CITY of THE DALLES



313 COURT STREET THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125 COMMUNITY DEVELOPMENT DEPARTMENT

SITE TEAM AGENDA

The information contained in this agenda is for preliminary comments/concerns only.

Thursday, April 11, 2024, 1:00 p.m.

Please note: Applicant start time is 2:00 p.m.

Meeting held via Zoom

https://us06web.zoom.us/j/88316496257?pwd=VVdxVm5wQjRialdpOG9TdGFVeWF2QT09

Meeting ID: **883 1649 6257** Passcode: **636603** Dial: 1-669-900-6833 or 1-253-215-8782

Action Items

This item is for your review and comment. Please comment on or before the scheduled Site Team Meeting.

A. **Bob Breshears** – Site Plan Review. Applicant is requesting approval to site and construct a concrete plant. The property is located immediately north of 3600 River Road and further described as 2N 13E 28 tax lot 705. Property is zoned I – Industrial District.

Planner: Frank Glover

- B. Mary Fierros Bower, LRS Architects—Conditional Use Permit. Applicant is assisting NW Natural with zoning research in determining the operational feasibility of a potential site for their future Resource Center and Emergency Fleet Service Yard. The property is located at 2727 W. 7th Street and further described as 2N 13E 32 A tax lots 200 and 300, and 2N 13E 32 AD tax lot 1100. Property is zoned CG General Commercial District. Planner: Joshua Chandler
- C. **Gretchen Sharp** Site Plan Review. Applicant is requesting approval to site and construct a 120' x 100' structure for use as a multi-use court sport facility. The property is located at 731 Pomona Street and further described as 2N 13E 29 DD tax lot 5700. Property is zoned CG General Commercial District.

Planner: Frank Glover

D. **Dave Adams** – Site Plan Review. Applicant is requesting approval to site and construct a triplex. The property is located at 600 E. 12th Street and further described as 1N 13E 3 CD tax lot 10200. Property is zoned RH – High Density Residential District.

Planner: Joshua Chandler



City of The Dalles Community Development Dept. 313 Court Street The Dalles, OR 97058 (541) 296-5481, ext. 1125 www.thedalles.org

Site Team #:ST 007-24
Received: #100°
Filing Fee:
Receipt #: #.52063(
Meeting Date: March 28

9 -2					
Site Team/Pre-Application Meeting					
O Adjustment	O Mobile Home Park	O Conditional Use Permit	O Property Line Adjustment		
O Building Permit	O Site Plan Review	O Minor Partition/Replat	OPlanned Unit Development		
O Variance	O Vacation (Street)	O Comp Plan Amendment	OComp Plan/Zone Change		
O Subdivision	O Zone Change	Oother: Thew Bushe	55		
Applicant		Legal Owner (if other			
Name: Bob B	reshears,	Name: The Dalks	s Industrial Group LLC		
Address: 1306	TuckerRd	Address:	•		
Phone #: <u>541-8</u>					
Email: Sobmo	cincopmail.com	<u>C</u> Email:			
Property Information			- 43		
Address:		Map and Tax Lot:	2N 13E 28 705		
Project Description (co	ontinue on next page if neces	sary)			
Mission	Constuction.	Inc OBA Gorge	- Crete is proposil		
the start	up of a new	concrete Plat. Pro	duction and Sales		
of 15,000	- 20,000 yard.	s of concrete is ?	Projected to be		
many tack	red and Sold	Locally.			

App	lica	tion	Poli	су
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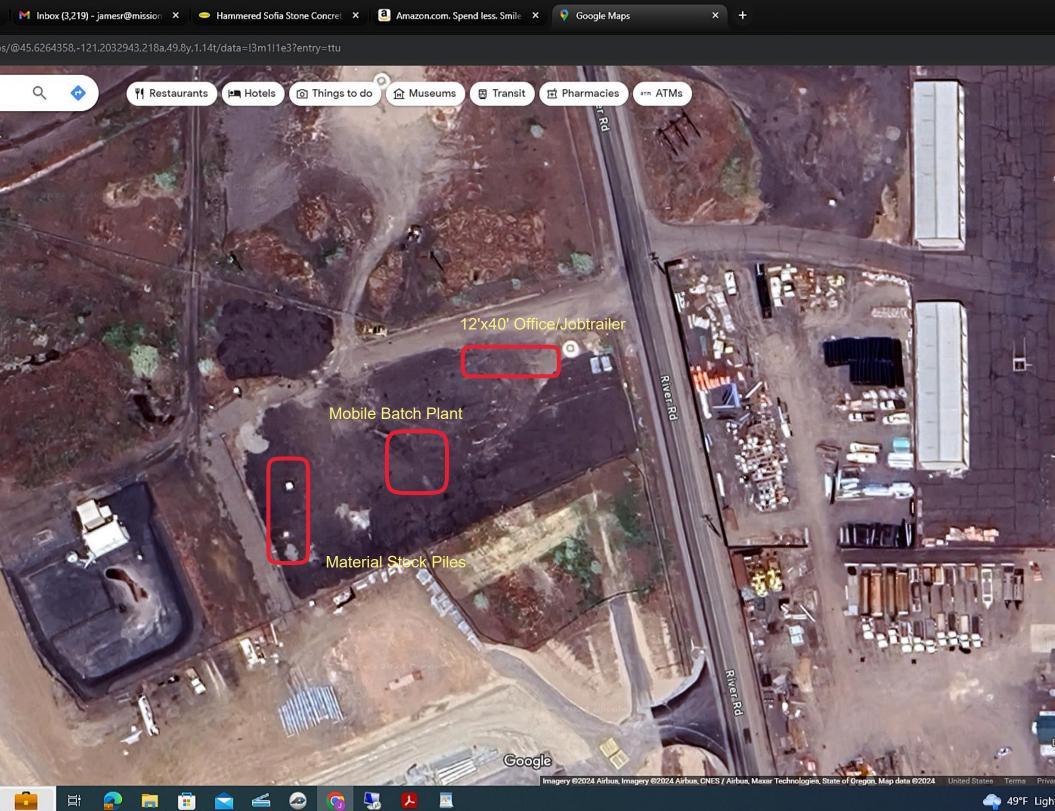
I certify that I am the applicant or owner identified below. I acknowledge that the final approval by the City of The Dalles, if any, may result in restrictions, limitations, and construction obligations being imposed on this real property. I understand that if the property is owned in part or totality by a trust, partnership, corporation or LLC, I will be required to present legal documentation listing all persons that make-up the entity, as well as proof of my authorization to act on the entity's behalf. I consent and herby authorize City representative(s) to enter upon my property for any purpose of examination or inspection related to this application. I certify that all information provided is true and correct, and consent to the filing of the application, authorized by my original signature below.

The Site Team/Pre-Application meeting does not constitute an approved Land Use Application. The resulting Land Use Application must adhere to all applicable standards in effect at the time of application.

Signature of Applicant		Signature of Property Owner	
Bob Breshows		The Management	
	Date		Date

Department Use Only					
City Limits: O Yes O No Zone: Geohazard Zone: Historic Structure: O Yes O No Current Use:	Overlay: Airport Zone: O Yes O No Flood Designation:				
Previous Planning Actions:					
Erosion Control Issues? Access Issues? Utilities and Public I	mprovements? Items Needing Attention?				









City of The Dalles Community Development Dept.

313 Court Street The Dalles, OR 97058 (541) 296-5481, ext. 1125 www.thedalles.org

Site Team #:	ST 008-24
Received:	03/11/2024
Filing Fee:	\$100.00
Receipt #:	XBP 167718621
Mosting Date:	04/11/2024

Site Team/Pre-Application Meeting O Adjustment Mobile Home Park Conditional Use Permit OProperty Line Adjustment O Building Permit O Site Plan Review Minor Partition/Replat OPlanned Unit Development O Variance O Vacation (Street) O Comp Plan Amendment OComp Plan/Zone Change O Subdivision O Zone Change Other: Legal Owner (if other than Applicant) **Applicant** Wayne Pipes, NW Natural Mary Fierros Bower, LRS Architects Name: 720 NW Davis St. Suite 300 250 SW TAYLOR STREET, Portland, OR 97204 Address: Phone #: 503.265.1572 503.226.4211 EXT 2496 Phone #: mfierrosbower@Irsarchitects.com wayne.pipes@nwnatural.com Email: Email: **Property Information** Address: 2727 W 7th Street, The Dalles, OR 97058 Map and Tax Lot: 2N 13E 32 A 300, 2N 13E 32 1100, 2N 13E 32 A 200

Project Description (continue on next page if necessary)

LRS Architects is assisting NW Natural with the initial zoning research in determining the operational feasibility of a potential site for their future Resource Center and Emergency Fleet Service Yard.

The 4+/- acre property carries an (CG) General Commercial zoning designation. There is an existing 14,000 SF Cinema (built in 1996) with four screens. It is an Occupancy A, Type V building, and is sprinklered. The north end of the site is comprised of parking stalls and 2 street entries, one off of Snipes St., and the other off W. 7th St.

NW Natural is a natural gas utility. The company provides utility construction and emergency services. The Resource Center is not open to customers or the public, it is a communications and dispatch center for emergency gas line repair response crews, infrastructure maintenance, along with the fleet vehicle and materials storage needed for that purpose.

The facility would utilize the existing theater, and would renovate it to house the Main Office, Storeroom, and Large Vehicle Storage bays (Occupancies B and S-1). The remainder of the property would include various small site buildings to serve as the critical operational infrastructure of the NWN Service Fleet (See Site Plan). For optimal flow of the emergency fleet vehicles through and off the site, we propose the shift of the northern driveway west along Snipes, and the addition of a new driveway along 7th, for delivery vehicles to the new Storeroom.

Application Policy

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Signature of Applicant

Mary Fierros Bower 3/8/24

Date

Signature of Property Owner

3/8/24

Date

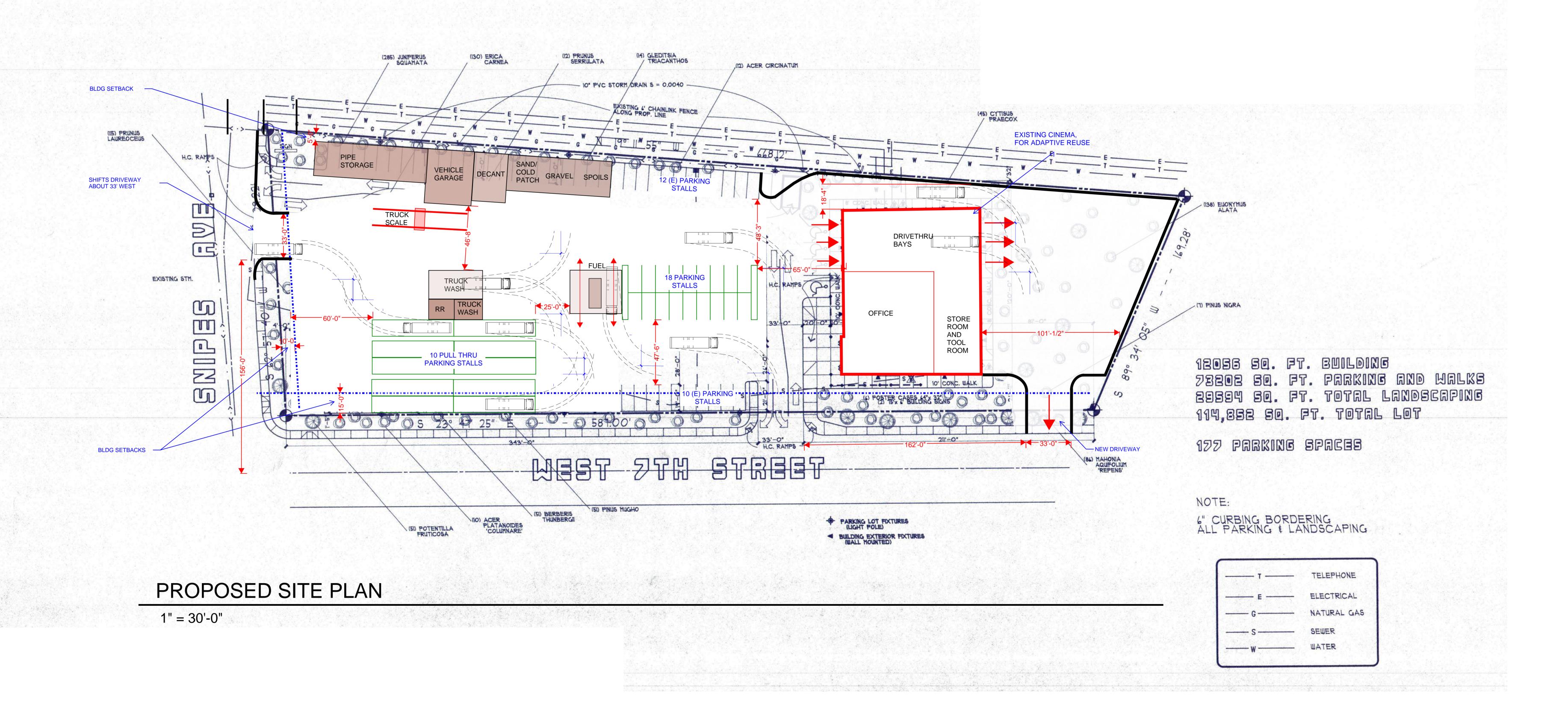
es O No

OPTION A

40 STALLS 10 PULL-THRUS

- Pipe Storage 3-sided open shed (2,550 SF)
- Covered spoils bins 3-sided open shed (2,656

- Decant 3-sided open shed (890 SF)
 Fueling Tank Island with canopy (1,232 SF)
 Enclosed Vehicle Storage Garage (1,780 SF)
- Trash Enclosure (258 SF)
- Truck Scale
- Truck Wash, Restroom, and Drive-thru Canopy (1405 SF)









City of The Dalles

Community Development Dept.

