



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
COMMUNITY DEVELOPMENT DEPARTMENT

SITE TEAM AGENDA

The information contained in this agenda is for preliminary comments/concerns only.

Thursday, April 11, 2024, 1:00 p.m.

Please note: Applicant start time is 2:00 p.m.

Meeting held via Zoom

<https://us06web.zoom.us/j/88316496257?pwd=VVdxVm5wQjRialdpOG9TdGFVeWF2QT09>

Meeting ID: **883 1649 6257** Passcode: **636603**

Dial: 1-669-900-6833 or 1-253-215-8782

Action Items

This item is for your review and comment. Please comment on or before the scheduled Site Team Meeting.

- A. **Bob Breshears** – Site Plan Review. Applicant is requesting approval to site and construct a concrete plant. The property is located immediately north of 3600 River Road and further described as 2N 13E 28 tax lot 705. Property is zoned I – Industrial District.
Planner: Frank Glover
- B. **Mary Fierros Bower, LRS Architects**– Conditional Use Permit. Applicant is assisting NW Natural with zoning research in determining the operational feasibility of a potential site for their future Resource Center and Emergency Fleet Service Yard. The property is located at 2727 W. 7th Street and further described as 2N 13E 32 A tax lots 200 and 300, and 2N 13E 32 AD tax lot 1100. Property is zoned CG – General Commercial District.
Planner: Joshua Chandler
- C. **Gretchen Sharp** – Site Plan Review. Applicant is requesting approval to site and construct a 120' x 100' structure for use as a multi-use court sport facility. The property is located at 731 Pomona Street and further described as 2N 13E 29 DD tax lot 5700. Property is zoned CG – General Commercial District.
Planner: Frank Glover
- D. **Dave Adams** – Site Plan Review. Applicant is requesting approval to site and construct a triplex. The property is located at 600 E. 12th Street and further described as 1N 13E 3 CD tax lot 10200. Property is zoned RH – High Density Residential District.
Planner: Joshua Chandler

Next regularly scheduled Site Team meeting: Thursday, April 25, 2024.



City of The Dalles
Community Development Dept.
313 Court Street
The Dalles, OR 97058
(541) 296-5481, ext. 1125
www.thedalles.org

Site Team #: ST 007-24
Received: \$100⁰⁰
Filing Fee: _____
Receipt #: #.520631
Meeting Date: March 28

Site Team / Pre-Application Meeting

- | | | | |
|---------------------------------------|---|--|--|
| <input type="radio"/> Adjustment | <input type="radio"/> Mobile Home Park | <input type="radio"/> Conditional Use Permit | <input type="radio"/> Property Line Adjustment |
| <input type="radio"/> Building Permit | <input type="radio"/> Site Plan Review | <input type="radio"/> Minor Partition/Replat | <input type="radio"/> Planned Unit Development |
| <input type="radio"/> Variance | <input type="radio"/> Vacation (Street) | <input type="radio"/> Comp Plan Amendment | <input type="radio"/> Comp Plan/Zone Change |
| <input type="radio"/> Subdivision | <input type="radio"/> Zone Change | <input type="radio"/> Other: <u>New Business</u> | |

Applicant

Name: Bob Breshears

Address: 1306 Tucker Rd

Phone #: 541-806-5970

Email: Bobmcinc@gmail.com

Legal Owner (if other than Applicant)

Name: The Dalles Industrial Group LLC

Address: _____

Phone #: _____

Email: _____

Property Information

Address: _____

Map and Tax Lot: 2N 13E 28 705

Project Description (continue on next page if necessary)

Mission Construction Inc DBA Gorge-Crete is proposing the start up of a new concrete Plant. Production and Sales of 15,000 - 20,000 yards of concrete is projected to be manufactured and sold locally.

Application Policy

I certify that I am the applicant or owner identified below. I acknowledge that the final approval by the City of The Dalles, if any, may result in restrictions, limitations, and construction obligations being imposed on this real property. I understand that if the property is owned in part or totality by a trust, partnership, corporation or LLC, I will be required to present legal documentation listing all persons that make-up the entity, as well as proof of my authorization to act on the entity's behalf. I consent and hereby authorize City representative(s) to enter upon my property for any purpose of examination or inspection related to this application. I certify that all information provided is true and correct, and consent to the filing of the application, authorized by my original signature below.

The Site Team/Pre-Application meeting does not constitute an approved Land Use Application. The resulting Land Use Application must adhere to all applicable standards in effect at the time of application.

Signature of Applicant

Signature of Property Owner

Bob Brewster

[Signature]

Date

Date

Department Use Only

City Limits: Yes No Zone: _____ Overlay: _____ Airport Zone: Yes No

Geohazard Zone: _____ Flood Designation: _____

Historic Structure: Yes No Current Use: _____

Previous Planning Actions:

Erosion Control Issues? Access Issues? Utilities and Public Improvements? Items Needing Attention?

gas, power, sewer



3855 RIVER RD

3840 CRATES WAY

3800 CRATES WAY

3825 RIVER RD

The Dalles Water District

3725 CRATES WAY

3700 CRATES WAY

3600 RIVER RD

3620 CRATES WAY STE 400

3620 CRATES WAY STE 100

3630 CRATES WAY

3610 CRATES WAY

3675 CRATES WAY

3625 CRATES WAY

3600 CRATES WAY STE 100



- Restaurants
- Hotels
- Things to do
- Museums
- Transit
- Pharmacies
- ATMs

12'x40' Office/Jobtrailer

Mobile Batch Plant

Material Stock Piles

Google



City of The Dalles
Community Development Dept.
 313 Court Street
 The Dalles, OR 97058
 (541) 296-5481, ext. 1125
 www.thedalles.org

Site Team #: ST 008-24
 Received: 03/11/2024
 Filing Fee: \$100.00
 Receipt #: XBP 167718621
 Meeting Date: 04/11/2024

Site Team / Pre-Application Meeting

- | | | | |
|---------------------------------------|---|---|--|
| <input type="radio"/> Adjustment | <input type="radio"/> Mobile Home Park | <input checked="" type="radio"/> Conditional Use Permit | <input type="radio"/> Property Line Adjustment |
| <input type="radio"/> Building Permit | <input type="radio"/> Site Plan Review | <input type="radio"/> Minor Partition/Replat | <input type="radio"/> Planned Unit Development |
| <input type="radio"/> Variance | <input type="radio"/> Vacation (Street) | <input type="radio"/> Comp Plan Amendment | <input type="radio"/> Comp Plan/Zone Change |
| <input type="radio"/> Subdivision | <input type="radio"/> Zone Change | <input type="radio"/> Other: _____ | |

Applicant

Name: Mary Fierros Bower, LRS Architects
 Address: 720 NW Davis St. Suite 300

 Phone #: 503.265.1572
 Email: mfierrosbower@lrsarchitects.com

Legal Owner (if other than Applicant)

Name: Wayne Pipes, NW Natural
 Address: 250 SW TAYLOR STREET, Portland, OR 97204

 Phone #: 503.226.4211 EXT 2496
 Email: wayne.pipes@nwnatural.com

Property Information

Address: 2727 W 7th Street, The Dalles, OR 97058

Map and Tax Lot: 2N 13E 32 A 300, 2N 13E 32 1100,
2N 13E 32 A 200

Project Description (continue on next page if necessary)

LRS Architects is assisting NW Natural with the initial zoning research in determining the operational feasibility of a potential site for their future Resource Center and Emergency Fleet Service Yard.

The 4+/- acre property carries an (CG) General Commercial zoning designation. There is an existing 14,000 SF Cinema (built in 1996) with four screens. It is an Occupancy A, Type V building, and is sprinklered. The north end of the site is comprised of parking stalls and 2 street entries, one off of Snipes St., and the other off W. 7th St.

