICAL ENGINEER RESPECTIVELY.
10. DETAILS SHOWN ON THE DRAWINGS ARE INTENDED TO APPLY AT ALL SIMILAR CONDITIONS AND LOCATIONS.
11. DO NOT SCALE INFORMATION FROM DRAWINGS
12. SPECIFICATIONS: FOR MORE COMPLETE INFORMATION, SEE SPECIFICATIONS IF APPLICABLE.
13. EXISTING DIMENSION AND CONDITIONS: IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO ANY CONSTRUCTION EFFORTS.
14. OMISSIONS OF CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
15. THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUEST FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS.
16. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE.
17. OWNER AND OR CONTRACTOR SHALL REVIEW THESE PLANS PRIOR TO SUBMISSION TO ANY REVIEWING AGENCIES OR INCLUDING WITH CONTRACT DOCUMENTS AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ENGINEER FOR CORRECTION.

02.0 FOUNDATIONS

- 1. DESIGN SOIL PRESSURE IS 1500 PSF.
2. ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL OR APPROVED COMPACTED FILL. FOOTINGS SHALL BEAR AT A MINIMUM OF 18 INCHES BELOW FINAL GRADE.
3. DO NOT EXCAVATE CLOSER THAN A 2:1 SLOPE BELOW FOOTINGS.
4. USE SMOOTH EDGED BACKHOE BUCKET WITHOUT TEETH TO EXCAVATE FOOTING TRENCHES, AND CLEAN ALL FOOTING EXCAVATIONS OF LOOSE MATERIAL BY HAND.
5. COMPLY WITH SPECIFICATIONS FOR ALL FILLS AND EXCAVATIONS.
6. EXCAVATIONS MAY BE MADE UNDER CONTINUOUS FOOTINGS FOR PIPES.
7. FILL MATERIAL SHALL CONSIST OF SOIL APPROVED BY AN ENGINEER THAT IS COMPACTABLE TO THE FOLLOWING LIMIT UNDER THE WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION.
8. BACKFILL MATERIAL PLACED BEHIND RETAINING WALLS AND EXTENDING A HORIZONTAL DISTANCE EQUAL TO AT LEAST HALF OF THE HEIGHT OF THE RETAINING WALL SHOULD CONSIST OF GRANULAR RETAINING WALL BACKFILL APPROVED BY AN ENGINEER AND COMPACTABLE TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698.
9. BASE MATERIAL IMMEDIATELY UNDER SLAB SHALL BE A 6-INCH LAYER OF CLEAN 3/4-INCH MINUS CRUSHED ROCK COMPACTED TO AT LEAST 92 PERCENT MODIFIED PROCTOR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D1557 OR AASHTO T-180.

C-1 STRUCTURAL NOTES \$1.00 NO SCALE

STRUCTURAL NOTES

03.0 CONCRETE

- 1. STRENGTH: AVERAGE CONCRETE STRENGTH AS DETERMINED BY JOB CAST, LAB CURED CYLINDER SHALL BE 2500 PSI AT 28 DAYS FOR ALL CONCRETE PLUS INCREASE DEPENDING UPON THE PLANT'S STANDARD DEVIATION AS SPECIFIED IN ACI 318.
2. PLACE AND CURE ALL CONCRETE PER ACI CODES AND STANDARDS.
3. SLEEVES, PIPES OR CONDUITS OF ALUMINUM SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE UNLESS EFFECTIVELY COATED.
4. PROVIDE CONTROL JOINTS IN ALL SLABS ON GRADE.
5. PROVIDE 1/4-INCH PRE-MOLDED EXPANSION JOINT MATERIAL BETWEEN SLABS AND WALLS THAT ARE NOT DOWELED TOGETHER, AND AROUND COLUMNS THAT DO NOT HAVE SLAB BLOCKOUTS.

03.1 REINFORCING (CONCRETE)

- 1. ALL REINFORCING STEEL SHALL BE ASTM A615, GRADE 60 EXCEPT TIES AND STIRRUPS SHALL BE GRADE 40.
2. FABRICATE AND INSTALL REINFORCING STEEL ACCORDING TO ACI 315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT.
3. PROVIDE DOWELS FROM FOOTINGS TO MATCH ALL VERTICAL WALL, PILASTER, AND COLUMN REINFORCING.
4. LAP ALL BARS IN INTERSECTING FOOTINGS 2'-0" OR 45 DIAMETERS, WHICHEVER IS GREATER.
5. SPLICES IN WALL AND FOOTING REINFORCING SHALL BE LAPPED 45 DIAMETERS OR 2'-0", WHICHEVER IS GREATER, AND SHALL BE STAGGERED AT LEAST 4 FEET AT ALTERNATE BARS.
6. PROVIDE 45 BAR DIAMETERS OR 2'-0" X 2'-0" MINIMUM CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AT ALL CORNERS AND INTERSECTIONS.
7. PROVIDE TWO (2) #4 CONTINUOUS BARS AT TOP AND AT DISCONTINUOUS ENDS OF ALL WALLS.
8. VERTICAL WALL REINFORCING SHALL BE PLACED IN CENTER OF WALL UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
9. VERTICAL WALL REINFORCING SHALL BE PLACED IN CENTER OF WALL UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
10. UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING REINFORCING AROUND WALL OPENINGS LARGER THAN 30" X 30".
a. TWO (2) #5'S OVER X OPENING PLUS 2'-0" EACH SIDE.
b. TWO (2) #5'S UNDER X OPENING PLUS 2'-0" EACH SIDE.
c. TWO (2) #5'S EACH SIDE X FULL STORY HEIGHT.
d. PROVIDE TWO (2) #5'S X OPENING PLUS 2'-0" EACH SIDE AROUND ALL EDGES OF OPENINGS SMALLER THAN 15 INCH X 15 INCH IN STRUCTURAL SLABS, AND PLACE ONE (1) #4 X 4'-0" AT 45 DEGREES TO EACH CORNER.

03.2 CONCRETE ANCHORS

- 1. EPOXY ANCHORS: HILTI HY-150, POWERS RAWL POWER-FAST, SIMPSON ET OR SET.
a. UNLESS NOTED, INSTALL THREADED A36 RODS INTO LEAN, DRY HOLES TO EMBED DEPTH AS SHOWN ON DRAWINGS.
b. DO NOT PLACE WHEN EPOXY OR CONCRETE IS LESS THAN 50 DEGREES FAHRENHEIT, UNLESS SPECIAL PRODUCTS FOR COLD WEATHER ARE USED.
c. DO NOT CUT MAIN REINFORCING OR BREAK OUT BACK SURFACE WHEN DRILLING HOLES.