313 Court Street
The Dalles, OR 97058
(541) 296-5481, ext. 1125
www.thedalles.org

Site Team #: _	ST 009-24
Received:	3-12-2024
Filing Fee:	\$100-
Receipt #:	520632
Meeting Date:	4-11-2024

Site Team/Pre-Application Meeting					
O Adjustment O Building Permit O Variance	Building Permit Site Plan Review O Minor I		O Property Line Adjustment O Planned Unit Development O Comp Plan/Zone Change		
Osubdivision	O Zone Change	Other:			
Applicant		Legal Owner (if other	than Applicant)		
Name: Gretch	en Sharp	Name:	Dahle		
Address: 731 Po	nona	Address:	Ponionast		
The Dal	(25)	The Do	ylles		
Phone #: 541 20	988508	Phone #:	93960D		
Email: gretchen	Cthedaltesath	leticalulgmail:cherry	es cgorge net		
Property Information			02N-13E-29DD		
Address: 73 Po	mona St	Map and Tax Lot:	5700		
Project Description (con	tinue on next page if necess	sary)			
120 × 100'	steel building	y to house a se court sport	concrete pad		
used as	a multi-us	se court sport	facility.		

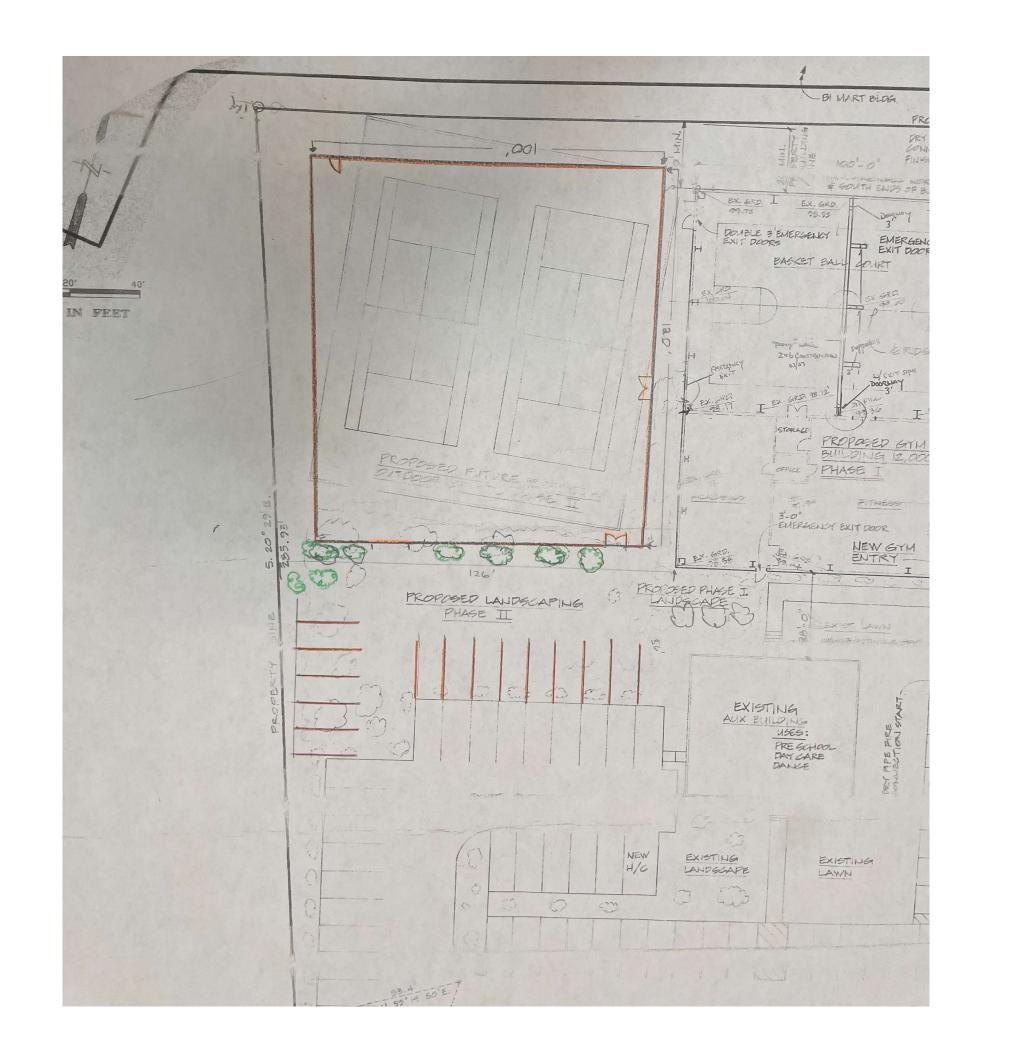
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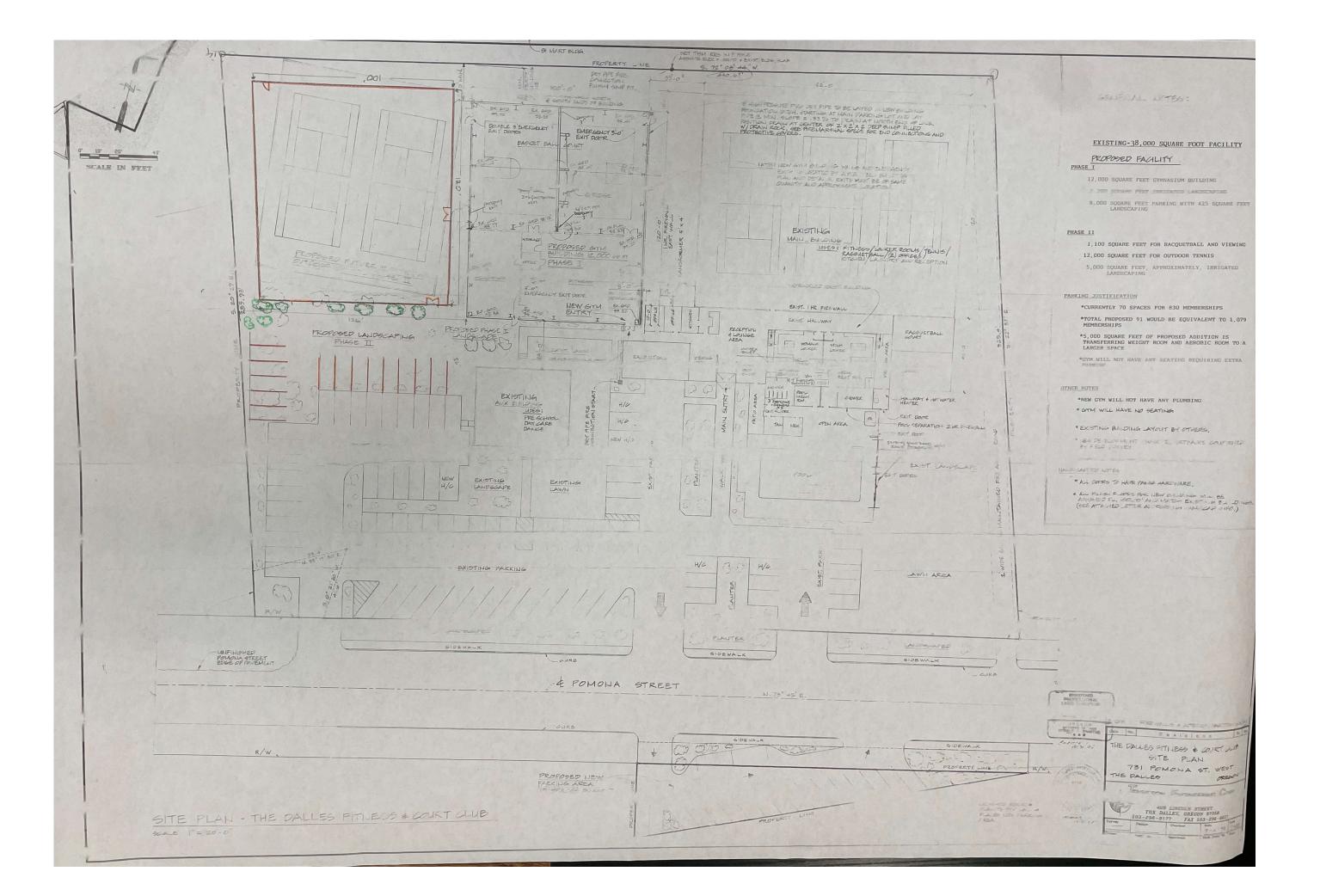
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Signature of Applicant	Signature of Property Owner (Middle)	3/12/2
Setter Sharp 3/12/24 Date		Date

Department Use Only				
City Limits: O Yes O No Zone:	Overlay:	Airport Zone:	O yes O No	
Geohazard Zone:	Flood Designation:			
Historic Structure: O Yes O No Current Use:			**************************************	
Previous Planning Actions:				
Erosion Control Issues? Access Issues? Utilities and Public	mprovements? Items Needing	Attention?		









City of The Dalles Community Development Dept.

313 Court Street

The Dalles, OR 97058 (541) 296-5481, ext. 1125 www.thedalles.org

Site Team #:	ST 010-24			
Received:	03/12/2024			
Filing Fee:	\$100			
Receipt #:	520633			
Meeting Date:				

Site Team/Pre-Application Meeting							
Adjustment Building Permit Variance	Mobile Home ParkSite Plan ReviewVacation (Street)	 Conditional Use Permit Minor Partition/Replat Comp Plan Amendment Property Line Adjustment Planned Unit Development Comp Plan/Zone Change 					
O Subdivision O Zone Change		Other:					
Applicant Name: Dave Adams Address: 319 E 2nd St The Dalles, OR 97058 Phone #: 541-288-6336 Email: dave@adamsdesigncenter.com		Legal Owner (if other than Applicant) Name: Brittany Holding, LLC Address: 319 E 2nd St The Dalles, OR Phone #: 541-288-6336 Email: dave@adamsdesigncenter.com					
Property Information Address: 600 E 12th St		Map and Tax Lot: 1N 13E 3 CD 10200					

Project Description (continue on next page if necessary)

Application Policy

Signature of Applicant

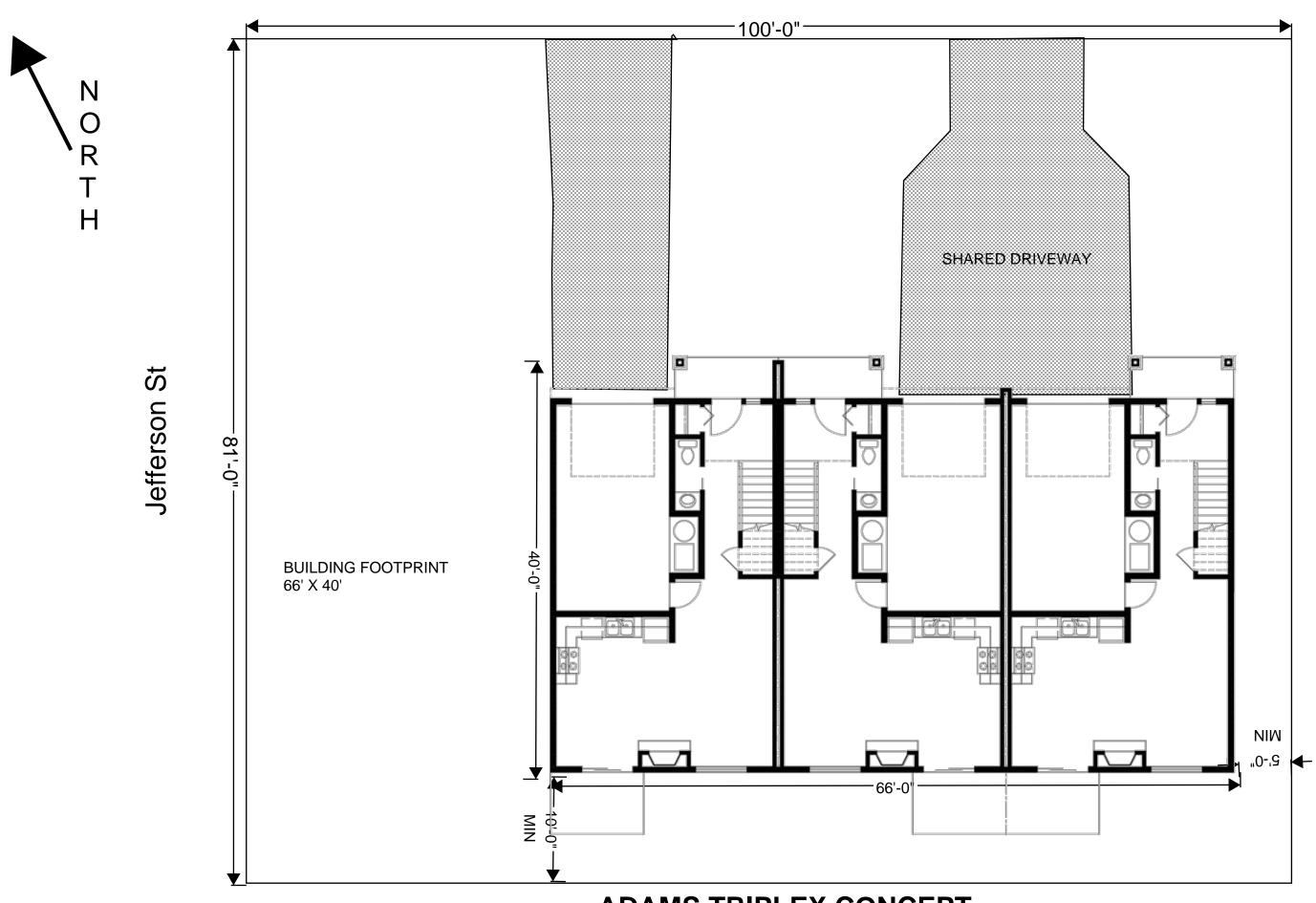
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Signature of Property Owner