NW Natural is a natural gas utility. The company provides utility construction and emergency services. The Resource Center is not open to customers or the public, it is a communications and dispatch center for emergency gas line repair response crews, infrastructure maintenance, along with the fleet vehicle and materials storage needed for that purpose.

The facility would utilize the existing theater, and would renovate it to house the Main Office, Storeroom, and Large Vehicle Storage bays (Occupancies B and S-1). The remainder of the property would include various small site buildings to serve as the critical operational infrastructure of the NWN Service Fleet (See Site Plan). For optimal flow of the emergency fleet vehicles through and off the site, we propose the shift of the northern driveway west along Snipes, and the addition of a new driveway along 7th, for delivery vehicles to the new Storeroom.

Application Policy

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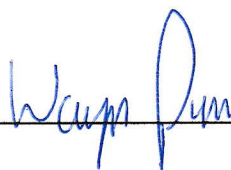
The Site Team/Pre-Application meeting does not constitute an approved Land Use Application. The resulting Land Use Application must adhere to all applicable standards in effect at the time of application.

Signature of Applicant

Signature of Property Owner

Mary Fierros Bower 3/8/24

Date



3/8/24

Date

Department Use Only

City Limits: Yes No Zone: _____ Overlay: _____ Airport Zone: Yes No

Geohazard Zone: _____ Flood Designation: _____

Historic Structure: Yes No Current Use: _____

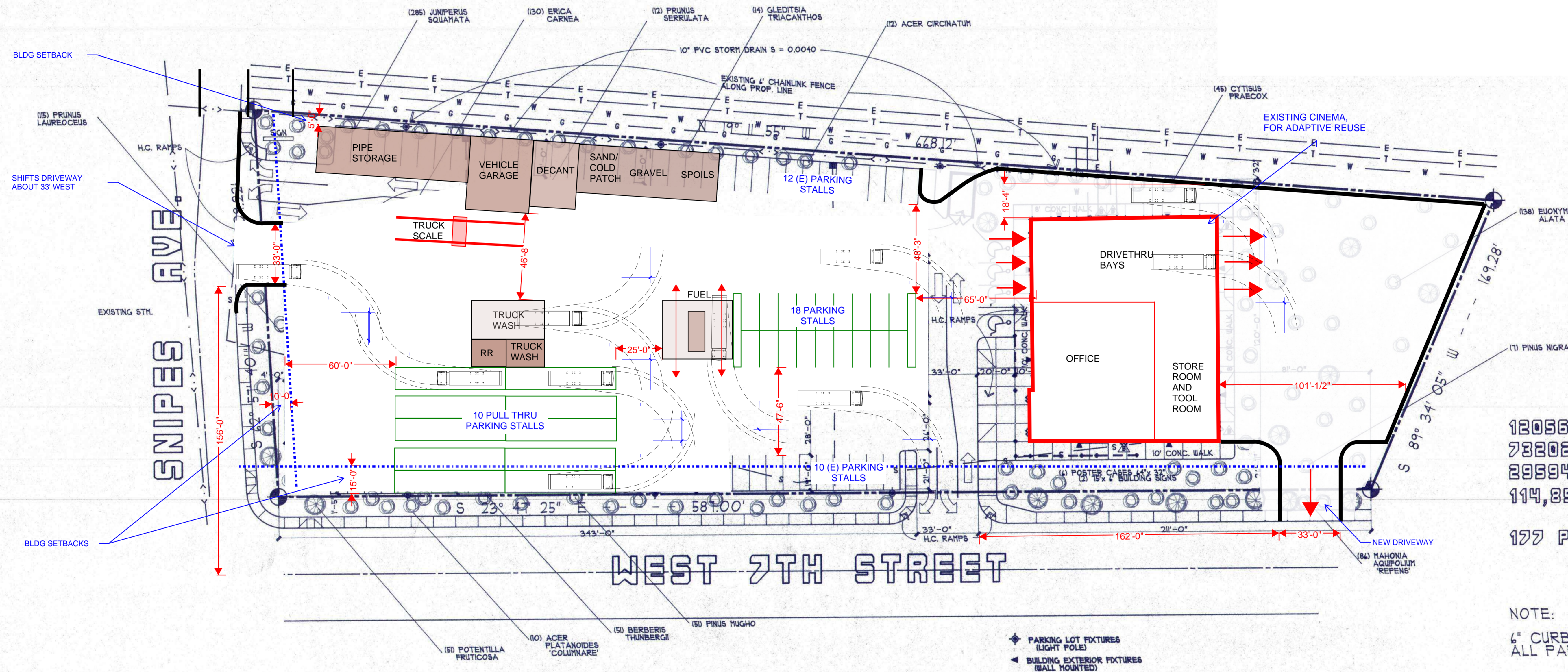
Previous Planning Actions:

Erosion Control Issues? Access Issues? Utilities and Public Improvements? Items Needing Attention?

OPTION A

40 STALLS
10 PULL-THRU

- Pipe Storage 3-sided open shed (2,550 SF)
- Covered spoils bins 3-sided open shed (2,656 SF)
- Decant 3-sided open shed (890 SF)
- Fueling Tank Island with canopy (1,232 SF)
- Enclosed Vehicle Storage Garage (1,780 SF)
- Trash Enclosure (258 SF)
- Truck Scale
- Truck Wash, Restroom, and Drive-thru Canopy (1405 SF)



12056 SQ. FT. BUILDING
78202 SQ. FT. PARKING AND WALKS
89894 SQ. FT. TOTAL LANDSCAPING
114,852 SQ. FT. TOTAL LOT

177 PARKING SPACES

NOTE:
4" CURBING BORDERING ALL PARKING & LANDSCAPING

— T —	TELEPHONE
— E —	ELECTRICAL
— G —	NATURAL GAS
— S —	SEWER
— W —	WATER

PROPOSED SITE PLAN

1" = 30'-0"



City of The Dalles
Community Development Dept.
 313 Court Street
 The Dalles, OR 97058
 (541) 296-5481, ext. 1125
 www.thedalles.org

Site Team #: ST 009-24
 Received: 3-12-2024
 Filing Fee: \$100-
 Receipt #: 520632
 Meeting Date: 4-11-2024

Site Team/Pre-Application Meeting

- | | | | |
|---------------------------------------|---|--|--|
| <input type="radio"/> Adjustment | <input type="radio"/> Mobile Home Park | <input type="radio"/> Conditional Use Permit | <input type="radio"/> Property Line Adjustment |
| <input type="radio"/> Building Permit | <input checked="" type="radio"/> Site Plan Review | <input type="radio"/> Minor Partition/Replat | <input type="radio"/> Planned Unit Development |
| <input type="radio"/> Variance | <input type="radio"/> Vacation (Street) | <input type="radio"/> Comp Plan Amendment | <input type="radio"/> Comp Plan/Zone Change |
| <input type="radio"/> Subdivision | <input type="radio"/> Zone Change | <input type="radio"/> Other: _____ | |

Applicant

Name: Gretchen Sharp
 Address: 731 Pomona
The Dalles
 Phone #: 541 298 8508
 Email: gretchen@thedallesathleticclub.com

Legal Owner (if other than Applicant)

Name: Tim Dahle
 Address: 731 Pomona St
The Dalles
 Phone #: 541 993 9600
 Email: cherries@george.net

Property Information

Address: 731 Pomona St

Map and Tax Lot: _____ 02N-13E-29DD
5700

Project Description (continue on next page if necessary)

120' x 100' steel building to house a concrete pad used as a multi-use court sport facility.