05.0 STRUCTURAL AND MISCELLANEOUS STEEL

- 1. DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO THE STEEL CONSTRUCTION MANUAL OF AISC.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL OSHA REQUIREMENTS FOR SAFETY AND ERECTION INCLUDING, BUT NOT LIMITED TO, ERECTION BOLTS, BRACING, FALL PROTECTION, GUARD RAILS, ETC.
3. ALL STEEL TO BE ASTM A36.
4. ALL STRUCTURAL TUBING SHALL BE ASTM A500, GRADE B, FY = 46 KSI.
5. ALL PIPE SHALL BE ASTM A53, TYPE E OR S, GRADE B.
6. ALL THREADED RODS SHALL BE ASTM A36.
7. ALL WELDS SHALL BE MADE BY PRE-QUALIFIED WELDERS TO AWS PRE-QUALIFIED WELDED JOINT STANDARDS.
a. PRIOR TO BEGINNING AND DURING WELDING, ALL REQUIREMENTS OF THE 'SPECIAL INSPECTION' SECTION OF THESE NOTES SHALL BE MET.
b. FILLER METALS SHALL MEET AWS AS SPECIFICATIONS.
c. GMAW FIELD WELDING NOT ALLOWED.
d. PREHEAT AND INTERPASS TEMPERATURES ARE TO MEET AWS REQUIREMENTS.
e. UNLESS OTHERWISE NOTED ON DRAWINGS, PROVIDE AISC MINIMUM WILD SIZES FOR ALL WELDED JOINTS.
f. SMAW IS NOT ALLOWED TO BE PLACED OVER FCAW ON PRE-EXISTING STRUCTURAL STEEL WELDED CONNECTIONS.
8. BOLTS SHALL BE A307 UNLESS OTHERWISE NOTED.
9. BOLTS SHALL BE A325N INSTALLED TO A "SNUG TIGHT" CONDITION AND TORQUED TO 50 FT. LBS.

STRUCTURAL NOTES

05.0 STRUCTURAL AND MISCELLANEOUS STEEL (CONT'D)

- 10. BOLTS SHALL BE LOCATED IN THE TOP OF VERTICALLY SLOTTED HOLES AND THE CENTER OF HORIZONTALLY SLOTTED HOLES, UNLESS OTHERWISE NOTED.
11. ALL EXPOSED STEEL, AND STEEL NOTED ON THE DRAWINGS AS GALVANIZED, SHALL BE HOT DIPPED GALVANIZED PER ASTM A123.
06.0 WOOD FRAMING
1. ALL GLUED LAMINATED LUMBER (GL) BEAMS TO MEET THE FOLLOWING CRITERIA:
SIMPLY SUPPORTED 24F-V4
CONTINUOUS OVER SUPPORT 24F-V8
CANTILEVERED 24F-V8
ALL PARALLEL STRAND LUMBER (PSL) BEAMS TO BE TRUS JOIST MACMILLAN PARALLAM PSL BEAMS MEETING THE FOLLOWING CRITERIA:
FB = 2900 PSI
FV = 290 PSI
E = 2,000,000 PSI
ALL LAMINATED VENEER LUMBER (LVL) TO BE TRUS JOIST MACMILLAN MICROLAM LVL MEETING THE FOLLOWING CRITERIA:
FB = 2800 PSI
FV = 285 PSI
E = 1,800,000 PSI

2. ALL LUMBER SPECIES AND GRADE TO BE AS FOLLOWS:

Table with columns: JOISTS, BEAMS AND STRINGERS, 6" NOMINAL & GREATER BEAMS AND STRINGERS, BUCKS, BLOCKING, BRIDGING AND MISC., STRUCTURAL 2X STUDS, PLATES, SILLS AND HEADERS FOR WALL FRAMING, POSTSDF #1-19 PERCENT M.C.SILLS, LEDGERS, PLATES, ETC. EMBEDDED IN OR IN CONTACT WITH CONCRETE, POSTS, ETC. EMBEDDED IN OR IN CONTACT WITH GROUND. Values include DF #2-19 PERCENT M.C., DF #3 OR BETTER, DF #2-19 PERCENT M.C., DF #2 K.D. -15 PERCENT M.C., PRESSURE TREATED HEM FIR #2 AWPA UC3, PRESSURE TREATED HEM FIR #2 AWPA UC3.

- 3. SHEATHING SHALL BE C-D GRADE WITH EXTERIOR GLUE. THICKNESS AND INDEX NUMBER AS NOTED BELOW.
LOCATION THICKNESS INDEX NO.
WALLS 1/2 INCH 3/16
FLOORS 1/2 INCH T&G 4/8
ROOFS (SUPPORTS 24" & LESS) 3/8 INCH 4/10
"GREEN" ROOFS (SUPPORTS 24" & LESS) 1/2 INCH 4/8

Table with columns: LOCATION, THICKNESS, INDEX NO. Values include WALLS 1/2 INCH 3/16, FLOORS 1/2 INCH T&G 4/8, ROOFS (SUPPORTS 24" & LESS) 3/8 INCH 4/10, "GREEN" ROOFS (SUPPORTS 24" & LESS) 1/2 INCH 4/8.