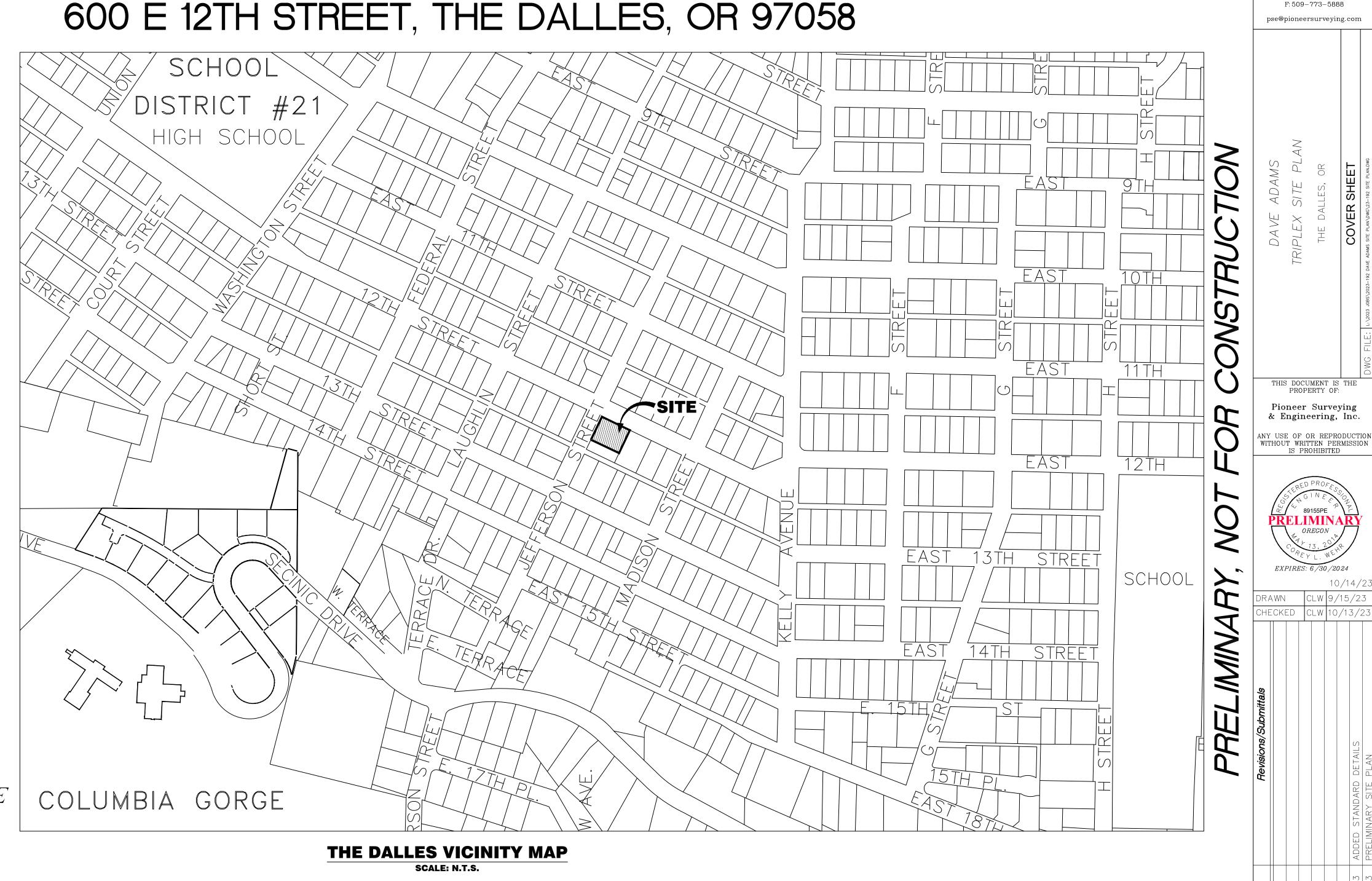
Date	Date				
Department Use Only					
	Overlay: Airport Zone: O Yes O No				
	Flood Designation:				
Previous Planning Actions:					
Erosion Control Issues? Access Issues? Utilities and Public Improvements? Items Needing Attention?					

E. 12th St



ADAMS TRIPLEX CONCEPT

DAVE ADAMS - TRIPLEX SITE PLAN WASCO COUNTY - PARCEL #: 1N 13E 3 CD 10200 600 E 12TH STREET, THE DALLES, OR 97058



INDEX:

CE 4.2

COVER SHEET CE 1.0 CE 2.0 GENERAL NOTES CE 3.0 SITE SURVEY CE 4.0 STANDARD DETAILS CE 4.1 STANDARD DETAILS

LEGEND

WATER LINE SEWER LINE STORM DRAIN LINE SEWER MANHOLE STORM DRAIN MANHOLE WATER VALVE WATER METER FIRE HYDRANT CATCH BASIN

UTILITY POLE LIGHT POLE SIGN TREE ELECTRICAL VAULT TELEPHONE PEDESTAL

GAS LINE UNDERGROUND POWER

UNDERGROUND TELEPHONE

BARBED WIRE FENCE

CHAIN LINK FENCE

CONTOUR LINE(2' INTERVAL)

ASPHALT STREET

EXISTING

Q

____X___ o ___X___

UTILITIES:

STANDARD DETAILS

POWER:

NORTHERN WASCO CO. P.U.D. 2345 RIVER ROAD, THE DALLES, OR. 97058. PH. (541) 296-2226 **CONTACT: ED ORTEGA**

TELEVISION:

CHARTER COMMUNICATIONS, INC. **409 UNION STREET** THE DALLES, OR. 97058 PH. (541) 296-1146 **CONTACT: DAN WALLACE**

TELEPHONE:

CENTURY LINK 285 WEBBER STREET, THE DALLES OR. 97058 PH. (541) 387-9255 **CONTACT:**

BUILDING OFFICIAL:

WASCO COUNTY 2705 EAST 2ND STREET THE DALLES, OREGON 97058 PH. (541) 506-2650

STREETS (E14TH ST, JEFFERSON ST): FIRE PROTECTION:

CITY OF THE DALLES, **PUBLIC WORKS DEPT.** 1215 W. 1ST STREET THE DALLES, OR. 97058 PH. (541) 506-2021 CONTACT: DALE McCABE, CITY ENGINEER

MID-COLUMBIA FIRE AND RESCUE 1400 WEST 8TH. STREET **THE DALLES, OREGON 97058** PH. (541) 296-9445 **CONTACT: JAY WOOD, FIRE MARSHAL**

GAS:

NW NATURAL 1125 BARGEWAY ROAD THE DALLES, OR. 97058 PH. (541) 296-2229 **CONTACT: TONYA BRUMLEY**

WATER:

CITY OF THE DALLES 1215W. 1 ST STREET THE DALLES, OR. 97058 PH. (541) 296-5401 **CONTACT: STEVE BYERS**

SANITARY SEWER:

CITY OF THE DALLES, **PUBLIC WORKS DEPT.** 1215 W. 1ST STREET THE DALLES, OR. 97058 PH. (541) 506-2021 CONTACT: DALE McCABE, CITY ENGINEER

PLANNING JURISDICTION:

CITY OF THE DALLES **COMMUNITY DEVELOPMENT/ PLANNING** 313 COURT ST. **THE DALLES, OREGON 97058** PH. (541) 296-5481 **CONTACT: DAWN HERT, PLANNER**

OWNER:

DAVE ADAMS PH. (541) 288-6336

ENGINEER:

PIONEER SURVEYING AND ENGINEERING 125 E SIMCOE DRIVE **GOLDENDALE, WA 98620** PH. 509-773-4945 **DUSTIN CONROY(PROJECT MANAGER)**

SCALE: AS NOTED

Pioneer Surveying & Engineering, Inc. Civil/Structural Engineering & Land Planning

125 E. Simcoe Drive Goldendale, WA 98620 P: 509-773-4945

JOB NO. REV 23-192

SHEET NO.

GENERAL NOTES:

-) CONTRACTOR SHALL PROCURE AND CONFORM TO ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY. OWNER TO PAY ALL PROJECT PERMIT COSTS. CONTRACTOR SHALL PROVIDE OWNER 48 HOURS NOTICE PRIOR TO REQUIRING PAYMENT FOR PERMITS.
- B) CONTRACTOR TO PAY ALL PROJECT UTILITY TAPPING, TV, AND CHLORINATION COSTS. COST FOR RETESTING SHALL BE BORNE BY THE CONTRACTOR. CONTRACTOR SHALL COORDINATE AND PAY ALL COSTS ASSOCIATED WITH CONNECTING TO EXISTING WATER, SANITARY SEWER AND STORM
-) CONTRACTOR SHALL PROVIDE ALL BONDS AND INSURANCE REQUIRED BY PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.
- D) ALL MATERIALS AND WORKMANSHIP FOR FACILITIES IN STREET RIGHT-OF-WAY OR EASEMENTS SHALL CONFORM TO APPROVING AGENCIES' CONSTRUCTION SPECIFICATIONS WHEREIN EACH HAS JURISDICTION, INCLUDING BUT NOT LIMITED TO THE CITY, WASCO COUNTY OREGON HEALTH DIVISION (OHD), OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), WASHINGTON DEPARTMENT OF HEALTH (DOH) AND THE WASHINGTON DEPARTMENT OF ECOLOGY (DOE).
- UNLESS OTHERWISE APPROVED BY THE PUBLIC WORKS DIRECTOR, CONSTRUCTION OF ALL PUBLIC FACILITIES SHALL BE DONE BETWEEN 7:00 AM. AND 6:00 P.M., MONDAY THROUGH
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DRAWINGS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND PROVIDE A COMPLETED
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES A MINIMUM OF 48 BUSINESS HOURS (2 BUSINESS DAYS) PRIOR TO START OF CONSTRUCTION AND COMPLY WITH ALL OTHER REQUIREMENTS OF ORS 757.541 TO 757.571 AND RCW 19.122.
- ANY INSPECTION BY THE CITY OR OTHER AGENCIES SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPLICABLE CODES AND AGENCY REQUIREMENTS.
-) CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SINGS, TRAFFIC CONES PER CITY REQUIREMENTS IN ACCORDANCE WITH THE MUTCD (INCLUDING OREGON AND/OR WASHINGTON AMENDMENTS). ACCESS TO DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION
- CONTRACTOR SHALL BE LICENSED WITH THE CONSTRUCTION CONTRACTOR BOARD.
-) A PRE-CONSTRUCTION MEETING WILL BE REQUIRED PRIOR TO ANY CONSTRUCTION. THE MEETING SHALL INCLUDE AT LEAST THE CONTRACTOR, CITY ENGINEER, AND CITY DEVELOPMENT INSPECTOR. IT IS RECOMMENDED THAT THE DEVELOPER/PROPERTY OWNER, AND PROJECT ENGINEER/MANAGER BE PRESENT AS WELL.
- M) THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE TO THE RECOMMENDATIONS FOUND IN THE GEOTECHNICAL REPORT COMPILED BY EARTH ENGINEERS INC DATED 14 APRIL

EXISTING UTILITIES & FACILITIES:

() ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES WHEREON HE WILL RECORD ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE STATION LOCATIONS AND DEPTHS OF ALL EXISITING UTILITIES ENCOUNTERED. THESE FIELD RECORD DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY THE CITY UPON REQUEST. FAILURE TO CONFORM TO THIS REQUIREMENT MAY RESULT IN DELAY OF PAYMENT AND/OR FINAL ACCEPTANCE OF THE PROJECT.
- B) UPON COMPLETION OF CONSTRUCTION OF ALL NEW FACILITIES, CONTRACTOR SHALL SUBMIT A CLEAN SET OF FIELD RECORD DRAWINGS CONTAINING ALL AS-BUILT DRAWINGS TO THE ENGINEER FOR USE IN THE PREPARATION OF AS-BUILT DRAWINGS FOR SUBMITTAL TO THE CITY AND OWNER. ALL INFORMATION SHOWN ON THE CONTRACTORS FIELD RECORD DRAWINGS SHALL BE SUBJECT TO VERIFICATION BY THE ENGINEER. IF SIGNIFICANT ERRORS OR DEVIATIONS ARE NOTED BY THE ENGINEER, AN AS-BUILT SURVEY PREPARED AND STAMPED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AND/OR QUALIFIED ENGINEER SHALL BE COMPETED AT THE CONTRACTOR'S EXPENSE.
- THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWING, ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND SIZES OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY AND STREET MONUMENTS PRIOR TO CONSTRUCTION, ANY MONUMENTS DISTURBED DURING CONSTRUCTION OF THE PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WHERE NEW FACILITIES CROSS. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL UTILITY CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATIONS WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER. AND THE DESIGN ENGINEER SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.
- ALL FACILITIES SHALL BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED, CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY ENGINEER.
- C) UTILITIES OR INTERFERING PORTIONS OF UTILITIES THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR THE EXTENT NECESSARY TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL PLUG THE REMAINING EXPOSED ENDS OF ABANDONED UTILITIES IN A METHOD
-) CONTRACTOR SHALL REMOVE ALL EXISTING SIGNS, MAILBOXES (POSTAL SERVICE NOTIFICATION REQUIRED), FENCES, LANDSCAPING, ETC., AS REQUIRED TO AVOID DAMAGE DURING CONSTRUCTION AND REPLACE THEM TO EXISTING OR BETTER CONDITION.
- ANY SEPTIC TANKS ENCOUNTERED DURING CONSTRUCTION SHALL BE PUMPED OUT. CONTRACTOR SHALL BREAK BOTTOM OF TANK OUT AND BACKFILL WITH PEA GRAVEL UNLESS OTHERWISE REQUIRED BY PUBLIC AGENCIES HAVING JURISDICTION. SEPTIC TANK REMOVAL TO BE IN ACCORDANCE WITH SANITARIAN REQUIREMENTS.
- ANY WELLS ENCOUNTERED SHALL BE ABANDONED PER STATE REQUIREMENTS.
- ANY FUEL TANKS ENCOUNTERED SHALL BE REMOVED AND DISPOSED OF PER STATE REQUIREMENTS. BACKFILL WITH COMPACTED GRANULAR MATERIAL.
- CONTRACTOR SHALL COORDINATE AND PAY ALL COSTS ASSOCIATED WITH REMOVING OR ABANDONING ANY SEPTIC TANKS, WELLS (INCLUDING BOREHOLE PIEZOMETERS) AND FUEL TANKS ENCOUNTERED AS PER REGULATING AGENCY REQUIREMENTS. WHEN SHOWN ON THE DRAWINGS. THESE STRUCTURES SHALL BE REMOVED OR ABANDONED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY UPON DISCOVERY OF ANY SEPTIC TANKS, WELLS OR FUEL TANKS NOT SHOWN ON THE DRAWINGS, AND OBTAIN CONCURRENCE FROM THE OWNER PRIOR TO PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A DETAILED COST BREAKDOWN OF ALL WORK RELATED TO REMOVING ABANDONING SAID STRUCTURES. THE CONTRACTOR BE REIMBURSED ON A TIME & MATERIALS BASIS OR AT A NEGOTIATED PRICE AS AGREED TO BY THE OWNER.
- M) THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO ENSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAN OF MUD. DUST OR DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR. CURBS & SIDEWALKS:
-) UNLESS OTHERWISE SHOWN OR INDICATED ON THE DRAWINGS, 6-INCHES NOMINAL CURB EXPOSURE USED FOR DESIGN OF ALL PARKING LOT AND STREET GRADES.
- CONTRACTOR SHALL CONSTRUCT HANDICAP ACCESS RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
-) SIDEWALK TO BE INSTALLED AS INDIVIDUAL LOTS ARE DEVELOPED.
- SIDEWALKS SHALL BE A MINIMUM OF 4-INCHES THICK AND STANDARD DRIVEWAYS SHALL BE A MINIMUM OF 6-INCHES THICK. COMMERCIAL USE DRIVEWAYS AND ALLEY APPROACHES SHALL BE MINIMUM 8-INCHES THICK. ALL CURBS, SIDEWALKS AND DRIVEWAYS SHALL BE CONSTRUCTED USING 3300 PSI CONCRETE WITH TYPE 1 OR TYPE 1D CLEAR CURING COMPOUND. (PER RD 720)
- WHEN TRENCH EXCAVATION REQUIRES REMOVAL OF PCC CURBS AND/OR SIDEWALKS, THE CURBS AND/OR SIDEWALKS SHALL BE SAWCUT AND REMOVED AT A TOOLED JOINT UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE CITY. THE SAWCUT LINES SHOWN ON DRAWINGS ARE SCHEMATIC AND NOT INTENDED TO SHOW THE EXACT ALIGNMENT OF SUCH CUTS.

GRADING, PAVING & DRAINAGE:

- A) UNLESS OTHERWISE NOTED, ALL GRADING, ROCKING AND PAVING TO CONFORM TO ODOT/APWA STANDARD SPECIFICATIONS AS AMENDED BY THE CITY, CURRENT EDITION.
- B) CLEAR AND GRUB WITHIN WORK LIMITS ALL SURFACE VEGETATION, TREES, STUMPS, BRUSH, ECT. DO NOT DAMAGE OR REMOVE TREES EXCEPT AS APPROVED BY THE ENGINEER SHOWN ON THE DRAWINGS. PROTECT ALL ROOTS TWO INCHES IN DIAMETER OR LARGER. REMOVE ONLY THE VEGETATION NEEDED TO COMPLETE THE PROPOSED CONSTRUCTION TO PREVENT
- C) STRIP WORK LIMITS, REMOVING ALL ORGANIC MATTER, WHICH CANNOT BE COMPACTED INTO A STABLE MASS. ALL TREES, BRUSH AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING OR GRADING SHALL BE REMOVED AND DISPOSED OF OFF-SITE.
- D) AS OUTLINED IN THE GEOTECHNICAL REPORT COMPRESSIBLE FILL SOILS WHERE FOUND THROUGH OUT THE SITE AND RANGE FROM 3.5 TO 4 FEET BELOW GROUND SURFACE. ALL FILL SOILS UNDER THE PROPOSED BUILDING FOOTPRINT TO BE REMOVED TO MINIMUM OF THE DENSE SAND STRATUM ENCOUNTERED DURING THE GEOTECH SITE INSPECTION. SUBGRADE TO BE INSPECTED PRIOR TO PLACING ENGINEER FILL.
- E) IMMEDIATELY FOLLOWING STRIPPING OPERATIONS, COMPACT SUBGRADE TO 95% WITHIN PAVED AREAS (90% IN OTHER AREAS) OF THE MAXIMUM DRY DENSITY PER ASTM D-698 TEST METHOD (STANDARD PROCTOR). SUBGRADES MUST BE INSPECTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTIVE PRIOR TO PLACING EMBANKMENTS, ENGINEERED FILLS OR FINE GRADING FOR BASE ROCK. CITY TO INSPECT WORK PERFORMED WITHIN R.O.W.
- F) ALL FILLS SHALL BE ENGINEERED EXCEPT FOR FILLS LESS THAN 18-INCHES IN DEPTH WHICH ARE LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY, BUILDING PADS, PARKING LOTS OR OTHER AREAS TO BE IMPROVED. ENGINEERED FILLS SHALL BE CONSTRUCTED IN 6" LIFTS OVER APPROVED SUBGRADES. EACH LIFT SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-698 TEST METHOD (STANDARD PROCTOR)(90% ASTM D-698 FOR ALL OTHER AREAS). EACH LIFT OF ENGINEERED FILLED SHALL BE TESTED BY A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF SUBSEQUENT
- G) FILLS NEEDED TO RAISE SITE ELEVATIONS WILL REQUIRE THE EQUIVALENT AMOUNT OF WEIGHT TO BE REMOVED FROM THE SLOPE AND EXPORTED OFFSITE.
- H) CRUSHED ROCK SHALL CONFORM TO SECTION 00641 (AGGREGATE SUBBASE, BASE, AND SHOULDERS) ODOT/APWA STANDARD SPECIFICATIONS AS AMENDED BY THE CITY. COMPACT TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-698 TEST METHOD (STANDARD PROCTOR). WRITTEN COMPACTION TEST RESULTS FROM AN INDEPENDENT TESTING LABORATORY BE RECEIVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PLACING A.C. PAVEMENT.
- I) A.C. PAVEMENT SHALL CONFORM TO SECTION 00744 (HOT MIXED ASPHALT CONCRETE PAVEMENT (HMAC)) ODOT/APWA STANDARD SPECIFICATIONS AS AMENDED BY THE CITY. PAVEMENT SHALL BE COMPACTED TO MINIMUM OF 91% OF MAXIMUM DENSITY AS DETERMINED BY THE RICE STANDARD METHOD
- J) UNLESS OTHERWISE SHOWN ON THE DRAWINGS, STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS AND/OR FINISH CONTOUR LINES SHOWN.
- K) FINISH PAVEMENT GRADES AT TRANSITION IN EXISTING PAVEMENT SHALL MATCH EXISTING PAVEMENT GRADES OR BE FEATHERED PAST JOINTS WITH EXISTING PAVEMENT AS REQUIRED TO PROVIDE A SMOOTH, FREE DRAINING SURFACE.
- L) ALL EXISTING OR CONSTRUCTED MANHOLES, CLEANOUTS, MONUMENTS, GAS VALVES, WATER VALVES AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISH GRADES OF THE PAVEMENT, SIDEWALK, LANDSCAPED AREA OR MEDIAN STRIP WHEREIN THEY LIE. VERIFY THAT ALL VALVE BOXES AND RISERS ARE CLEAN AND CENTERED OVER THE OPERATION NUT. ADJUSTMENT AFTER PLACEMENT OF FINAL WEARING COURSE WILL NOT BE ALLOWED.
- M) UNLESS OTHERWISE SHOWN ON THE DRAWINGS, NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V.
- N) CONTRACTOR SHALL SEED AND MULCH ALL EXPOSED SLOPES AND DISTURBED AREA, WHICH ARE NOT SCHEDULED TO BE LANDSCAPED.
- O) CDF BACKFILL WILL BE REQUIRED IN ALL STREET CUTS AND TRENCHES LOCATED IN COLUMBIA VIEW DRIVE AS IT IS A COUNTY ROAD.
- P) POSITIVE DRAINAGE OF THE SITE TO BE MAINTAINED AT ALL TIMES. WATER SHOULD NOT TESTILIZED AN THE POSITION EXCAVATIONS OR ON PREPARED SUBGRADES FOR THE FLOOR
- SLAB DURING CONSTRUCTION. A) THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED OR NECESSARY INSPECTIONS ARE COMPLETED BY THE OWNER'S AUTHORIZED INSPECTORS PRIOR TO PROCEEDING WITH SUBSEQUENT WORK WHICH COVERS OR THAT IS DEPENDENT ON THE WORK TO BE INSPECTED. FAILURE TO OBTAIN NECESSARY INSPECTION(S) AND APPROVAL(S SHALL RESULT IN THE CONTRACTOR BEING FULLY RESPONSIBLE FOR ALL PROBLEMS ARISING FROM UNINSPECTED WORK.
- B) UNLESS OTHERWISE SPECIFIED, THE FOLLOWING TABLE OUTLINES THE MINIMUM TESTING SCHEDULE FOR THE PROJECT. THIS TESTING SCHEDULE IS NOT COMPLETE, AND DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF OBTAINING ALL NECESSARY INSPECTIONS FOR ALL WORK PERFORMED, REGARDLESS OF WHO IS RESPONSIBLE FOR

REQUIRED TESTING AND FREQUENCY		Pai	rty Responsible	others
REQUIRED I	ESTING AND FREQUENCY		Contractor	(See note 1
STREETS, PARKING	LOTS. PADS, FILLS. ETC.	1	See note 2 & note 3	
SUBGRADE	1 TEST/4000 S.F/LIFT (2 MIN)	1	See note 2 & note 3	
BASEROCK	1 TEST/4000 S.F/LIFT	√	See note 2	
ASPHALT	1 TEST/4000 S.F/LIFT (2 MIN)			
PIPED UTILITIES, ALI	-			
TRENCH BACKFILL	1 TEST/200 FOOT TRENCH/LIFT (2 MIN)	√	See note 2	
WATER				
PRESSURE	(TO BE WITNESSED BY ENGINEER OR APPROVING AGENCY)	1		
BACTERIAL WATER TEST	PER OHD/DOH	√	See note 2	
CHLORINE RESIDUAL TEST	PER CITY REQUIREMENTS	√		
SANITARY SEWER				
AIR TEST	PER CITY OR ODOT/APWA WHICHEVER IS MORE STRINGENT	√	See note 4	
MANDREL	95% OF ACTUAL INSIDE DIAMETER	1		
TV INSPECTION	LINES MUST BE CLEANED PRIOR TO TV WORK	√		
MANHOLE OR APPROVING AGENCY.	VACUUM TEST EACH MANHOLE. WITNESSED BY ENGINEER	✓	See note 2 & note 4	
STORM				
MANDREL	95% OF ACTUAL INSIDE DIAMETER	√		
TV INSPECTION	LINES MUST BE CLEANED PRIOR TO TV WORK	1		

- NOTE 2: TESTING MUST BE PERFORMED BY ON APPROVED INDEPENDENT TESTING AGENCY.
- NOTE 3: IN ADDITION TO IN PLACE DENSITY TESTING, THE SUBGRADE AND BASEROCK SHALL BE PROOF-ROLLED WITH A LOADED 10 YARD DUMP TRUCK PROVIDED BY THE CONTRACTOR. LOCATION AND
- PATTERN OF PROOF-ROLL TO BE AS DIRECTED BY THE OWNERS AUTHORIZED REPRESENTATIVE. NOTE 4: CONTRACTOR MAY USE HYDROSTATIC TESTING IN LIEU OF VACUUM AND AIR TESTING.