Application Policy

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Signature of Applicant

Signature of Property Owner

Seton Sharp 3/12/24
Date

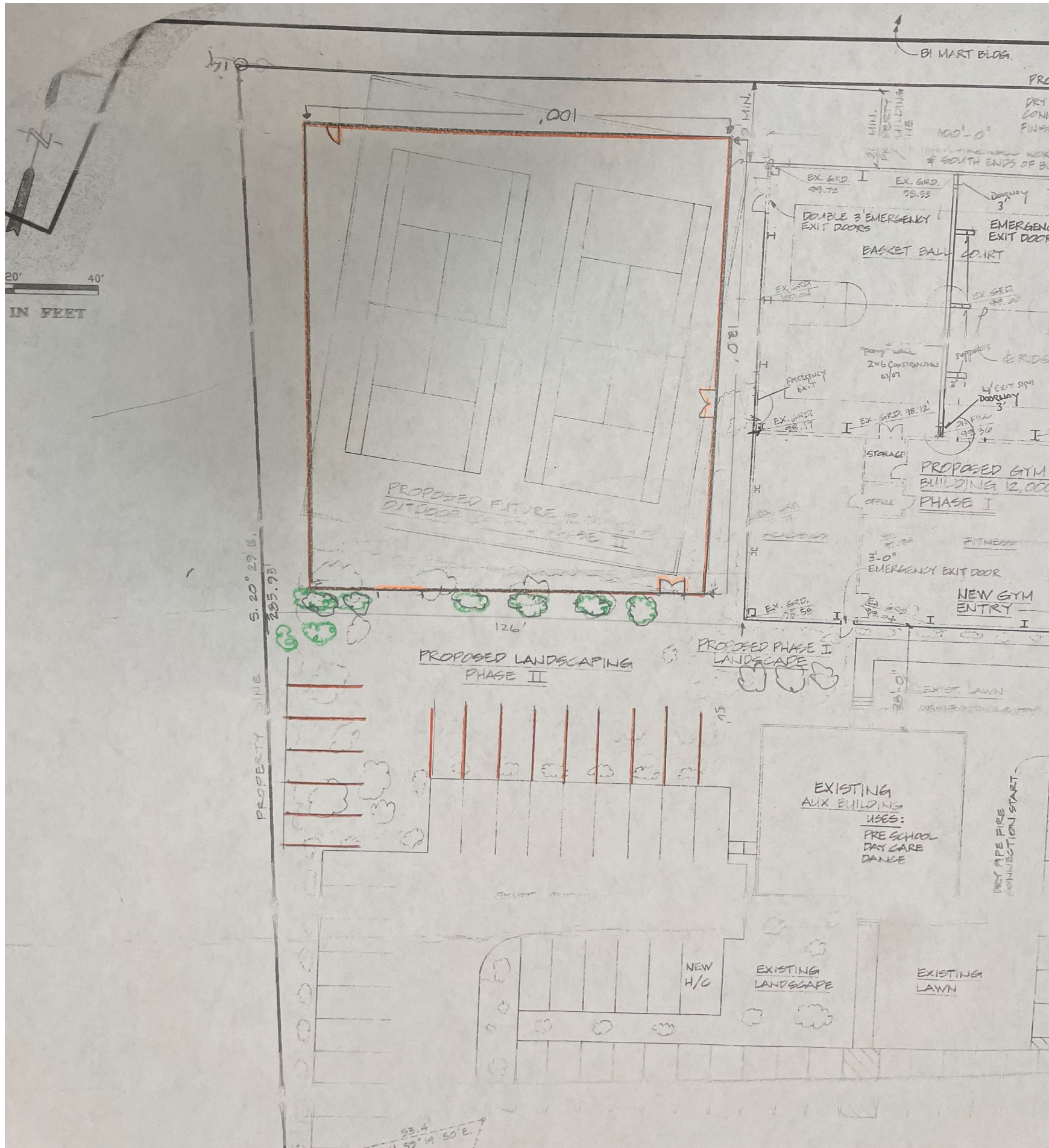
Matthew L. Vahle 3/12/24
Date

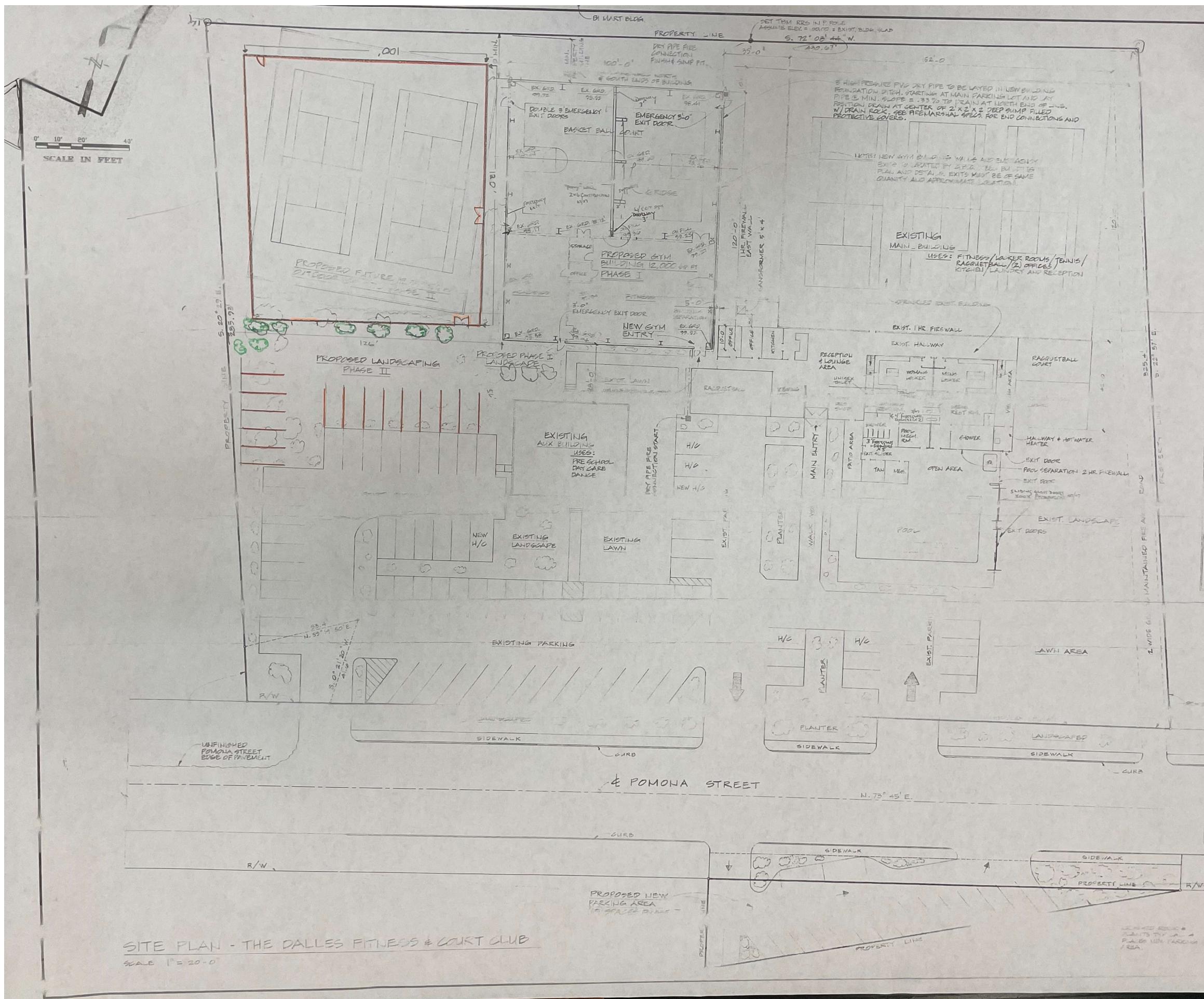
Department Use Only

City Limits: Yes No Zone: _____ Overlay: _____ Airport Zone: Yes No
Geohazard Zone: _____ Flood Designation: _____
Historic Structure: Yes No Current Use: _____

Previous Planning Actions:

Erosion Control Issues? Access Issues? Utilities and Public Improvements? Items Needing Attention?