- 4. GYPSUM SHEATHING AND WALLBOARD SHALL HAVE 2x BLOCKING AT ALL EDGES AND SHALL BE EXTENDED TO THE TOP PLATE WHEN SHOWN ON DRAWINGS TO BE A SHEARWALL.
5. CROSSBRIDGE OR SOLID BLOCK AT 8'-0" MAXIMUM ON CENTER FOR SLID SAWN FLOOR OR ROOF JOISTS 12 INCHES AND DEEPER UNLESS BOTTOMS OF JOISTS ARE TO RECEIVE DIRECT APPLIED CEILING.
6. FRAMING ANCHORS, JOIST HANGERS, POST CAPS, ETC., SHALL BE BY 'SIMPSON STRONG-TIE'.
7. ALL BOLT HEADS AND NUTS BEARING ON WOOD TO BE PROVIDED WITH A WASHER.
8. ALL BOLT HOLES IN WOOD TO BE 1/16 INCH LARGER THAN THE BOLT.
9. DO NOT RECESS BOLT HEADS OR NUTS UNLESS SHOWN ON DRAWINGS.
10. BOLTS IN SLOTTED METAL PLATES SHALL BE LOCATED IN THE TOP OF VERTICALLY SLOTTED HOLES AND THE CENTER OF HORIZONTALLY SLOTTED HOLES, UNLESS OTHERWISE NOTED.
11. ALL NAILING SHALL BE PER TABLE 2304.1.1 OF THE IBC.
12. NAILS, BOLTS OR LAGS IN PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
13. CUTTING AND NOTCHING OF JOISTS NOT ALLOWED.
14. STUDS MAY BE NOTCHED IN THE LOWER 1/5 OF THE HEIGHT OF STUD FOR ELECTRICAL AND PLUMBING PIPES, BUT NO PART OF THE NOTCH IS TO BE DEEPER THAN 25 PERCENT OF WIDTH OF STUD.
15. PROVIDE DEFLECTION SPACE OVER ALL NON-BEARING WALLS LOCATED UNDER OPEN-WEB AND PLATE CONNECTED WOOD TRUSSES.
16. LAG BOLTS SHALL BE INSTALLED IN LEAD HOLES AS FOLLOWS:
a. THE LEAD HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER AS THE SHANK AND THE SAME DEPTH AS THE LENGTH OF THE UNTHREADED SHANK.
b. THE LEAD HOLE FOR THE THREADED PORTION SHALL HAVE A DIAMETER EQUAL TO 70 PERCENT OF THE SHANK DIAMETER AND A LENGTH EQUAL TO AT LEAST THE LENGTH OF THE THREADED PORTION.
c. THE THREADED PORTION OR THE SCREW SHALL BE INSERTED IN ITS LEAD HOLE BY TURNING WITH A WRENCH, NOT BY DRIVING WITH A HAMMER.

Table with columns: VERIFICATION AND INSPECTION, CONTINUOUS, PERIODIC, REFERENCED STANDARD, IBC REFERENCE, REQUIRED ?. Rows include INSPECTION OF REINFORCING STEEL, INSPECTION OF ANCHORS, VERIFICATION OF IN-SITU CONCRETE STRENGTH, INSPECT FORMWORK, TABLE 1705.2 REQUIRED VERIFICATION AND INSPECTION OF STEEL CONSTRUCTION.

STRUCTURAL NOTES

06.12 WOOD I-JOISTS

- 1. ALL WOOD I-JOISTS SHALL BE MANUFACTURED AND DESIGNED BY TRUS JOIST MACMILLAN OR A PRIOR APPROVED JOIST MANUFACTURER.
A. ALLOWABLE INCREASE IN WOOD ROOF MEMBER STRESSES DUE TO DURATION OF LOADING:
I. 15 PERCENT MAXIMUM FOR SNOW
II. 25 PERCENT FOR NON-SNOW ROOF LIVE LOADS, AND
III. 33 PERCENT FOR SEISMIC OR WIND
B. ROOF WIND UPLIFT AS SPECIFIED IN THE IBC.
C. I-JOIST CHORDS SHALL BE LVL MATERIAL MEETING THE REQUIREMENTS NOTED IN SECTION 06.0, ITEM #1 OF THESE NOTES.
2. SUBSTITUTE JOIST MANUFACTURERS SHALL MEET OR EXCEED STRENGTH AND STIFFNESS OF TRUS JOIST MACMILLAN PRODUCTS SHOWN AND/OR NOTED.
3. LOCATION AND NUMBER OF JOIST SHOWN ARE DIAGRAMMATIC ONLY.
4. PROVIDE ADDITIONAL JOISTS AS NECESSARY TO SUPPORT MECHANICAL UNITS AND SPRINKLER LINES.
5. ALL BRIDGING, BEARING HARDWARE, BLOCKING, HANGERS, ETC., THAT CONNECTS TO THE JOISTS SHALL BE DESIGNED AND PROVIDED BY THE JOIST MANUFACTURER TO FIT THE CONDITION.
6. HOLES THROUGH JOIST WEBS SHALL FOLLOW THE WRITTEN RECOMMENDATIONS OF THE JOIST MANUFACTURER.
7. DESIGN AND INSTALLATION OF TEMPORARY ERECTION BRACING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. JOIST ERECTOR SHALL ERECT AND BRACE JOISTS PER THE REQUIREMENTS OF THE JOIST MANUFACTURER, CONTRACTORS BRACING DESIGN, AND ALL APPLICABLE CODES AND GOVERNMENT AGENCIES.

CONSTRUCTION OBSERVATION, INSPECTION AND TESTING

- A. GENERAL
1. INDEPENDENT TESTING LAB TO BE RETAINED BY OWNER TO PROVIDE INSPECTIONS AND SPECIAL INSPECTIONS AS DESCRIBED HEREIN AND AS REQUIRED BY PRESIDING BUILDING DEPARTMENT.
2. CONTRACTOR IS RESPONSIBLE TO COORDINATE AND PROVIDE ON SITE ACCESS TO ALL REQUIRED INSPECTIONS AND NOTIFY TESTING LAB IN TIME TO MAKE SUCH INSPECTIONS.
3. DO NOT COVER WORK REQUIRED TO BE INSPECTED PRIOR TO INSPECTION BEING MADE.
4. THE CONTRACTOR SHALL CORRECT ALL DEFICIENCIES NOTED IN THE SPECIAL INSPECTION REPORTS AND/OR THE ENGINEERS FIELD OBSERVATION REPORTS TO BRING THE CONSTRUCTION INTO COMPLIANCE WITH THE CONTRACT DOCUMENTS, ADDENDUM, RFI'S AND/OR WRITTEN INSTRUCTIONS.
B. SPECIAL INSPECTIONS
REQUIRED SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT SPECIAL INSPECTOR PER SECTION 1701 OF THE INTERNATIONAL BUILDING CODE (IBC) AS REQUIRED BY PRESIDING BUILDING DEPARTMENT.

STRUCTURAL DEFERRED SUBMITTALS

WHERE STRUCTURAL COMPONENTS ARE FULLY OR PARTIALLY DESIGNED AND DETAILED BY THE SUPPLIER OR FABRICATOR, COMPLETE SHOP DRAWINGS AND CALCULATIONS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED, SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW.

FOUR (4) SETS OF DEFERRED SUBMITTAL ITEMS PER IBC 106.3.4.2 SHALL BE SUBMITTED TO THE ENGINEER OF RECORD. ALL DEFERRED SUBMITTALS SHALL BE STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF OREGON (SPECIALTY ENGINEER) AND SHALL BE THE SOLE RESPONSIBILITY OF THE SPECIALTY ENGINEER INCLUDING, BUT NOT LIMITED TO, DESIGN, COORDINATION, DIMENSIONS AND INTENDED PURPOSE.