PIPED UTILITIES:

- A) ALL TAPPING OF EXISTING MUNICIPAL SANITARY SEWER, STORM DRAIN MAINS, AND MANHOLES MUST BE DONE BY CONTRACTOR FORCES.
- B) UNDER FUTURE STREETS OR SIDEWALKS, USE CLASS "B" (3/4" MINUS AGGREGATE) BACKFILL FROM 6" BELOW PIPE TO SUBGRADE WHERE DEPTH OF COVER IS BETWEEN 2 AND 3 FEET AND WELL-GRADED CLASS A (NATIVE MATERIAL - ONLY ALLOWED WITHIN PUBLIC R.O.W. IF APPROVED BY THE CITY) ELSEWHERE. ROCKS NOT EXCEEDING 6 INCHES IN GREATEST DIMENSION, WHICH ORIGINATE FROM THE TRENCH, WILL BE PERMITTED IN THE BACKFILL FROM 1 FOOT ABOVE THE TOP OF ANY PIPE TO 1 FOOT BELOW SUBGRADE. WHEN THE TRENCH IS WIDER THAN 3 FEET, ROCKS NOT EXCEEDING 6 INCHES IN GREATEST DIMENSION, WHICH ORIGINATE FROM THE TRENCH, WILL BE PERMITTED IN THE BACKFILL FROM 1 FOOT ABOVE THE TOP OF ANY PIPE OR BOX TO 5 FEET BELOW THE FINISHED SURFACE. ROCKS GREATER THAN 2 1/2 INCHES IN ANY DIMENSION WILL NOT BE PERMITTED IN BACKFILL PLACED WITHIN 1 FOOT OF SUBGRADE. WHERE ROCKS ARE INCLUDED IN THE BACKFILL. THEY SHALL BE MIXED WITH SUITABLE EXCAVATED MATERIALS SO AS TO ELIMINATE VOIDS. SUBJECT TO THE PROVISIONS SPECIFIED HEREIN, THE MATERIAL OBTAINED FROM PROJECT EXCAVATIONS MAY BE USED AS BACKFILL PROVIDED THAT ALL ORGANIC MATERIAL, RUBBISH, DEBRIS, AND OTHER OBJECTIONABLE MATERIALS
- C) CONTRACTOR SHALL ARRANGE TO ABANDON EXISTING SEWER AND WATER SERVICES NOT SCHEDULED TO REMAIN IN SERVICE IN ACCORDANCE WITH APPROVING AGENCY REQUIREMENTS.
- D) ALL PIPED UTILITIES ABANDONED IN PLACE SHALL HAVE ALL OPENINGS CLOSED WITH CONCRETE PLUGS WITH A MINIMUM LENGTH EQUAL TO 2 TIMES THE DIAMETER OF THE ABANDONED PIPE.
- E) THE END OF ALL UTILITY STUBS SHALL BE MARKED WITH A 2X4 COLOR CODED AND WIRED TO PIPE STUB.
- F) ALL NON-METALLIC WATER, SANITARY AND STORM SEWER PIPING SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 12 GAUGE COPPER TRACER WIRE THE FULL LENGTH OF THE INSTALLED PIPE USING BLUE WIRE FOR WATER AND GREEN FOR STORM AND SANITARY PIPING. TRACER WIRE SHALL BE EXTENDED UP INTO ALL VALVE BOXES, CLEAN-OUTS, MANHOLES AND CATCH BASINS. TRACER WIRE PENETRATIONS INTO MANHOLES SHALL BE WITHIN 18 INCHES OF THE RIM ELEVATION AND ADJACENT TO MANHOLE STEPS. THE TRACER WIRE SHALL BE TIED TO THE TOP MANHOLE STEP OR OTHERWISE SUPPORTED TO ALLOW RETRIEVAL FROM THE OUTSIDE OF THE MANHOLE. USE WATERPROOF FITTINGS AT ALL CONNECTIONS.
- G) NO TRENCHES IN ROADS OR DRIVEWAYS SHALL BE LEFT IN AN OPEN CONDITION OVERNIGHT. ALL SUCH IRENCHES SHALL BE CLOSED BEFORE THE END OF EACH WORK DAY AND NORMAL TRAFFIC FLOWS RESTORED.
- H) SANITARY SEWER LATERALS TO BE RUN TO EDGE OF R.O.W. AT 1/4" PER 12" SLOPE. LATERALS TO BE INSTALLED DOWNSTREAM OF MAINLINE CLEAN OUTS AND/OR MANHOLES. ALL CATCH BASINS TO HAVE 8" PVC SDR-35 LATERALS. CATCH BASIN LOCATION MAY BE MODIFIED TO ACCOMMODATE LOW SPOTS CREATED DURING CONSTRUCTION. ENGINEER AND/OR CITY PROJECT MANAGER MAY REQUIRE ADDITIONAL CATCH BASINS TO BE PLACED AT LOW SPOTS CREATED DURING CONSTRUCTION.
- I) CONTRACTOR TO MAKE MINOR ADJUSTMENT TO SERVICE LOCATIONS, WHERE NECESSARY, TO AVOID CONFLICT. MAINTAIN 5' MINIMUM SEPARATION BETWEEN STORM AND SANITARY AND 10' MIN. SEPARATION BETWEEN SANITARY AND WATER, 1' TO MANHOLES OR CATCH BASINS AND 5' BETWEEN MANHOLES AND CATCH BASINS. MAINTAIN 1' VERTICAL AND 2' HORIZONTAL SEPARATION BETWEEN CITY AND PRIVATE FRANCHISE UTILITY SERVICES AND 2' HORIZONTAL SEPARATION BETWEEN CITY UTILITIES IN A COMMON TRENCH.

WATER SYSTEM: (CHENOWITH WATER PUD)

- A) PUD FORCES TO OPERATE ALL VALVES INCLUDING FIRE HYDRANTS ON EXISTING
- B) ALL WATER MAINS SHALL BE PVC C-900, DR-18. ALL FITTINGS 4-INCHES THROUGH 24-INCHES IN DIAMETER SHALL BE PVC FITTINGS IN CONFORMANCE WITH AWWA C-153 OR AWWA C-110. THE MINIMUM WORKING PRESSURE FOR ALL MJ CAST IRON OR DUCTILE IRON FITTINGS 4-INCHES THROUGH 24-INCH IN DIAMETER SHALL BE 350 PSI FOR MJ FITTING AND 250 PSI FOR FLANGED FITTINGS.
- C) MATERIALS THAT COME INTO CONTACT WITH POTABLE WATER SHALL MEET NATIONAL SANITATION FOUNDATION STANDARD 61, SECTION 9 REQUIREMENTS.
- D) ALL WATER MAINS TO BE INSTALLED WITH A MINIMUM 30 INCH COVER TO FINISH GRADE UNLESS OTHERWISE NOTED OR DIRECTED. SERVICE LINE TO BE INSTALLED WITH A MINIMUM 24 INCH COVER. DEEPER DEPTHS MAY BE REQUIRED AS SHOWN ON THE DRAWINGS OR TO AVOID OBSTRUCTIONS.
- E) UNLESS OTHERWISE SHOWN OR APPROVED BY THE ENGINEER, ALL VALVES SHALL BE FLANGE CONNECTED TO ADJACENT TEES OR CROSSES.
- WATER SERVICE PIPE ON THE PUBLIC SIDE OF THE METER SHALL BE AS SHOWN IN THE WATER SERVICE DETAIL.
- ALL CONNECTIONS INTO EXISTING WATERLINE ARE TO BE DONE BY PUD APPROVED CONTRACTOR, SUBMIT NAME, QUALIFICATIONS AND MATERIAL SPECIFICATIONS TO PUD FOR REVIEW AND APPROVAL A MINIMUM OF 1 WEEK IN ADVANCE OF WORK.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT AND MATERIALS (INCLUDING PLUGS, BLOWOFFS, VALVES, SERVICE TAPS, ETC.) REQUIRED TO FLUSH, TEST AND DISINFECT WATERLINES PER PUBLIC AGENCY REQUIREMENTS. PRESSURE TESTING SHALL BE DONE IN WITH APWA SECTION 1140.51
- THE WORK SHALL BE PERFORMED IN A MANNER DESIGNATED TO MAINTAIN WATER SERVICE TO RESIDENCES SUPPLIED FROM THE EXISTING WATERLINES. IN NO CASE SHALL SERVICE TO ANY MAIN LINE OR RESIDENCES BE INTERRUPTED FOR MORE THAN FOUR (4) HOURS IN ANY ONE DAY. CONTRACTOR SHALL NOTIFY THE PUD AND ALL AFFECTED RESIDENTS AND BUSINESSES A MINIMUM OF 24 BUSINESS HOURS (1 BUSINESS DAY) PRIOR TO ANY INTERRUPTION OF SERVICE
- J) WHERE SANITARY SEWER LINES CROSS ABOVE OR WITHIN 18" INCHES VERTICAL SEPARATION BELOW A WATERLINE, SEWER MAINS AND/OR LATERALS SHALL BE REPLACED WITH C-900 PVC PIPE (DR 18) AT THE CROSSING. CENTER ONE FULL LENGTH OF C-900 PVC PIPE AT POINT OF CROSSING. CONNECT TO EXISTING SEWER LINES WITH APPROVED RUBBER COUPLING. BACKFILL WITH CDF AT CROSSINGS.

SANITARY SEWER SYSTEM:

- A) UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC IN CONFORMANCE WITH ASTM D3034, SDR 35. MINIMUM STIFFNESS SHALL BE 46 PSI PER ASTM D-2412 AND JOINT TYPE SHALL BE ELASTOMERIC GASKET CONFORMING TO ASTM D-3212. ALL OTHER APPURTENANCES AND INSTALLATION TO CONFORM TO THE
- B) ALL PRECAST MANHOLES SHALL BE PROVIDED WITH INTEGRAL RUBBER BOOTS. WHERE MANHOLES WITH INTEGRAL RUBBER BOOTS ARE NOT USED, A SHEAR JOINT SHALL BE PROVIDED ON ALL MAINLINES WITHIN 1.5 FEET OF THE OUTSIDE FACE OF THE MANHOLE. WATERTIGHT LOCKDOWN LIDS REQUIRED ON ALL MANHOLES OUTSIDE OF PUBLIC RIGHT-OF-WAY. ALL MANHOLES ARE TO HAVE FLOW CHANNELS CAST IN THEM.
- C) OPENINGS FOR CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY SAWCUTTING OR CORE-DRILLING EXISTING MANHOLE STRUCTURE. USE OF PNEUMATIC JACKHAMMER SHALL BE PROHIBITED. CONNECTIONS TO BE WATERTIGHT AND SHALL PROVIDE A SMOOTH FLOW INTO AND THROUGH THE MANHOLE. SMALL CHIPPING HAMMERS OR SIMILAR LIGHT TOOLS WHICH WILL NOT DAMAGE OR CRACK THE MANHOLE BASE MAY BE USED TO SHAPE CHANNELS OR ENLARGE EXISTING OPENINGS IF AUTHORIZED BY THE ENGINEER.
- D) PER DEQ/DOE REQUIREMENTS, CONTRACTOR SHALL HAVE PUBLIC SEWER INSTALLATION INSPECTED AND TESTED AND CERTIFIED BY A LICENSED ENGINEER. CONTRACTOR TO PROVIDE ENGINEER WITH 48 HOURS ADVANCE
- E) CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS, EQUIPMENT FACILITIES TO TEST SANITARY SEWER PIPE AND APPURTENANCES FOR LEAKAGE IN ACCORDANCE WITH CITY CONSTRUCTION STANDARDS. SANITARY SEWER PIPE AND APPURTENANCES SHALL BE TESTED FOR LEAKAGE. LEAKAGE TESTS SHALL INCLUDE AN AIR TEST OF ALL SEWER MAINS AND LATERALS AND VACUUM TESTING OF THE MANHOLES. MANHOLE TESTING SHALL BE PERFORMED AFTER COMPLETION OF AC PAVEMENT AND FINAL SURFACE RESTORATION.
- F) MANHOLES CONSTRUCTED OVER EXISTING SANITARY SEWERS SHALL CONFORM TO SECTION 00490.41 (MANHOLES OVER EXISTING SEWERS) OF THE ODOT/APWA STANDARD SPECIFICATIONS AS AMENDENDED BY THE CITY, THE EXISTING PIPE SHALL NOT BE BROKEN OUT UNTIL AFTER THE COMPLETION OF THE MANHOLE TESTS.
- G) PRIOR TO MANDREL TESTING AND/OR TV INSPECTION, FLUSH AND CLEAN ALL SEWERS, AND REMOVE ALL FOREIGN MATERIAL FROM THE MAINLINES AND MANHOLES.
- H) CONTRACTOR SHALL CONDUCT DEFLECTION TESTS OF FLEXIBLE SANITARY SEWER PIPES BY PULLING AN APPROVED MANDREL THOUGH THE COMPLETED PIPE LINE FOLLOWING TRENCH COMPACTION. THE DIAMETER OF THE MANDREL SHALL BE 95% OF THE INITIAL PIPE DIAMETER. TEST SHALL BE CONDUCTED NOT MORE THAN 30 DAYS AFTER THE TRENCH BACKFILLING AND COMPACTION HAS BEEN COMPLETED.
- I) UPON COMPLETION OF ALL SEWER CONSTRUCTION, TESTING AND REPAIR, THE CONTRACTOR SHALL CONDUCT A COLOR TV ACCEPTANCE INSPECTION OF ALL PUBLIC MAINLINES IN ACCORDANCE WITH SECTION 00445.74 (TELEVISON INSPECTION OF SANITARY AND STORM SEWERS) OF THE ODOT/APWA STANDARD SPECIFICATIONS AS AMENDENDED BY THE CITY. THE TV INSPECTION SHALL BE CONDUCTED BY AN APPROVED TECHNICAL SERVICE. WHICH IS FOUIPPED TO MAKE AUDIO-VISUAL RECORDING OF THE TV INSPECTIONS ON VHS VIDEO TAPE OR DVD. UNLESS OTHERWISE REQUIRED BY AGENCY WITH JURISDICTION, A STANDARD 1-INCH DIAMETER BALL SHALL BI SUSPENDED IN FRONT OF THE CAMERA DURING THE INSPECTION. SUFFICIENT WATER REVEAL TO LOW AREAS OR REVERSE GRADE SHALL BE DISCHARGED INTO THE PIPE IMMEDIATELY PRIOR TO INITIATION OF THE TV INSPECTION. THE VHS TAPE AND WRITTEN REPORT SHALL BE DELIVERED TO THE CITY.