SITE PLAN - THE DALLES FITNESS & COURT CLUB
 SCALE 1" = 20'-0"

REGISTERED PROFESSIONAL LAND SURVEYOR

ORDER NUMBER: 18-001

DATE: 12-11-07

PROJECT: THE DALLES FITNESS & COURT CLUB SITE PLAN

731 POMONA ST. WEST THE DALLES OREGON

400 LINCOLN STREET THE DALLES, OREGON 97058 503-298-9177 FAX 503-298-6857

NO.	DATE	REVISIONS
1	12-11-07	ISSUE FOR PERMIT

Survey: [] Design: [] Check: [] Date: 12-11-07





City of The Dalles
Community Development Dept.
 313 Court Street
 The Dalles, OR 97058
 (541) 296-5481, ext. 1125
 www.thedalles.org

Site Team #: ST 010-24
 Received: 03/12/2024
 Filing Fee: \$100
 Receipt #: 520633
 Meeting Date: _____

Site Team/Pre-Application Meeting

- | | | | |
|---------------------------------------|---|--|--|
| <input type="radio"/> Adjustment | <input type="radio"/> Mobile Home Park | <input type="radio"/> Conditional Use Permit | <input type="radio"/> Property Line Adjustment |
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| <input type="radio"/> Subdivision | <input type="radio"/> Zone Change | <input type="radio"/> Other: _____ | |

Applicant

Name: Dave Adams
 Address: 319 E 2nd St
The Dalles, OR 97058
 Phone #: 541-288-6336
 Email: dave@adamsdesigncenter.com

Legal Owner (if other than Applicant)

Name: Brittany Holding, LLC
 Address: 319 E 2nd St
The Dalles, OR
 Phone #: 541-288-6336
 Email: dave@adamsdesigncenter.com

Property Information

Address: 600 E 12th St

Map and Tax Lot: 1N 13E 3 CD 10200

Project Description (continue on next page if necessary)

Application Policy

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Signature of Applicant

Signature of Property Owner

_____ Date

_____ Date

Department Use Only

City Limits: Yes No Zone: RH Overlay: _____ Airport Zone: Yes No

Geohazard Zone: _____ Flood Designation: _____

Historic Structure: Yes No Current Use: _____

Previous Planning Actions:

Erosion Control Issues? Access Issues? Utilities and Public Improvements? Items Needing Attention?

E. 12th St

100'-0"

81'-0"

Jefferson St



N
O
R
T
H

BUILDING FOOTPRINT
66' X 40'

40'-0"

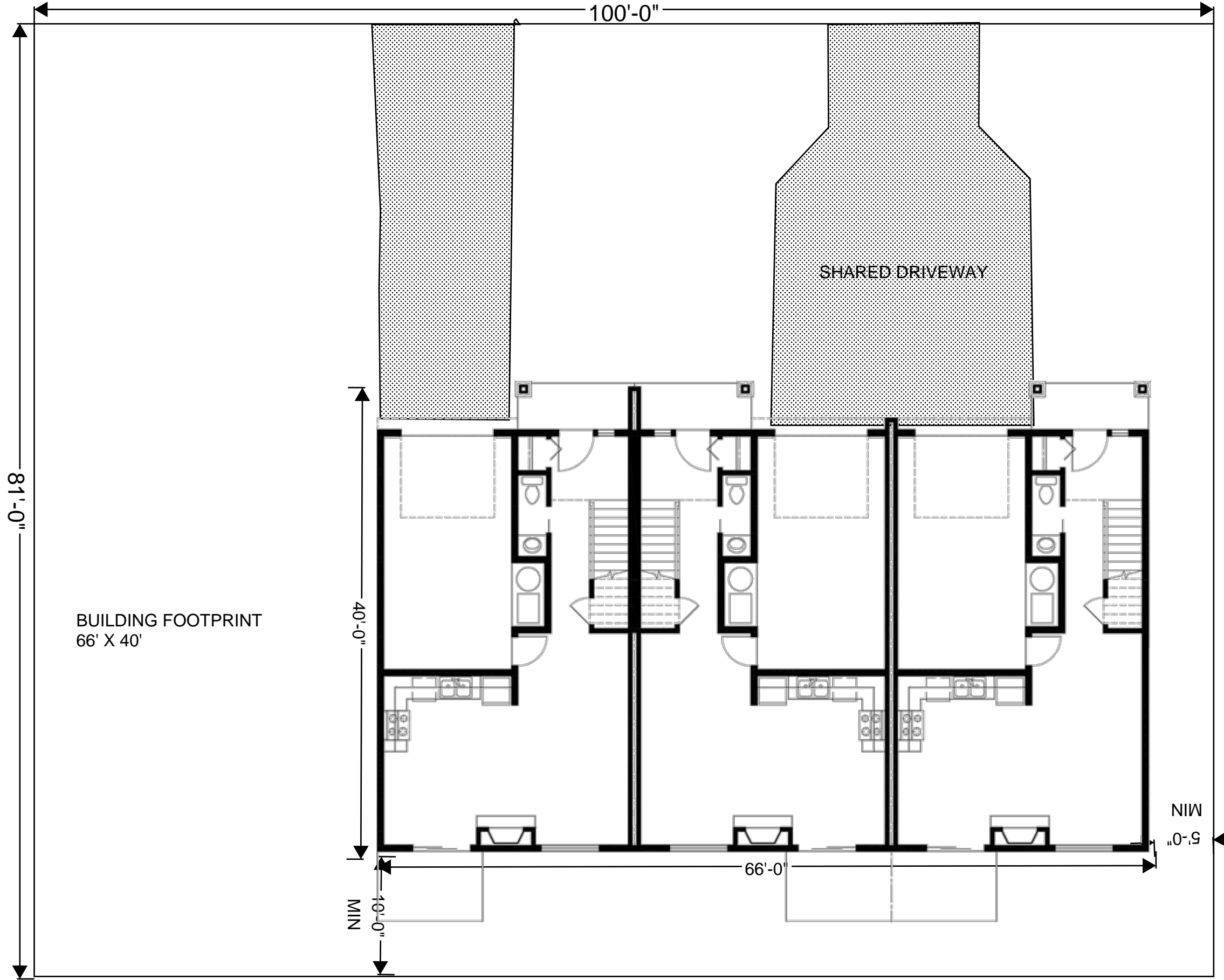
66'-0"

MIN
10'-0"

MIN
5'-0"

SHARED DRIVEWAY

ADAMS TRIPLEX CONCEPT



DAVE ADAMS - TRIPLEX SITE PLAN

WASCO COUNTY - PARCEL #: 1N 13E 3 CD 10200

600 E 12TH STREET, THE DALLES, OR 97058

PSE
Pioneer Surveying & Engineering, Inc.
 Civil/Structural Engineering & Land Planning
 125 E. Simcoe Drive
 Goldendale, WA 98620
 P: 509-773-4945
 F: 509-773-5888
 pse@pioneersurveying.com