Table with columns: DEFERRED SUBMITTAL LIST, I. MANUFACTURED ROOF TRUSSES, II. ENGINEERED FLOOR JOISTS, III. ELECTRICAL, PLUMBING, HVAC, MECHANICAL (DESIGN-BUILD)

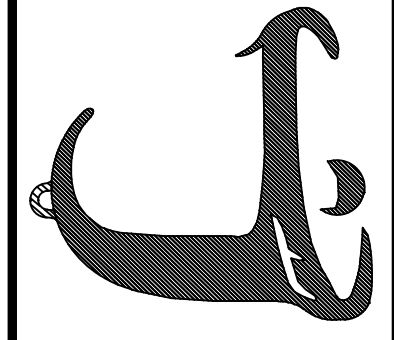
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Table with columns: VERIFICATION AND INSPECTION, CONTINUOUS, PERIODIC, REFERENCED STANDARD, IBC REFERENCE, REQUIRED ?. Rows include 3-MATERIAL VERIFICATION OF STRUCTURAL STEEL, 5-MATERIAL VERIFICATION OF WELD FILLER MATERIALS, 6-INSPECTION OF WELDING, 5) SINGLE-PASS FILLET WELDS <= 1/8".

C-4 SPECIAL INSPECTIONS \$1.00 NO SCALE

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BELL DESIGN COMPANY CIVIL ENGINEERING LAND SURVEYING 900 WEST STEUBEN STREET, P.O.B. 306, BINGEN, WA, 98605 PHONE (509) 443-3886 FAX (509) 443-3885