STORM DRAIN SYSTEM:

MANUFACTURERS INSTALLATION

- A) STORM SEWER PIPE MATERIALS TO CONFORM TO THE CONSTRUCTION DRAWINGS AND CITY REQUIREMENTS (PVC D3034 ONLY, NO HDPE UNLESS SPECIFICALLY AUTHORISZED BY THE CITY). UNLESS OTHERWISE NOTED OR SHOWN ON THE DRAWINGS, STORM SEWER PIPE MATERIALS WITH WATERTIGHT JOINTS SHALL CONFORM TO THE TABLE BELOW. CONTRACTOR SHALL USE UNIFORM PIPE MATERIAL ON EACH PIPE RIM BETWEEN STRUCTURES UNLESS OTHERWISE DIRECTED OR APPROVED.
- B) CONTRACTOR SHALL DESIGNATE THE PIPE MATERIAL ACTUALLY INSTALLED ON THE FIELD RECORD DRAWINGS AND PROVIDE THIS INFORMATION TO THE ENGINEER FOR AS-BUILT DRAWINGS.
- C) CATCH BASINS SHALL BE SET SQUARE WITH BUILDINGS OR WITH THE EDGE OF THE PARKING LOT OR STREET WHERE THEY LIE. STORM DRAIN INLET STRUCTURES AND PAVING SHALL BE ADJUSTED SO WATER FLOWS INTO
- D) UNLESS OTHERWISE APPROVED BY THE ENGINEER, ALL STORM DRAIN CONNECTIONS SHALL BE BY MANUFACTURED TEES OR SADDLES. CATCH BASIN LATERALS ARE TO USE MFG. 45° WYES.
- E) UNLESS OTHERWISE SHOWN OR DIRECTED, INSTALL STORM SEWER PIPE IN ACCORDANCE WITH
- F) PRIOR TO MANDREL TESTING OR FINAL ACCEPTANCE, FLUSH AND CLEAN ALL STORM DRAINS, AND REMOVE ALL FOREIGN MATERIAL FROM THE MAINLINES, MANHOLES AND CATCH BASIN.
- G) CONTRACTOR SHALL CONDUCT DEFLECTION TEST OF FLEXIBLE STORM SEWER PIPES BY PULLING AN APPROVED MANDREL THROUGH THE COMPLETED PIPE LINE FOLLOWING TRENCH COMPACTION. THE DIAMETER OF THE MANDREL SHALL THE 95% OF THE INITIAL PIPE DIAMETER. TEST SHALL BE CONDUCTED NOT MORE THAN 30 DAYS AFTER THE TRENCH BACKFILLING AND COMPACTION HAS BEEN COMPLETED.
- H) CATCH BASIN LATERALS ARE TO BE "WYED" INTO THE MAIN. STAGGER WYE'S SLIGHTLY WHERE CATCH BASINS ARE DIRECTLY ACROSS FROM ONE ANOTHER.
- I) ALL MANHOLE BASES SHALL BE CONSTRUCTED WITH FLOW THROUGH CHANNELS J) DRIVEWAY AND ROOF STORM WATER TO BE PIPED TO EXISTING CITY STORM WATER SYSTEM. FOOTING DRAINS AN CRAWL SPACE DRAINS SHOULD ALSO DISCHARGE TO THE OUTLET SHOWN ON THE PLANS AND M DIRECTLY CONNECTED TO PREVENT LINES FROM BACKING UP INTO EACH OTHER. AT NO POINT SHALL

COVER DEPTH	8" 48" DIAMETER
LESS THAN 2' COVER	CLASS 52 DUCTILE IRON PIPE WITH BELL AND SPIGOT JOINTS AND RUBBER GASKET OR HDPE (HIGH DENSITY POLYETHYLENE) PIPE CONFORMING TO AASHTO M-252 (8"-10") OR AASHTO M-294, TYPE S (12"-48") WITH PRESSURE TESTABLE FITTINGS AND O-RING GASKETS CONFORMING TO ASTM F-1336 AND ASTM F-477 RESPECTIVELY WITH CDF BACKFILL.
2' TO 2.5' COVER	PIPE SPECIFIED FOR LESSER COVER DEPTH PVC ASTM D3034 SDR-35 ELASTOMERIC GASKETS CONFORMING TO ASTM D-3212.
2.5' TO 15' COVER	PIPE SPECIFIED FOR LESSER COVER DEPTH

WATER BE ALLOWED TO DISCHARGE ONTO THE SITE SLOPES.

STREET LIGHTS:

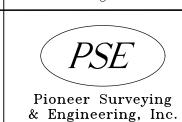
- A) STREET LIGHTS SHALL BE INSTALLED AFTER ALL OTHER EARTHWORK AND PUBLIC UTILITY INSTALLATIONS RE COMPLETED AND AFTER ROUGH GRADING OF THE PROPERTY IS ACCOMPLISHED TO PREVENT DAMAGE TO
- B) STREET LIGHTS POLES SHALL BE SET TO A DEPTH AS SPECIFIED BY THE MANUFACTURER, BUT N THAN 5 FEET. C) STREET LIGHT POLES SHALL BE INSTALLED WITHIN ONE DEGREE (1°) OF PLUMB.
- D) CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND PAY ALL COSTS FOR PROCUREM INSTALLATION, WIRING AND HOOK UP OF STREET LIGHTS.

PRIVATE UTILITIES:

- A) UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR APPROVED BY JURISDICTION HAVING AUTHORITY, ALL NEW PRIVATE UTILITIES (POWER, CABLE TV, TELEPHONE & GAS) SHALL BE INSTALLED UNDERGROUND. IN OF PRIVATE UTILITIÈS IN A COMMON TRENCH WITH WATER, SANITARY SEWER OR STORM SEWER IS 🔑
- CONTRACTOR SHALL COORDINATE POWER, TELEPHONE, AND CABLE TV COMPANY FOR LOCATION OF TALLS, PEDESTALS, ETC. ALL ABOVE GRADE FACILITIES SHALL BE PLACED IN A LOCATION OUTSIDE THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF T B) CONTRACTOR SHALL COORDINATE POWER, TELEPHONE, AND CABLE TV COMPANY FOR LOCATION OF
- C) POWER, TELEPHONE AND CATV TRENCHING AND CONDUITS SHALL BE INSTALLED PER UTILITY COMPAN REQUIREMENTS WITH PULL WIRE. CONTRACTOR SHALL VERIFY WITH UTILITY COMPANY FOR SIZE AND TY CONDUIT PRIOR TO CONSTRUCTION. ALL CHANGES IN DIRECTION OF UTILITY CONDUIT RUNS SHALL HAVE RADIUS STEEL BENDS.
- E) ALL PRIVATE UTILITY STRUCTURES (VAULTS, PEDESTALS, LIGHT POLES., ETC.) SHALL BE SET A

FOOT FROM ANY PROPERTY CORNER OR SURVEY MONUMENT.

D) CONTRACTOR SHALL NOTIFY AND COORDINATE WITH PRIVATE UTILITY FOR RELOCATION OF POWER



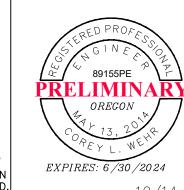
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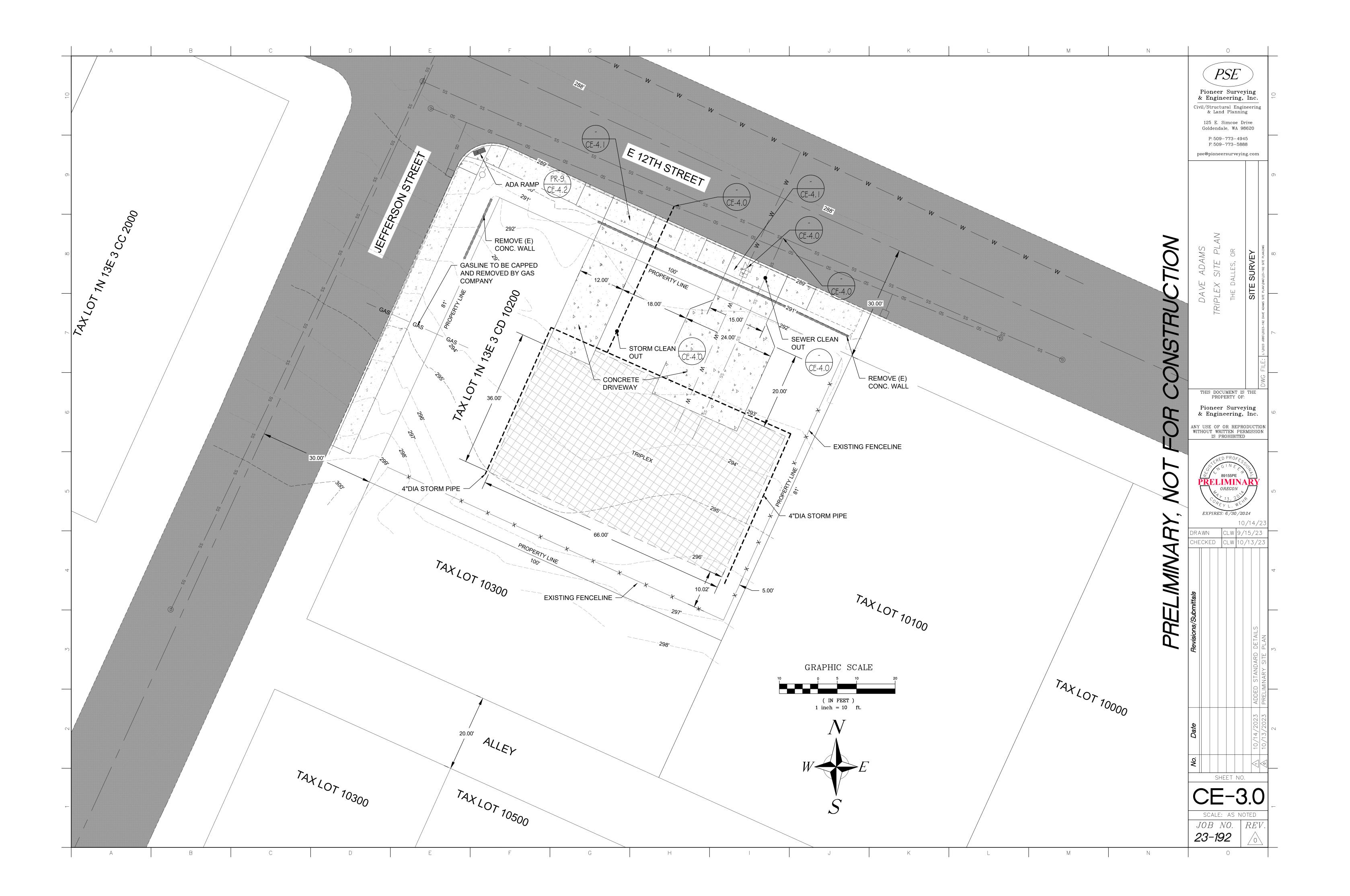
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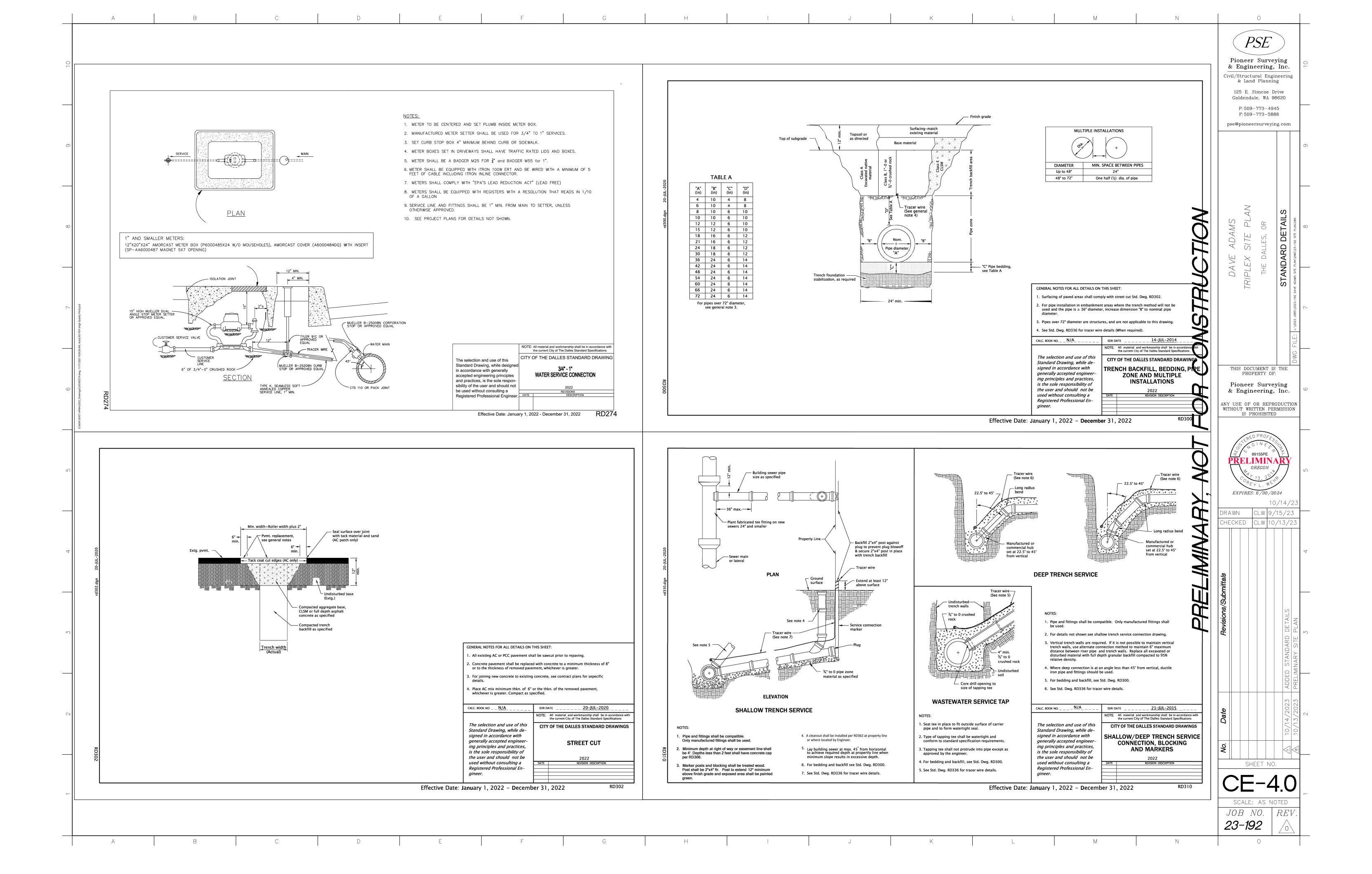