DAVE ADAMS
 TRIPLEX SITE PLAN
 THE DALLES, OR

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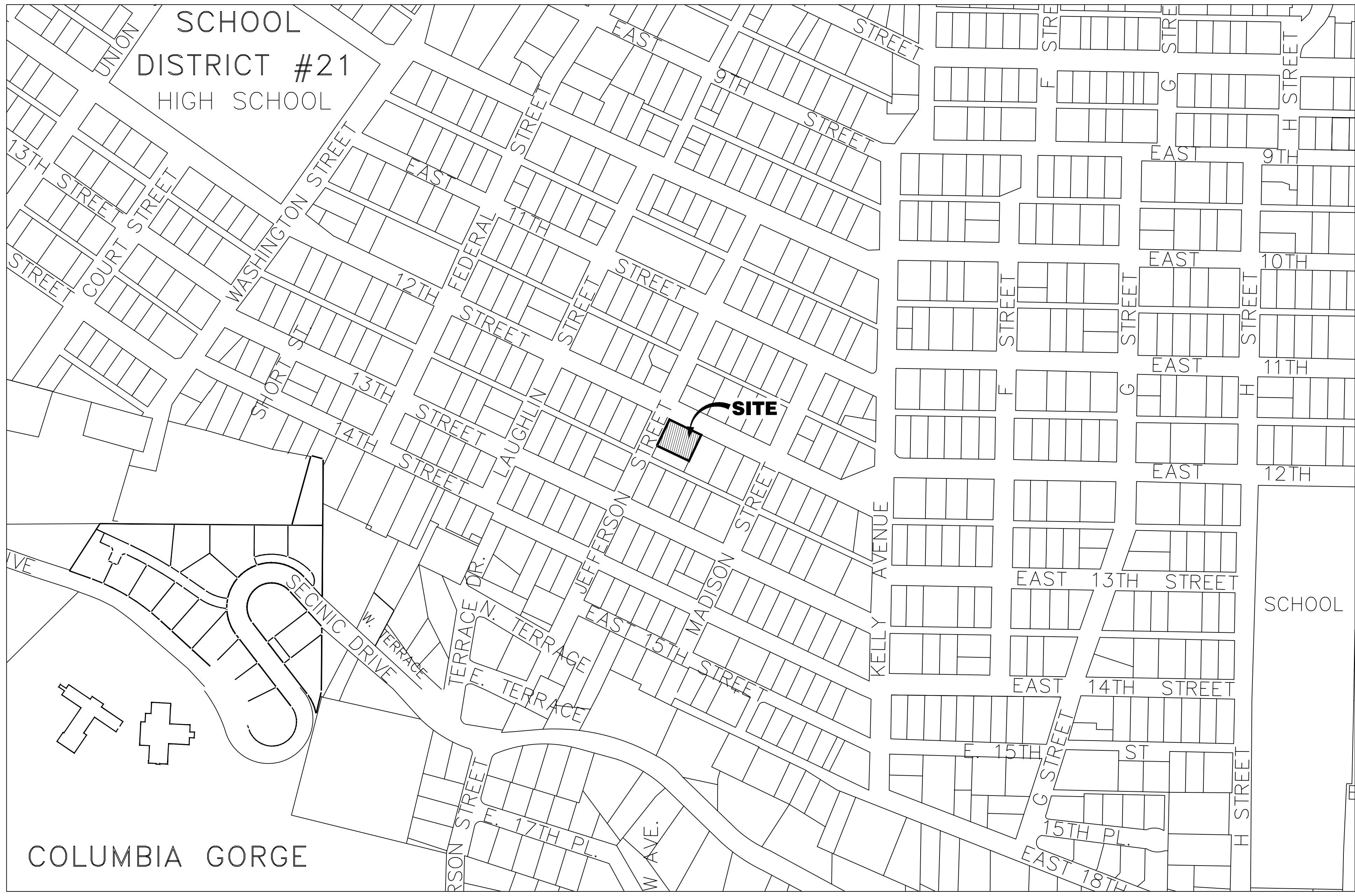


DRAWN: CLW 9/15/23
 CHECKED: CLW 10/13/23

No.	Date	Revisions/Submittals
1	10/14/2023	ADDED STANDARD DETAILS
2	10/13/2023	PRELIMINARY SITE PLAN

SHEET NO.
CE-10
 SCALE: AS NOTED
 JOB NO. 23-192
 REV.

PRELIMINARY, NOT FOR CONSTRUCTION

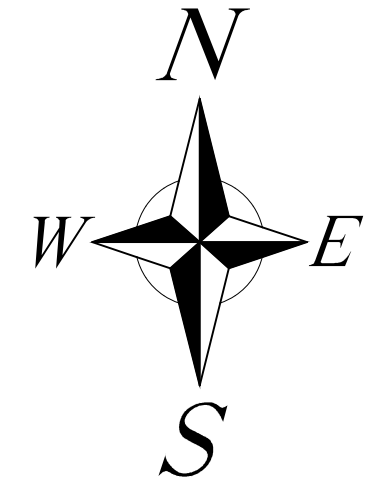


THE DALLES VICINITY MAP
 SCALE: N.T.S.

NEW	LEGEND	EXISTING
W	WATER LINE	W
SA	SEWER LINE	SS
DR	STORM DRAIN LINE	D
	SEWER MANHOLE	
	STORM DRAIN MANHOLE	
	WATER VALVE	
	WATER METER	
	FIRE HYDRANT	
	CATCH BASIN	
	UTILITY POLE	
	LIGHT POLE	
	SIGN	
	TREE	
	ELECTRICAL VAULT	
	TELEPHONE PEDESTAL	
	GAS LINE	
	UNDERGROUND POWER	
	UNDERGROUND TELEPHONE	
	BARBED WIRE FENCE	
	CHAIN LINK FENCE	
	CONTOUR LINE(2' INTERVAL)	
	CURB & GUTTER	
	SIDEWALK	
	ASPHALT STREET	

INDEX:

CE 1.0	COVER SHEET
CE 2.0	GENERAL NOTES
CE 3.0	SITE SURVEY
CE 4.0	STANDARD DETAILS
CE 4.1	STANDARD DETAILS
CE 4.2	STANDARD DETAILS



UTILITIES:

POWER:
 NORTHERN WASCO CO. P.U.D.
 2345 RIVER ROAD,
 THE DALLES, OR. 97058.
 PH. (541) 296-2226
 CONTACT: ED ORTEGA

TELEVISION:
 CHARTER COMMUNICATIONS, INC.
 409 UNION STREET
 THE DALLES, OR. 97058
 PH. (541) 296-1146
 CONTACT: DAN WALLACE

TELEPHONE:
 CENTURY LINK
 285 WEBBER STREET,
 THE DALLES OR. 97058
 PH. (541) 387-9255
 CONTACT:

BUILDING OFFICIAL:
 WASCO COUNTY
 2705 EAST 2ND STREET
 THE DALLES, OREGON 97058
 PH. (541) 506-2650

STREETS (E14TH ST, JEFFERSON ST):
 CITY OF THE DALLES,
 PUBLIC WORKS DEPT.
 1215 W. 1ST STREET
 THE DALLES, OR. 97058
 PH. (541) 506-2021
 CONTACT: DALE McCABE, CITY ENGINEER

FIRE PROTECTION:
 MID-COLUMBIA FIRE AND RESCUE
 1400 WEST 8TH. STREET
 THE DALLES, OREGON 97058
 PH. (541) 296-9445
 CONTACT: JAY WOOD, FIRE MARSHAL

GAS:
 NW NATURAL
 1125 BARGEWAY ROAD
 THE DALLES, OR. 97058
 PH. (541) 296-2229
 CONTACT: TONYA BRUMLEY

WATER:
 CITY OF THE DALLES
 1215W. 1 ST STREET
 THE DALLES, OR. 97058
 PH. (541) 296-5401
 CONTACT: STEVE BYERS

SANITARY SEWER:
 CITY OF THE DALLES,
 PUBLIC WORKS DEPT.
 1215 W. 1ST STREET
 THE DALLES, OR. 97058
 PH. (541) 506-2021
 CONTACT: DALE McCABE, CITY ENGINEER

PLANNING JURISDICTION:
 CITY OF THE DALLES
 COMMUNITY DEVELOPMENT/ PLANNING
 313 COURT ST.
 THE DALLES, OREGON 97058
 PH. (541) 296-5481
 CONTACT: DAWN HERT, PLANNER

OWNER:
 DAVE ADAMS
 PH. (541) 288-6336

ENGINEER:
 PIONEER SURVEYING AND ENGINEERING
 125 E SIMCOE DRIVE
 GOLDENDALE, WA 98620
 PH. 509-773-4945
 DUSTIN CONROY (PROJECT MANAGER)

A B C D E F G H I J K L M N O

GENERAL NOTES:
A) CONTRACTOR SHALL PROCURE AND CONFORM TO ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY...