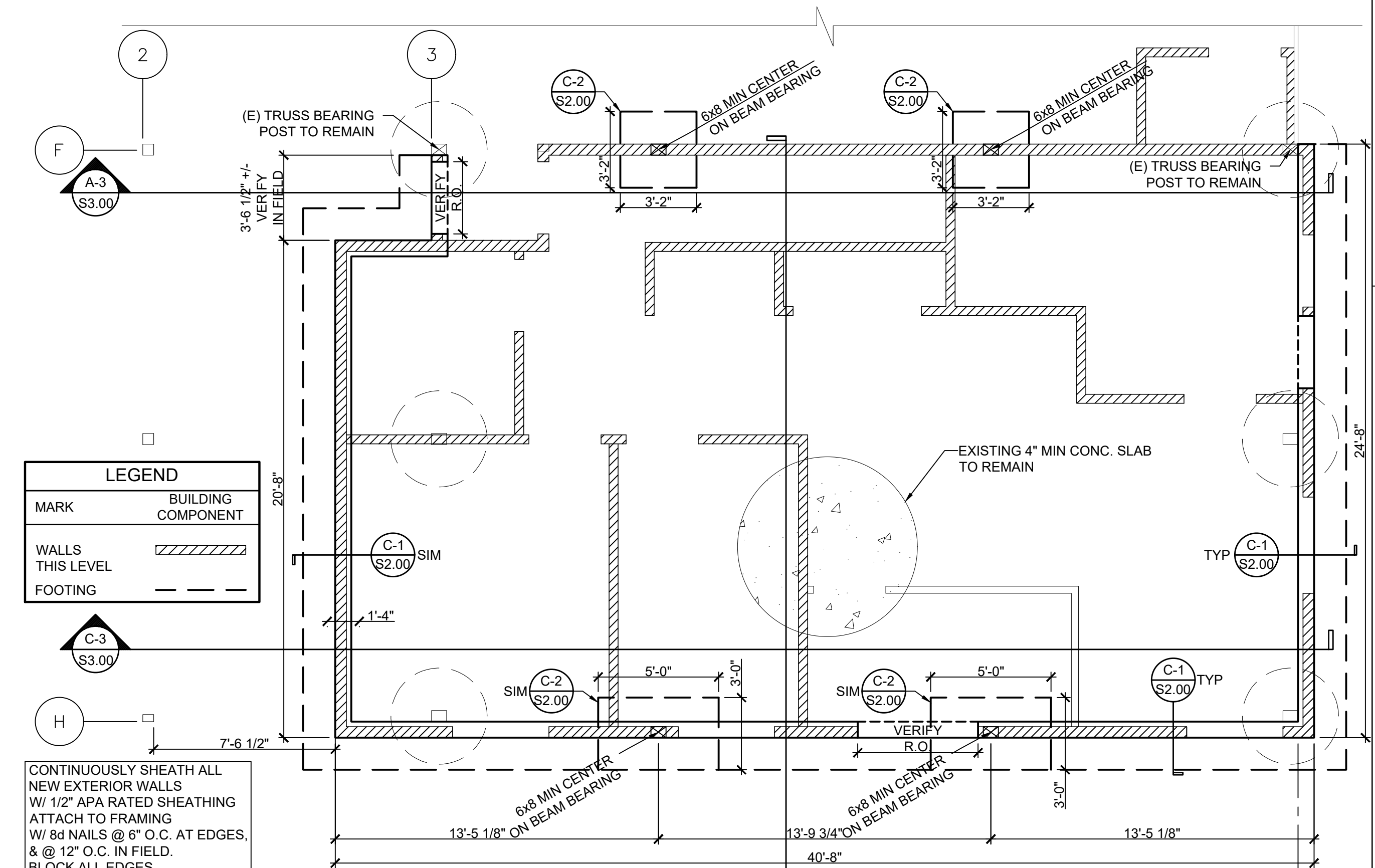
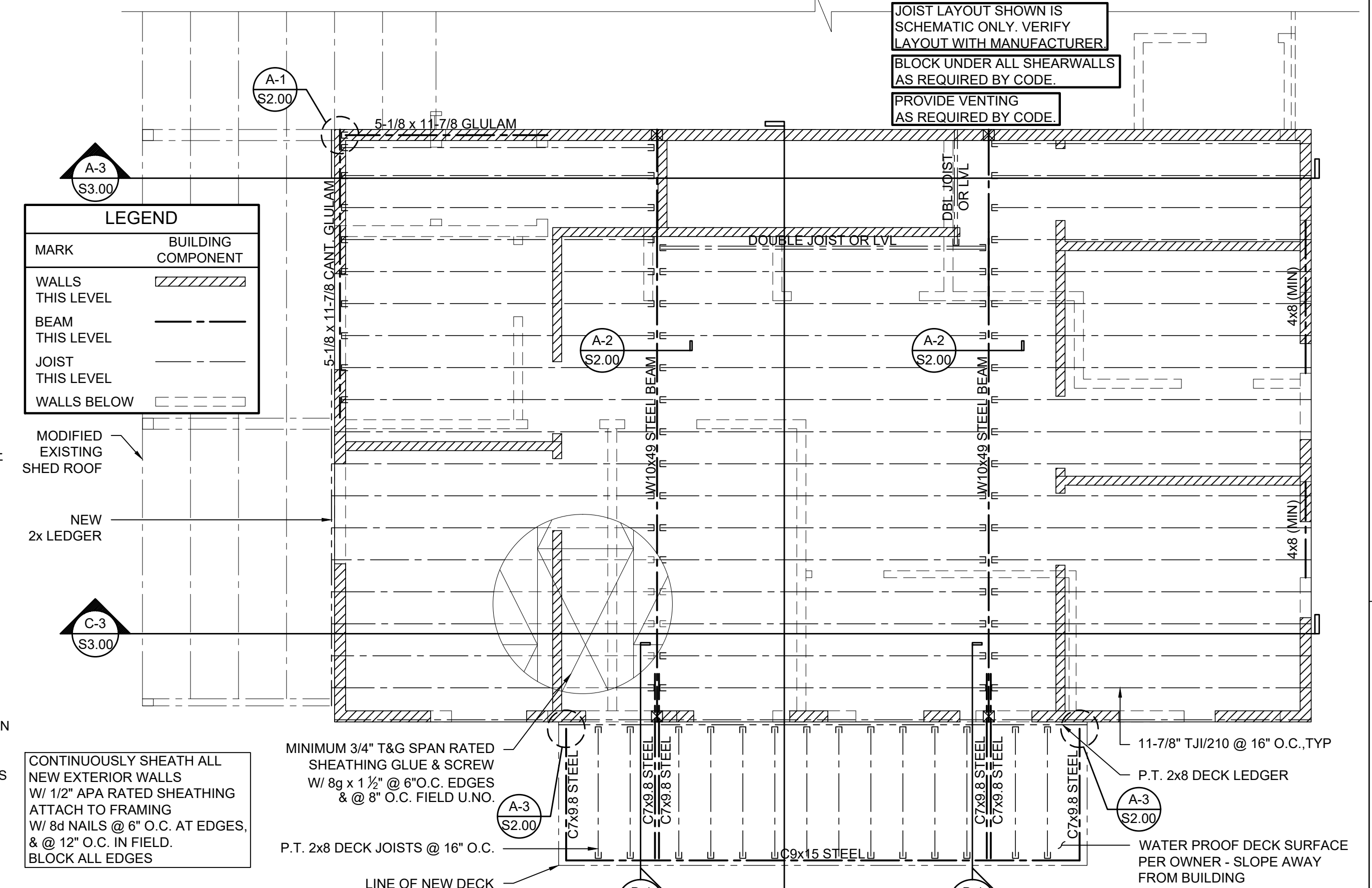
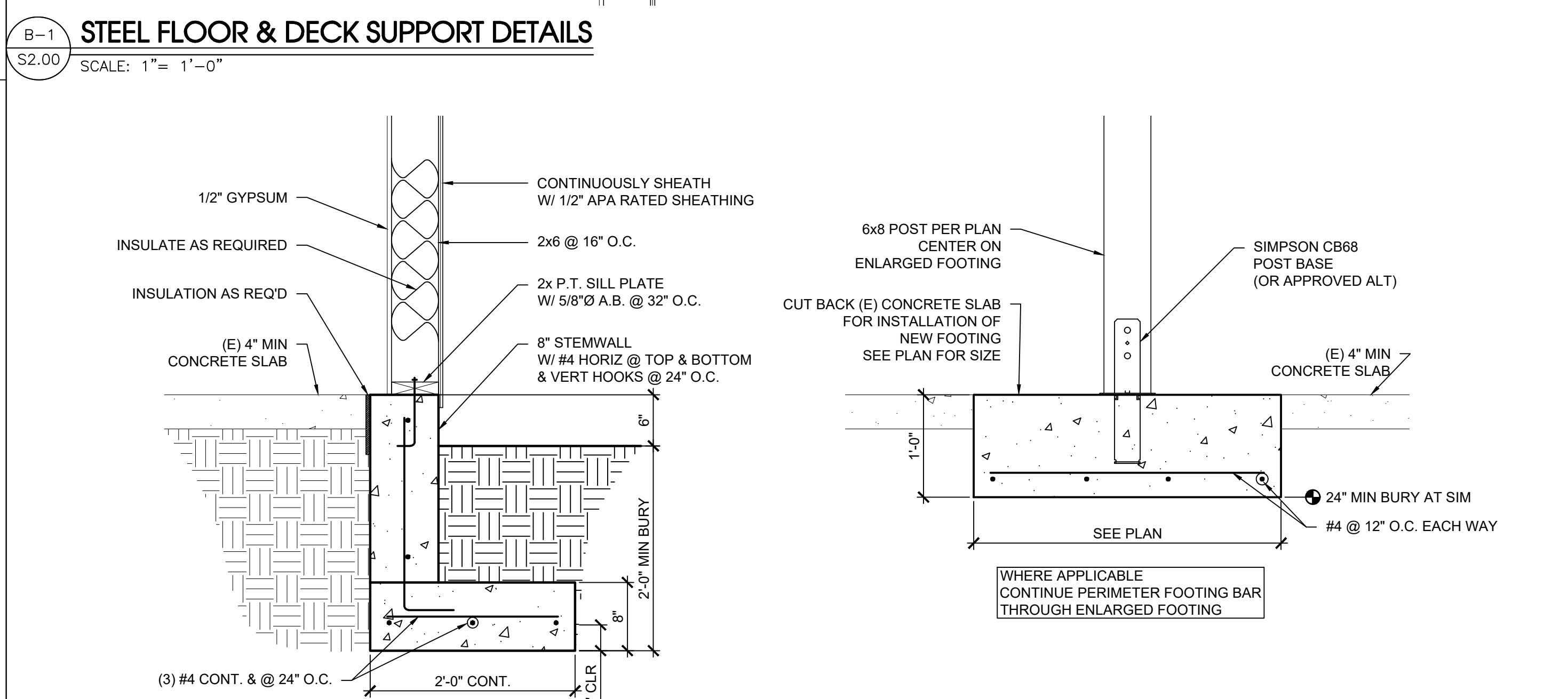