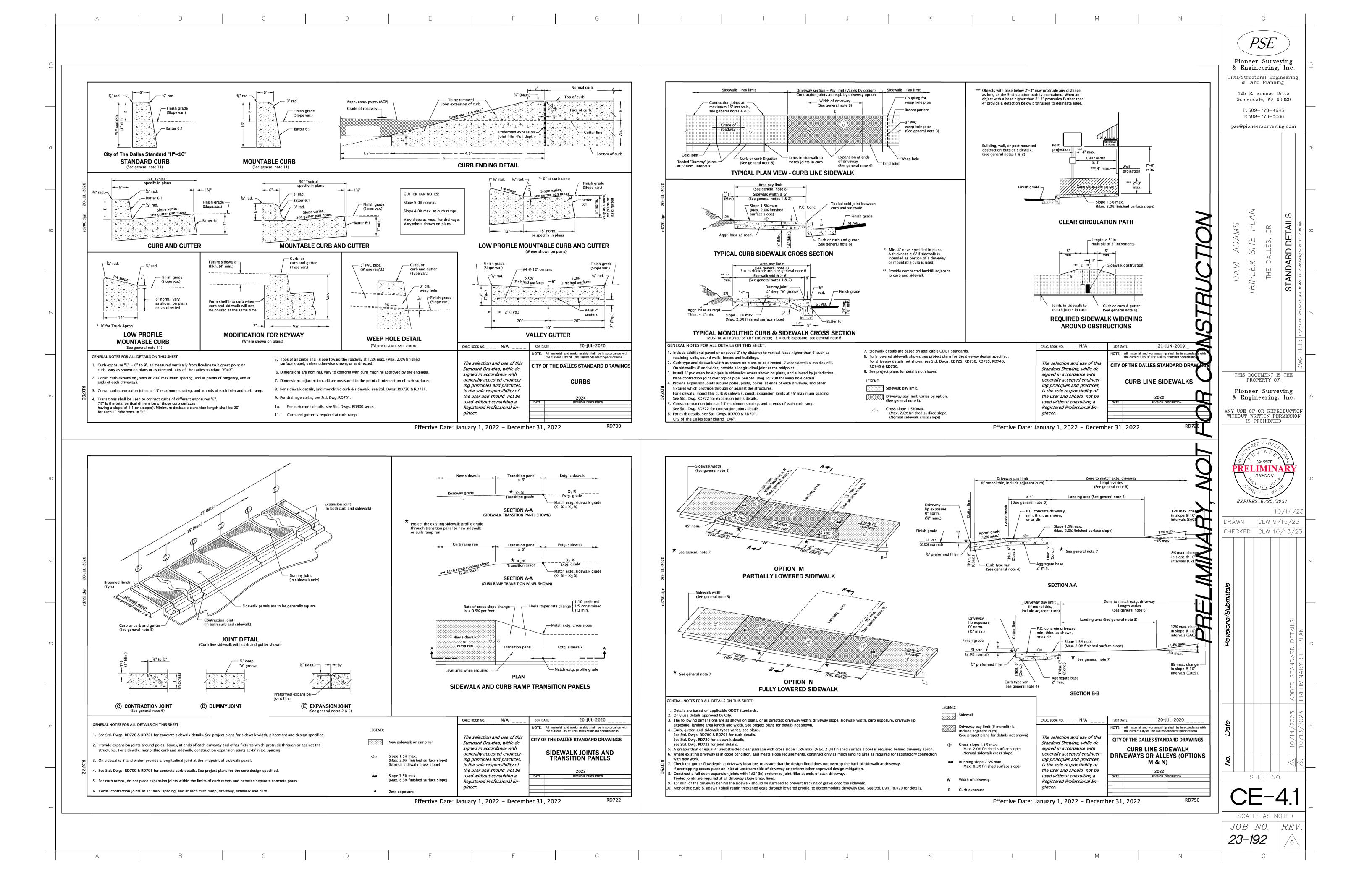
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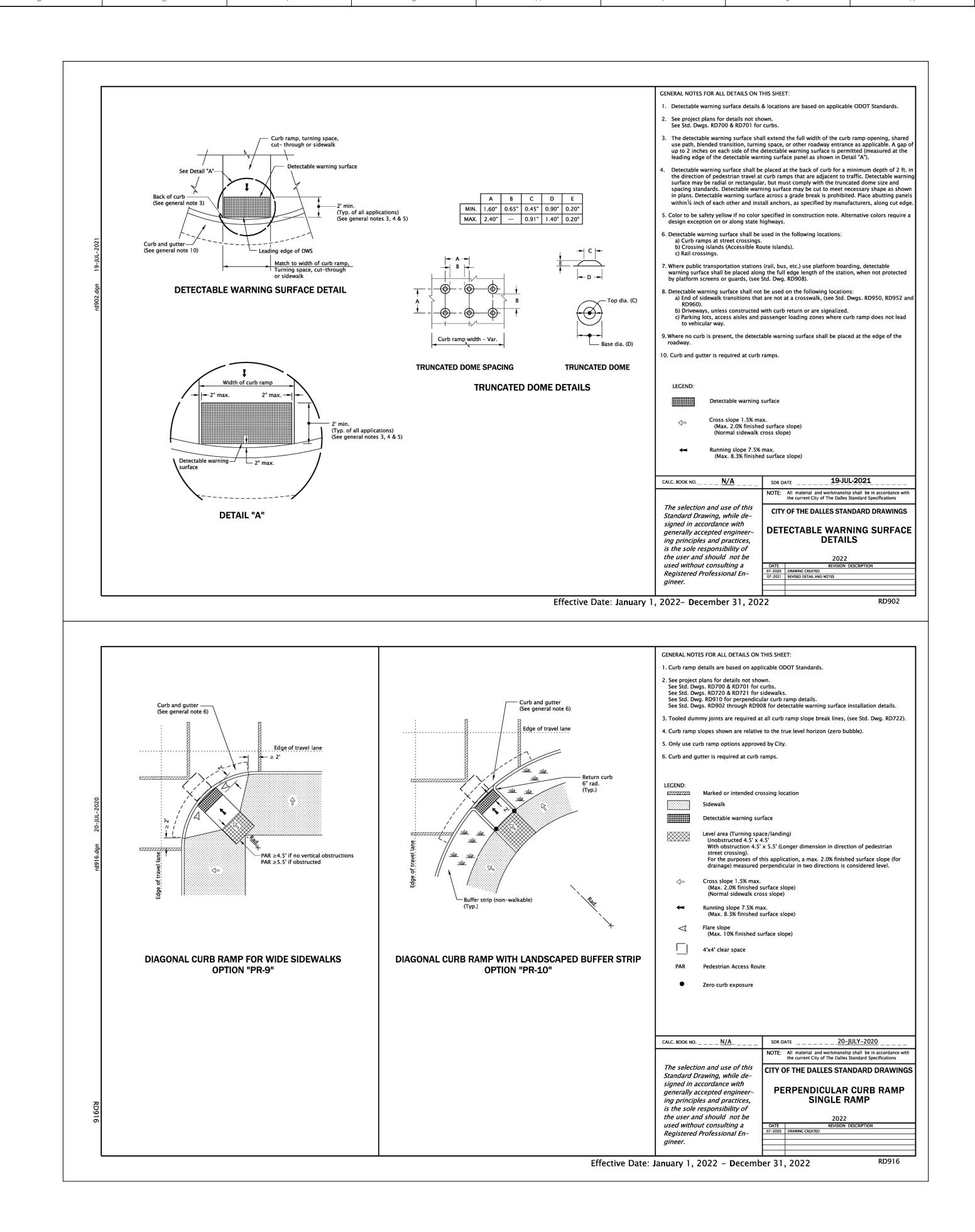
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SCALE: AS NOTED JOB NO. |REV|









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April 3, 2023

Brittany Holdings, LLC 319 East 2nd Street The Dalles, Oregon 97058 Attention: Dave Adams

Subject: Geologic Impact Statement

Proposed Triplex 600 East 12th Street

The Dalles, Wasco County, Oregon

EEI Report No. 23-046-1

Dear Mr. Adams:

As requested, Earth Engineers, Inc. (EEI) is pleased to transmit our Geologic Impact Statement for the proposed triplex located at 600 East 12th Street in The Dallas, Wasco County, Oregon. Our services were authorized by David Adams on February 28, 2023, by signing EEI proposal No. 23-P078B dated February 23, 2023.

PROJECT BACKGROUND INFORMATION

Our current limited understanding of the project is based on the information you provided to Principal Engineering Geologist, Adam Reese. Briefly, we understand the proposed plan consists of constructing a triplex on the vacant property. As the project is in its preliminary stages, we have not been provided any plans for the proposed construction.

We understand that the property is located within an area designated by the City of the Dalles as Geological Hazard Zone 1. As such, a Geologic Impact Statement is required in accordance with Section 8.040 – Geological Hazard Provisions (and more specifically Section 8.040.030A) of the municipal code for The Dalles, Oregon. This limited geologic impact statement report is intended to assess whether or not the proposed development would increase the risk of the occurrence of a specific the geologic hazard. In Zone 1, the specific hazard under consideration is reactivation of the Kelly Avenue Landslide. Our work is based on a visual reconnaissance and desktop

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research, and does not include subsurface investigation or instrumentation and monitoring to assess the subsurface conditions, or subsurface assessment of current and/or future slope movement.

PURPOSE AND SCOPE OF SERVICES

The purpose of our geotechnical visual reconnaissance was to visually observe the existing conditions at the property, and comment qualitatively on the potential impacts of the proposed construction related to the geological hazard zone.

Our scope of services included a visual site reconnaissance and preparing a Geologic Impact Statement report required in accordance with Section 8.040 – Geological Hazard Provisions (and more specifically the permit requirements outlined in section 8.040.030 – Permit Requirements).

It should be noted that our proposed scope of services did not include a subsurface investigation and laboratory testing to better define the soil, rock and groundwater properties at the site, or an evaluation of the existing structures on the site (i.e. retaining walls). In addition, our scope did not include any specific geotechnical engineering recommendations, such as foundation bearing capacity, potential foundation settlement, retaining wall designs, etc. We are available to provide these services upon request. Our currently authorized scope of services is concluded with the issuance of this report.

SITE DESCRIPTION

The subject property is located at 600 East 12th Street in The Dalles, Wasco County, Oregon (Wasco County Tax Lot No. 1N 13E 3 CD 10200). The subject property is bounded to the north by East 12th Street, to the east and south by residential properties, and to the west by Jefferson Street. See Figure 1 below for the project vicinity.



Figure 1: Aerial image showing the subject property (outlined in blue) and its vicinity. Base map source: https://public.co.wasco.or.us/gisportal/apps/webappviewer.

Based on a review of Google Earth historical images, it appears that the subject property was previously developed with a residence that was demolished at some point between November 2011 and March 2016. We understand from correspondence with Mr. Adams that the previous structure was destroyed by fire.