GRADING, PAVING & DRAINAGE:
A) UNLESS OTHERWISE NOTED, ALL GRADING, ROCKING AND PAVING TO CONFORM TO ODOT/APWA STANDARD SPECIFICATIONS AS AMENDED BY THE CITY...

PIPED UTILITIES:
A) ALL TAPPING OF EXISTING MUNICIPAL SANITARY SEWER, STORM DRAIN MAINS, AND MANHOLES MUST BE DONE BY CONTRACTOR FORCES.

STORM DRAIN SYSTEM:
A) STORM SEWER PIPE MATERIALS TO CONFORM TO THE CONSTRUCTION DRAWINGS AND CITY REQUIREMENTS (PVC D3034 ONLY, NO HDPE UNLESS SPECIFICALLY AUTHORIZED BY THE CITY)...

Table with 2 columns: COVER DEPTH, 8" -- 48" DIAMETER. Rows include LESS THAN 2' COVER, 2' TO 2.5' COVER, and 2.5' TO 15' COVER.

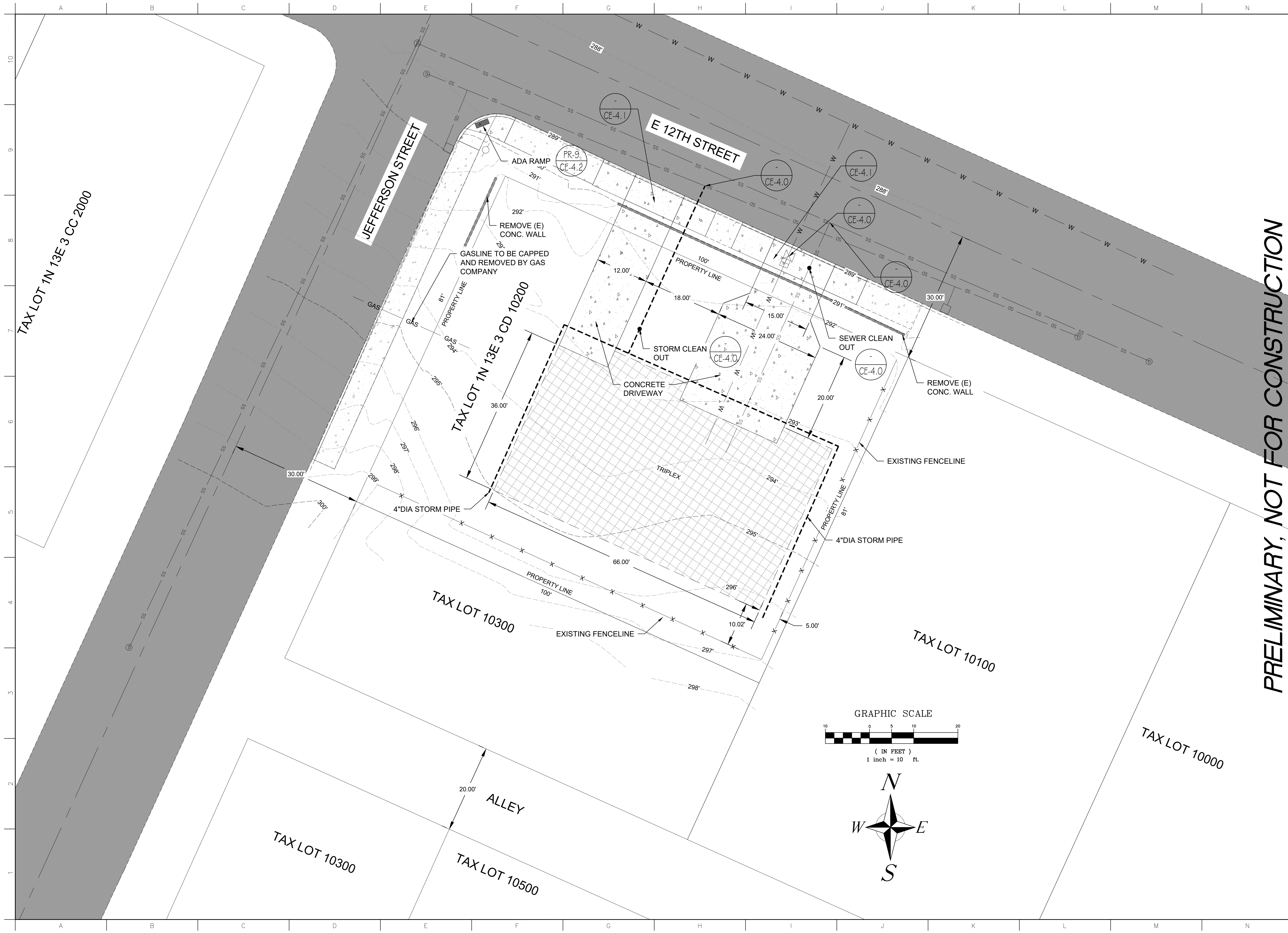
STREET LIGHTS:
A) STREET LIGHTS SHALL BE INSTALLED AFTER ALL OTHER EARTHWORK AND PUBLIC UTILITY INSTALLATIONS ARE COMPLETED AND AFTER ROUGH GRADING OF THE PROPERTY IS ACCOMPLISHED TO PREVENT DAMAGE TO THE POLES.

PRIVATE UTILITIES:
A) UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR APPROVED BY JURISDICTION HAVING AUTHORITY, ALL NEW PRIVATE UTILITIES (POWER, CABLE TV, TELEPHONE & GAS) SHALL BE INSTALLED UNDERGROUND.

REQUIRED TESTING AND FREQUENCY table. Columns: Party Responsible for payment (Contractor, Others), and rows for Streets, Subgrade, Piped Utilities, Water, Sanitary Sewer, and Storm.

CURBS & SIDEWALKS:
A) UNLESS OTHERWISE SHOWN OR INDICATED ON THE DRAWINGS, 6-INCHES NOMINAL CURB EXPOSURE USED FOR DESIGN OF ALL PARKING LOT AND STREET GRADES.

Right side of the page containing project details: PSE Pioneer Surveying & Engineering, Inc., TRIPLEX SITE PLAN, DAVE ADAMS, PRELIMINARY NOT FOR CONSTRUCTION, SHEET NO. CE-2.0, JOB NO. 23-192.



PSE
Pioneer Surveying & Engineering, Inc.
 Civil/Structural Engineering & Land Planning
 125 E. Simcoe Drive
 Goldendale, WA 98620
 P: 509-773-4945
 F: 509-773-5888
 pse@pioneersurveying.com

DAVE ADAMS
 TRIPLEX SITE PLAN
 THE DALLES, OR
 SITE SURVEY

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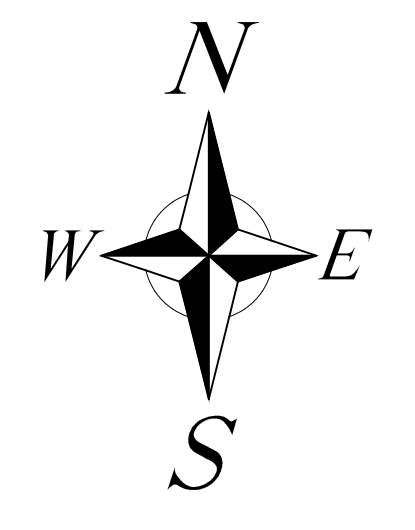
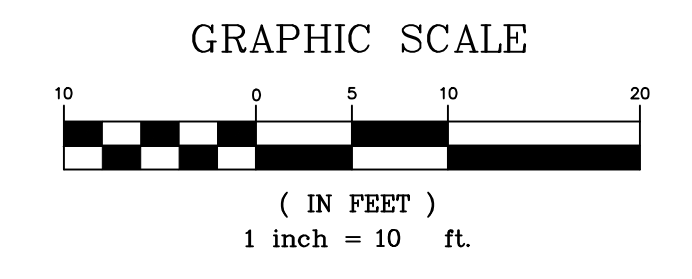
10/14/23
 DRAWN CLW 9/15/23
 CHECKED CLW 10/13/23