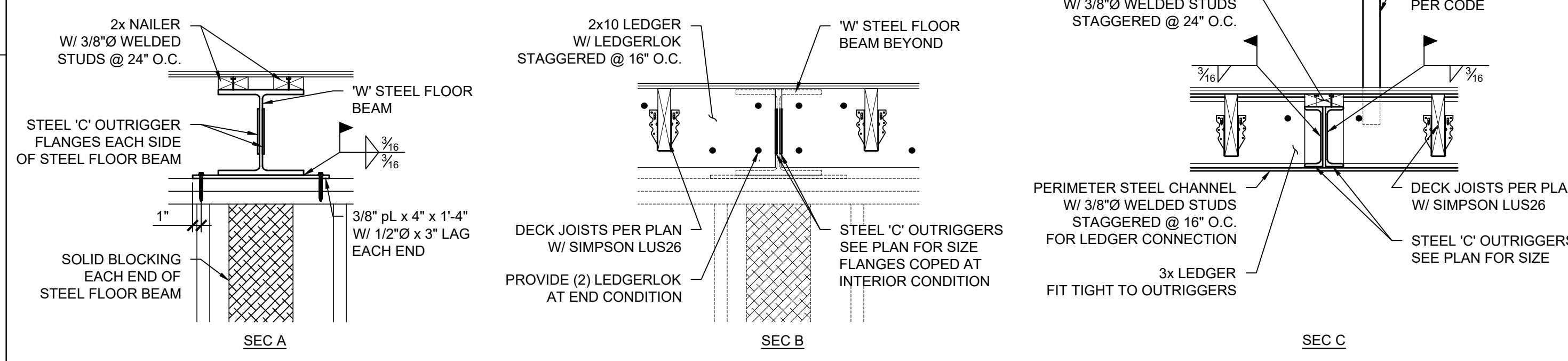
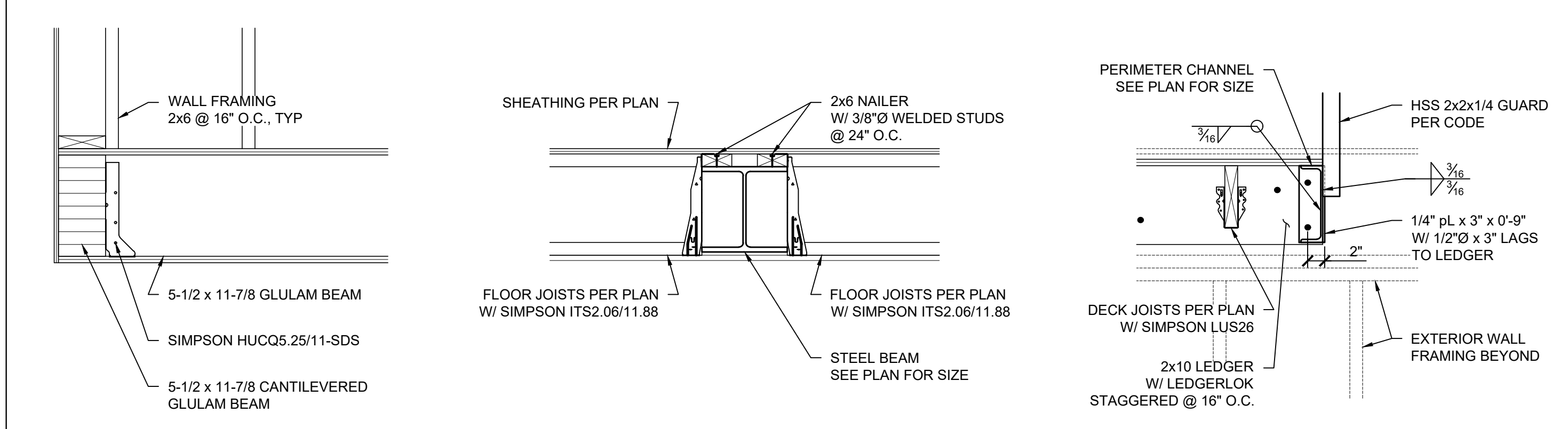
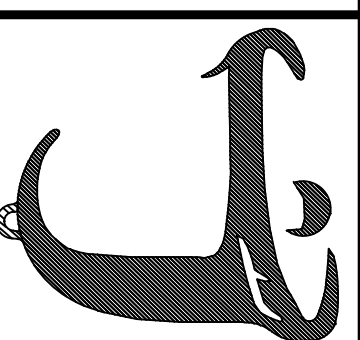