In addition, according to Google Earth, the property elevation ranges from 286 feet above mean sea level (msl) to 299 feet msl. The local terrain as viewed in Google Earth is shown below in Figure 2.

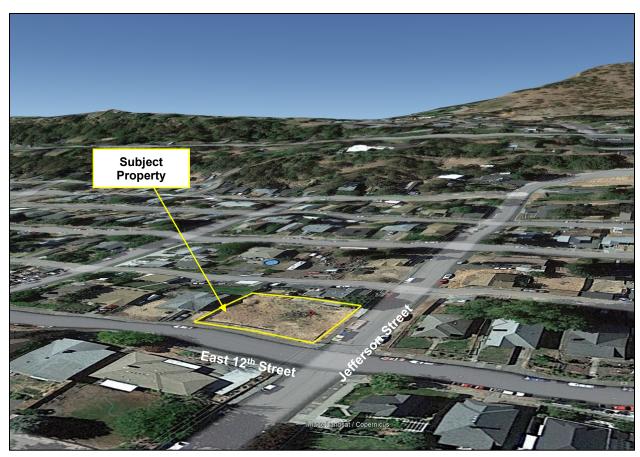


Figure 2: Google Earth image of the local terrain, facing south. The subject property is outlined in yellow.

MAPPED SOILS AND GEOLOGY

The subject property is located within the Columbia Plateau physiographic province of the Pacific Northwest, which is predominately a volcanic province covering approximately 63,000 square miles in Oregon, Washington, and Idaho. The Plateau was formed by repeated eruptions of flood basalt that occurred during the middle Miocene Epoch (approximately 21 to 10 million years ago).

More specifically, the underlying geologic unit at the subject property is mapped as Unit Tpr – Priest Rapids Member of the Wanapum Basalt group consisting of fine- to coarse-grained basalt flows.¹

The United States Department of Agriculture (USDA) Soil Survey provides geographical information of the soils in the project area as well as summarizing various properties of the soils. The USDA maps the surface soils on site as Unit 16D (Cherryhill-Rock outcrop complex on 3 to

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¹ Bela, J.L., 1982, Geologic and Neotectonic Evaluation of North-Central Oregon: The Dalles 1 degree x 2 degree quadrangle: Oregon Department of Geology and Mineral Industries, Geological Map Series 27, scale 1:250,000.

25 percent slopes).² This soil unit consists of well-drained soils formed on hillslopes from a parent material of old alluvium over colluvium derived from consolidated and semi-consolidated sandstone. A typical soil profile consists of silt loam overlying loam overlying sandy clay loam overlying weathered bedrock.

As a part of our due diligence for this report, we reviewed the Oregon Department of Geology and Mineral Industries (DOGAMI) Statewide Geohazards Information Database for Oregon (HazVu) website (https://gis.dogami.oregon.gov/hazvu/). This database maps the property as being in a very high landslide hazard area, a severe earthquake shaking area, and a moderate liquefaction (soft soil) hazard area. In addition, the database maps the subject property within an existing landslide. It should be noted the subject property is not mapped within a flood hazard area, or in close proximity to any faults.

In addition, we reviewed the DOGAMI Statewide Landslide Information Layer for Oregon (SLIDO version 4.4) website (https://gis.dogami.oregon.gov/maps/slido/) for information on nearby landslides. This database also maps the subject property within an existing landslide, however it does not provide any information on the subject landslide. See Figure 3 below.

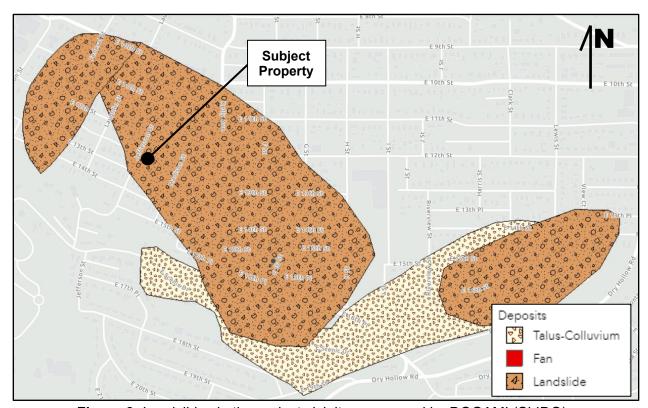


Figure 3: Landslides in the project vicinity as mapped by DOGAMI (SLIDO).

Soil Survey Staff, Natural Resources Conservation Service, United States Department of Agriculture. Web Soil Survey. Available online at http://websoilsurvey.nrcs.usda.gov/ accessed 3/24/2023.

It should be noted that a Geologic Hazards Study was published in 2011 for the city of The Dalles Community Development Department which identified an active landslide, the Kelly Avenue Landslide.³ The study also indicates that the subject property is located within a mapped landslide (the Kelly Avenue Landslide). The study includes a detailed geologic map of The Dalles, with the approximate inferred limits of the landslide outlined (highlighted in yellow on Figure 4 below).

The Geologic Hazards Study indicates that the cause of the slide was a rise in the groundwater in the landslide deposit. However, based on inclinometer monitoring, the movement of the landslide is reported to have reduced to little or no movement as recorded in 2010. Pumping wells to lower the groundwater level were reportedly responsible for stopping the landslide movement.

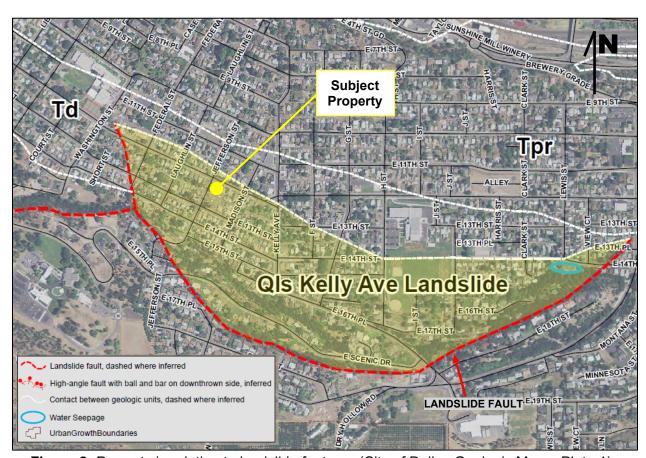


Figure 2: Property in relation to landslide features (City of Dalles Geologic Map – Plate 1).

In April 2022, EEI Geotechnical Engineering Associate John Martin contacted Dale McCabe of the City of The Dalles Public Works Department via telephone regarding another project located nearby (East 13th Street and Kelly Avenue) and related the Kelly Avenue Landslide. Mr. McCabe indicated that the groundwater monitoring wells and slope inclinometers are monitored quarterly by Shannon and Wilson (geotechnical engineering consultant). At that time, Mr. McCabe said that their records have shown that the landslide is no longer active, and that they have no expectation that it will reactivate and begin moving.

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³ Yinger, R.G., 2011, City of The Dalles Geologic Hazards Study, Mark Yinger Associates.

SITE OBERVATIONS

In order to describe and evaluate landslide hazards of the site and risks to the proposed development, EEI Geotechnical Project Manager Jacqui Boyer conducted a surficial reconnaissance of the property and surrounding area on March 7, 2023. Along with our background research, the purpose of our reconnaissance was to evaluate site to assess the landslide hazard on the subject property (i.e. related to the above-referenced large landslide complex). During our reconnaissance, we observed local soil and slope conditions on the subject property and checked for signs of recent landsliding.

The following is a summary of our visual reconnaissance:

1. The subject property is currently vacant; however, there are still signs of the demolition of the previous residence (i.e. stem walls). There is an existing retaining wall along East 12th Street that appears to be tied back with anchors. The wall is approximately 2.5-feet in height and appears to be in poor condition (i.e. leaning and cracked). In terms of topography, the subject property is generally flat to slightly sloping. There are no oversteepened slopes on the property (i.e. greater than approximately 26 degrees). See Photos 1 through 3 for the current conditions at the time of our reconnaissance.



Photo 1: Current conditions of the subject property, taken from the southwest corner facing northeast.



Photo 2: Current conditions of the subject property, taken from the northwest corner along East 12th Street (facing southeast), with the existing retaining wall (photo left).



Photo 3: Current conditions of the leaning and cracked retaining wall mentioned above located along East 12th Street.

2. Based on our surficial visual reconnaissance, we did not observe any apparent signs of recent impacts from slope movement on the subject property. It should be noted that we observed cracking in the pavement along Jefferson Street), immediately west of the subject property. The pavement impacts could be indicative of historical ground movement, or other unrelated factors such as utility repairs or improvement, or vehicle loads that exceeded the design. See Photo 4 below.



Photo 4: Cracking in the pavement observed along Jefferson Street.

It should be noted that the impacts at the scale of the Kelly Avenue Landslide may not be visible at the individual property scale. In addition, as previously stated, we did not conduct a subsurface investigation on the subject property, which would allow site-specific assessment of whether or not the lithology beneath the site includes landslide debris.

With regard to evidence of the large landslide that the property is situated upon, we did not observe any substantive features on the properties surrounding the subject property that be representative of recent slope movement of this scale (e.g., scarps, sag ponds, etc.).

3. We did not observe any active seeps or springs on the site at the time of our site reconnaissance. However, it should be noted that shallow perched groundwater is typical in the lower slopes of The Dalles (i.e. in the project area).

In addition to our visual site reconnaissance, we reviewed historical aerial images available from Google Earth (as discussed above). These images date back as far as 1985 (although the images prior to 2010 generally have poor resolution and are difficult to interpret – the image quality significantly improves after 2010). The images do not show significant changes to the property (related to either development or landslide impacts) subsequent to demolition of the prior residence.

CONCLUSIONS AND RECOMMENDATIONS

Based on our site observations and review of geologic resources for the area, we make the following conclusions and recommendations:

- We did not observe anything from a landslide hazard standpoint that indicates there would be substantially greater risk of developing this property with a triplex than any of the other properties mapped within the Kelly Avenue Landslide.
 - When owning a property in this area and on a large landslide mass, there is an acceptance of risk that the property is within a landslide hazard area that could reactivate at some time in the future, possibly due to a Cascadia Subduction Zone earthquake event or severe winter storm event. We do not anticipate that it will be possible to completely mitigate the risk of damage from such an event. It should be noted that many other similar properties already developed within The Dalles that are at a similar risk. We recommend consideration be taken into protecting life safety in the event that a design level earthquake was to occur (i.e. implementing an integrated foundation system tied together with grade beams). As previously stated, we are not providing specific foundation design recommendations for the proposed structure.
- 2. In order to mitigate the potential of triggering soil movement within the Kelly Avenue Landslide, care should be taken to maintain adequate site surface and subsurface drainage on the subject property (i.e. tightlining stormwater to the existing City system, if possible). Other general best practices include avoiding placement of significant quantities of fill to raise site grades.
- 3. In general, there are several lines of evidence supporting that development of the subject property will not lead to reactivation of the Kelly Avenue Landslide, including:
 - a. The climate in The Dalles includes relatively low levels of precipitation, with an average of less than 15 inches of precipitation annually.
 - b. While historically active, the Kelly Avenue Landslide is now considered to be stable.
 - c. Overall, the scale of the project is relatively small compared to the scale of the Kelly Avenue Landslide (i.e. the property is approximately 7,850 square feet in size, whereas the extent of the Kelly Avenue Landslide is on the order of 5,000,000 square feet).

- d. Finally, the previous movement of the Kelly Avenue Landslide was caused by a rise in the groundwater in the landslide deposit. It is our understanding that the proposed development plans to discharge of all stormwater and grey water into the existing public system. This ultimately mitigates a substantial factor that could contribute to the reactivation of a big landslide.
- 4. It should be noted that while this Geologic Impact Statement report does not include the Certification of Plans outlined in Section 8.040.030 of The Dalles Municipal Code, we are available to provide the Certification of Plans if required and as plans become available.

Based on the factors described above, we recommend that the development of the subject vacant property will not substantively increase the risk of reactivation of the Kelly Avenue Landslide.

LIMITATIONS

Landslide hazard evaluations can take the form of simplistic visual observations, or they can involve detailed investigations with borings, inclinometer installations, laboratory testing, and slope stability modeling. Visual observation evaluations tend to translate to more risk and less cost for the client than a detailed investigation. However, no matter what method of landslide hazard evaluation is selected, there is always some risk to the client that a landslide could occur in the future. Our evaluation is not a guarantee that some form of landsliding will never occur on this property in the future. It is merely an evaluation of the risk, based on our observations.

The geologic hazard recommendations presented in this report are based on the available project information described in this report. If any of the noted information is incorrect, please inform EEI in writing so that we may amend the recommendations presented in this report if appropriate and if desired by the client. EEI will not be responsible for the implementation of its recommendations when it is not notified of changes in the project.

This report has been prepared for the exclusive use of Brittany Holdings, LLC for the specific application of the vacant property located at 600 East 12th Street in The Dalles, Wasco County, Oregon. EEI does not authorize the use of the advice herein nor the reliance upon the report by third parties without prior written authorization by EEI.

We appreciate the opportunity to perform this site reconnaissance and Geologic Impact Statement. If you have any questions pertaining to this report, or if we may be of further service, please contact Jacqui Boyer at 360-567-1806 (office) or 503-688-8522 (cell).

Sincerely,

Earth Engineers, Inc.



Adam Reese, R.G., C.E.G. Principal Engineering Geologist

Jacqui Boyer

Geotechnical Project Manager

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