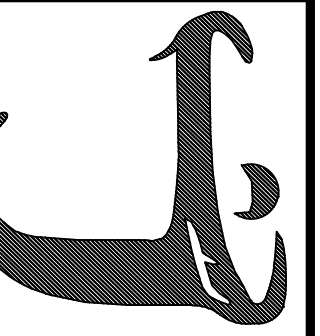
STRUCTURAL NOTES DEVCO MECHANICAL PROPOSED OFFICE EXPANSION THE DALLES, OR 1530 BARGEWAY RD

Table with columns: JOB NO, DATE, DRAWN BY, CHECKED BY, REVISIONS, RECORD DRAWINGS, DATE. Values include 23B429, 04/2/24, EAH, DAB.

Professional Engineer seal for David A. Bell, Oregon, License No. 88,816, Expires 12-31-25.

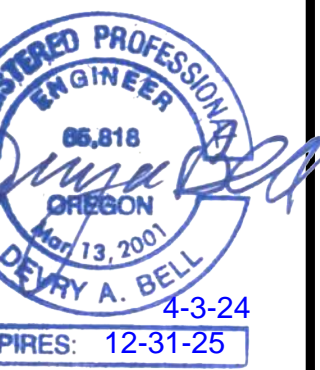
SHEET NO. \$1.00



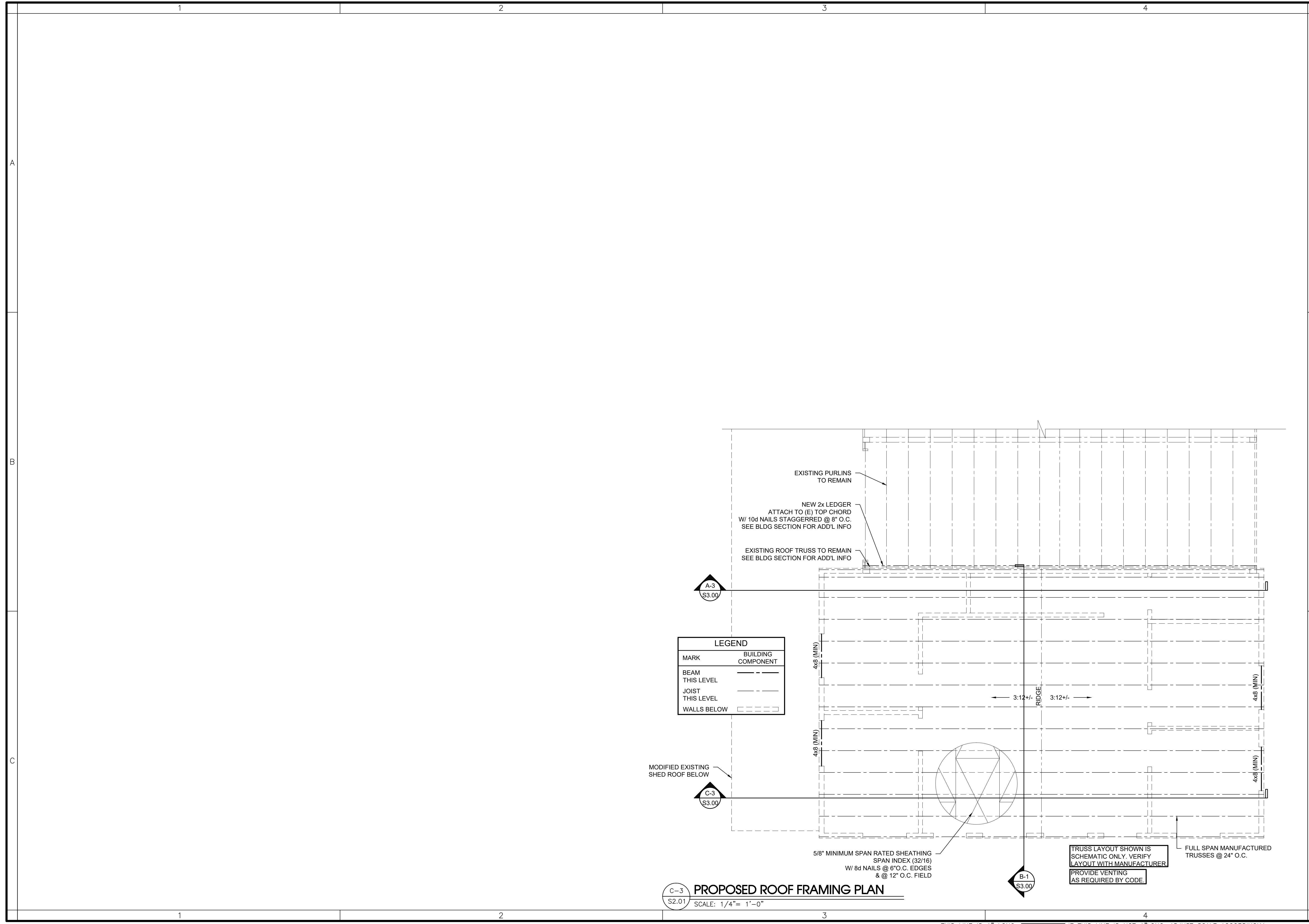


PROPOSED ROOF FRAMING
DEVCO MECHANICAL
PROPOSED OFFICE EXPANSION
15841 BARGEWAY RD THE DALLES, OR

JOB NO: 23B429
DATE: 04/2/24
DRAWN BY: EAH CHECKED BY: DAB
REVISIONS: DATE
RECORD DRAWINGS: DATE



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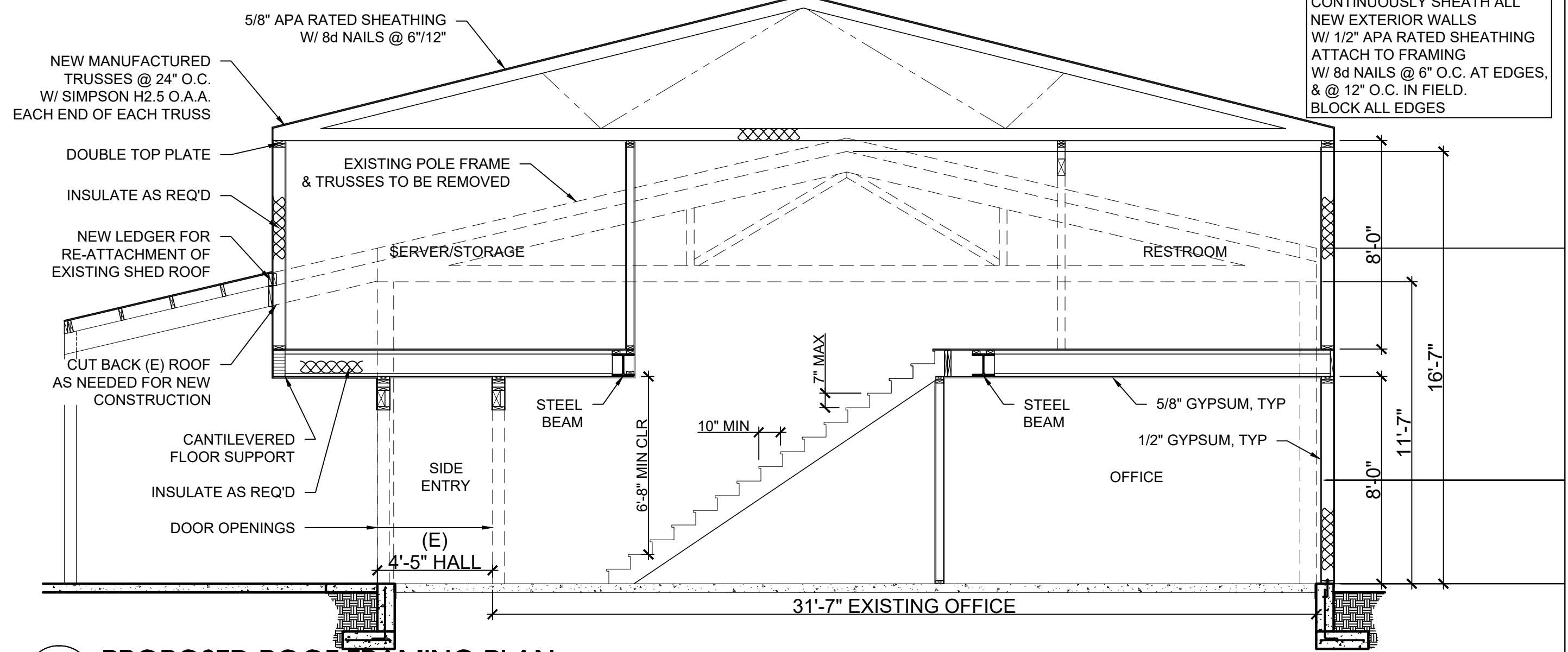
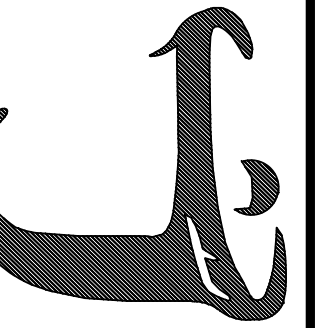


LEGEND

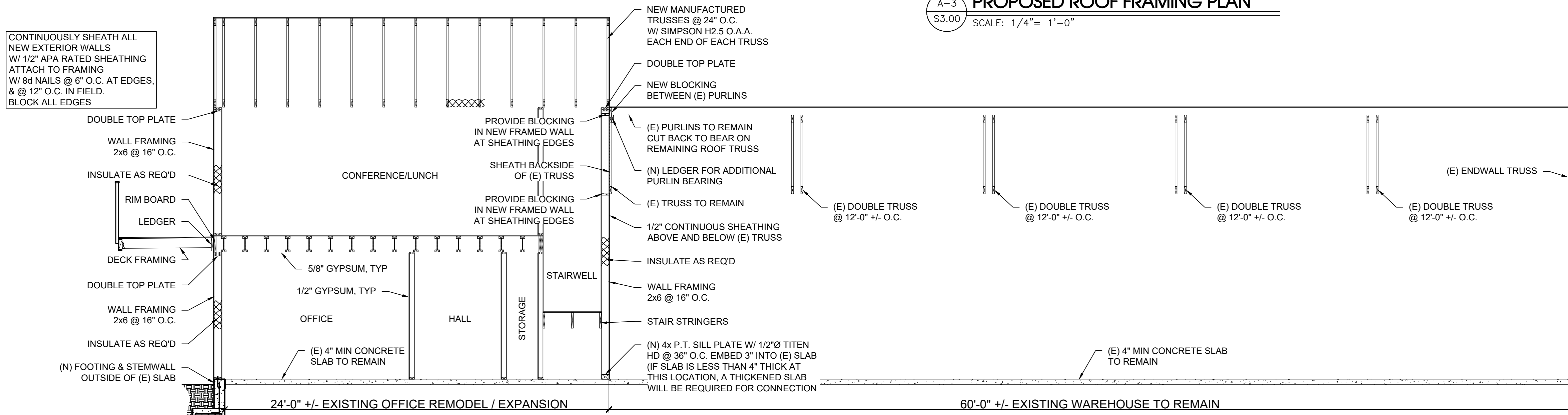
MARK	BUILDING COMPONENT
BEAM THIS LEVEL	---
JOIST THIS LEVEL	- - -
WALLS BELOW	----

TRUSS LAYOUT SHOWN IS SCHEMATIC ONLY. VERIFY LAYOUT WITH MANUFACTURER.
PROVIDE VENTING AS REQUIRED BY CODE.

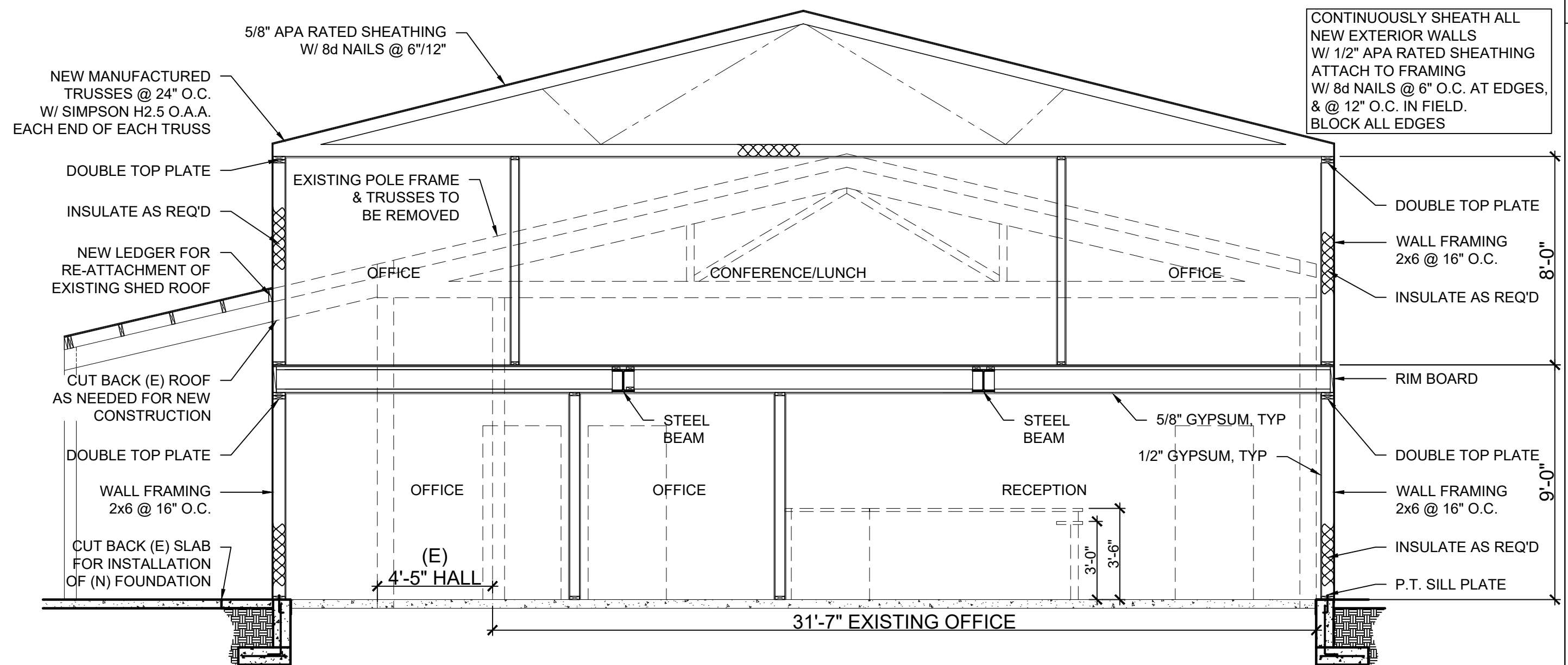
PROPOSED ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



A-3 PROPOSED ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



B-1 PROPOSED/EXISTING BUILDING SECTION
SCALE: 1/4" = 1'-0"



C-3 PROPOSED ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"