No.	Date	Revisions/Submittals
1	10/14/2023	ADDED STANDARD DETAILS
2	10/13/2023	PRELIMINARY SITE PLAN

SHEET NO.
CE-3.0

SCALE: AS NOTED
 JOB NO. **23-192**
 REV. **0**

PRELIMINARY, NOT FOR CONSTRUCTION



DWG FILE: L:\2023\20230915-TRIPLEX-DAVE ADAMS SITE PLAN\DWG\23-192 SITE PLAN.DWG



Pioneer Surveying & Engineering, Inc.
 Civil/Structural Engineering & Land Planning
 125 E. Simcoe Drive
 Goldendale, WA 98620
 P: 509-773-4945
 F: 509-773-5888
 pse@pioneersurveying.com

DAVE ADAMS
 TRIPLEX SITE PLAN
 THE DALLES, OR
 STANDARD DETAILS

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10/14/23
 DRAWN CLW 9/15/23
 CHECKED CLW 10/13/23

Revisions/Submittals

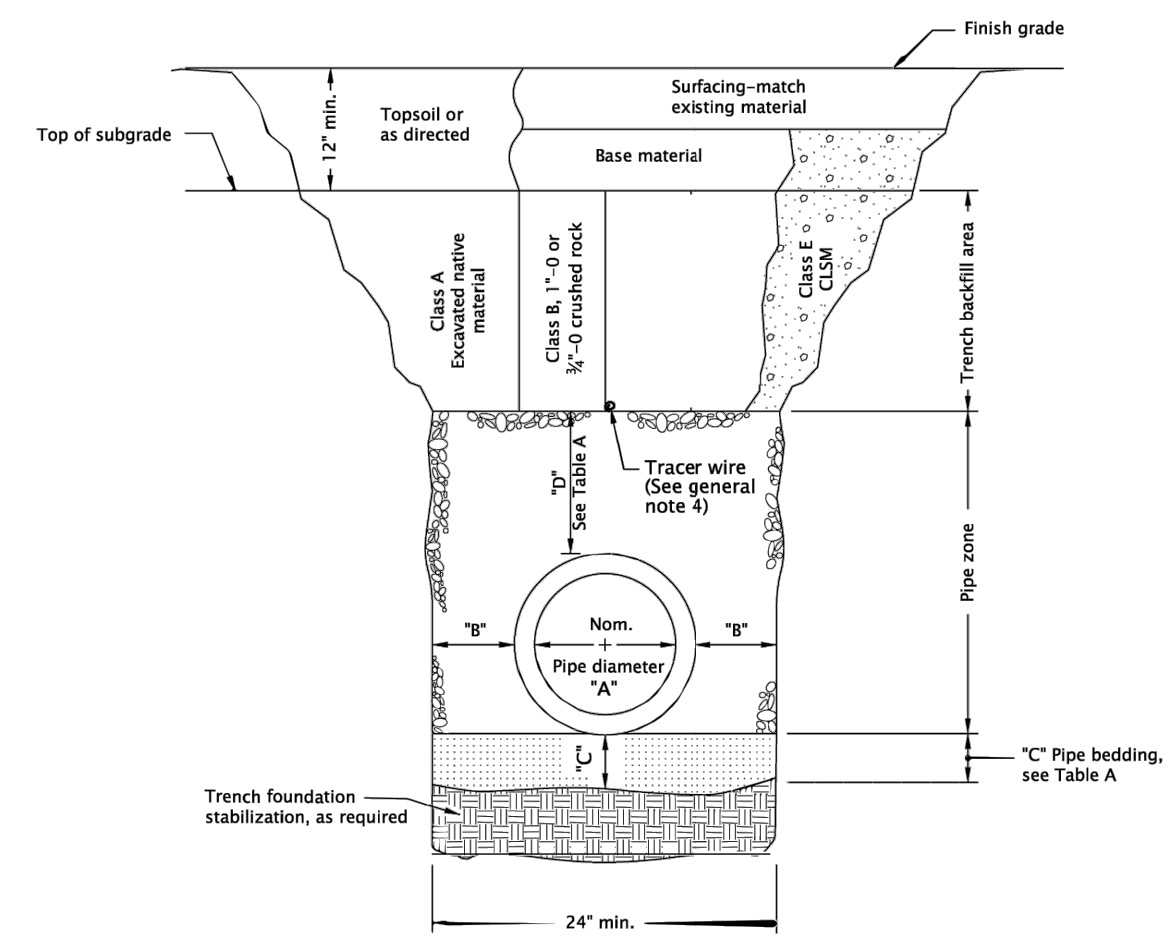
No.	Date	Description
1	10/14/2023	ADDED STANDARD DETAILS
2	10/13/2023	PRELIMINARY SITE PLAN

SHEET NO.
CE-4.0

SCALE: AS NOTED
 JOB NO. 23-192
 REV.

PRELIMINARY, NOT FOR CONSTRUCTION

DIAMETER	MIN. SPACE BETWEEN PIPES
Up to 48"	24"
48" to 72"	One half (1/2) dia. of pipe



"A" (in)	"B" (in)	"C" (in)	"D" (in)
4	10	4	8
6	10	4	8
8	10	6	10
10	10	6	10
12	12	6	10
15	12	6	10
18	16	6	12
21	16	6	12
24	18	6	12
30	18	6	12
36	24	6	14
42	24	6	14
48	24	6	14
54	24	6	14
60	24	6	14
66	24	6	14
72	24	6	14

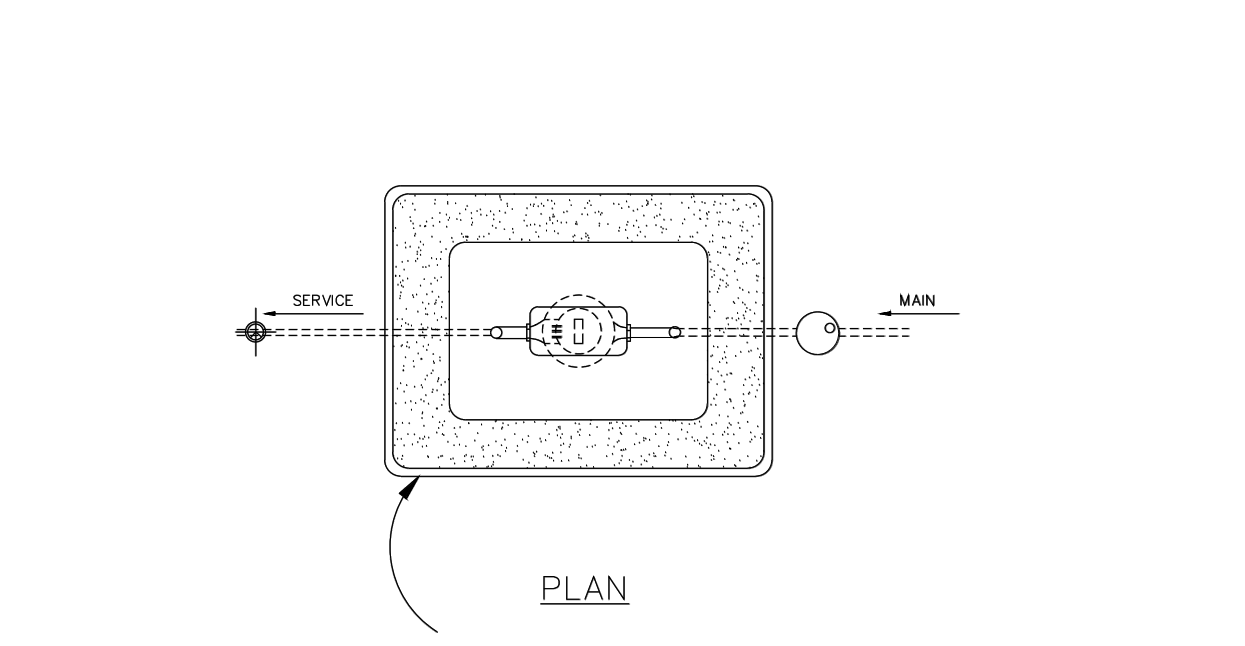
For pipes over 72" diameter, see general note 3.

GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:
 1. Surfacing of paved areas shall comply with street cut Std. Dwg. RD302.
 2. For pipe installation in embankment areas where the trench method will not be used and the pipe is $\geq 36"$ diameter, increase dimension "B" to nominal pipe diameter.
 3. Pipes over 72" diameter are structures, and are not applicable to this drawing.
 4. See Std. Dwg. RD336 for tracer wire details (When required).

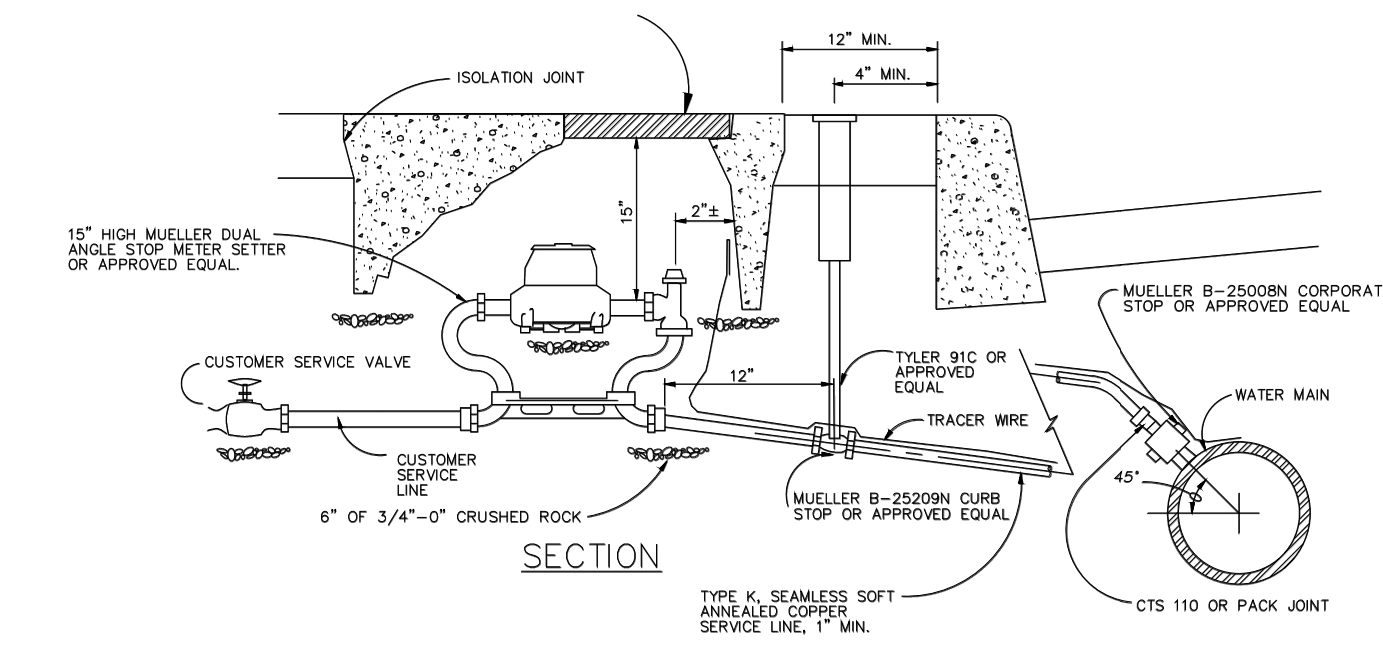
NOTE: All material and workmanship shall be in accordance with the current City of The Dalles Standard Specifications.

CITY OF THE DALLES STANDARD DRAWINGS
TRENCH BACKFILL, BEDDING, PIPE ZONE AND MULTIPLE INSTALLATIONS
 2022
 DATE REVISION DESCRIPTION

- NOTES:
- METER TO BE CENTERED AND SET PLUMB INSIDE METER BOX.
 - MANUFACTURED METER SETTER SHALL BE USED FOR 3/4" TO 1" SERVICES.
 - SET CURB STOP BOX 4" MINIMUM BEHIND CURB OR SIDEWALK.
 - METER BOXES SET IN DRIVEWAYS SHALL HAVE TRAFFIC RATED LIDS AND BOXES.
 - METER SHALL BE A BADGER M25 FOR 3/4" and BADGER M55 for 1".
 - METER SHALL BE EQUIPPED WITH ITRON 100W ERT AND BE WIRED WITH A MINIMUM OF 5 FEET OF CABLE INCLUDING ITRON INLINE CONNECTOR.
 - METERS SHALL COMPLY WITH "EPA'S LEAD REDUCTION ACT" (LEAD FREE)
 - METERS SHALL BE EQUIPPED WITH REGISTERS WITH A RESOLUTION THAT READS IN 1/10 OF A GALLON
 - SERVICE LINE AND FITTINGS SHALL BE 1" MIN. FROM MAIN TO SETTER, UNLESS OTHERWISE APPROVED.
 - SEE PROJECT PLANS FOR DETAILS NOT SHOWN.



1" AND SMALLER METERS:
 12"X20"X24" AMORCAST METER BOX (P60004BSX24 W/D MOUSEHOLES), AMORCAST COVER (A60004B4DQ) WITH INSERT (SP-A60004B7 MAGNET 5X7 OPENING)



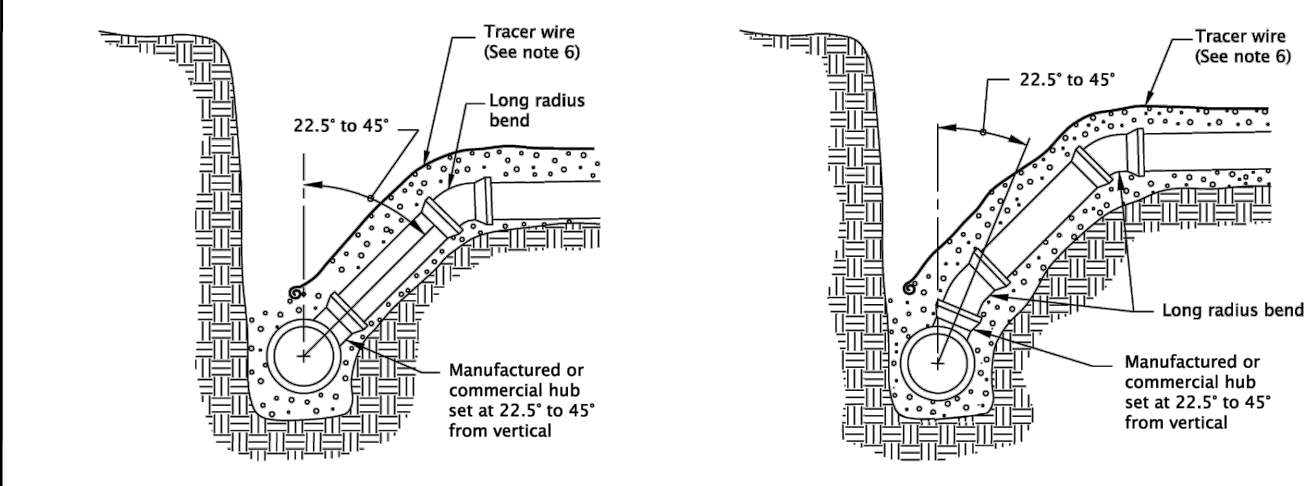
NOTE: All material and workmanship shall be in accordance with the current City of The Dalles Standard Specifications.

CITY OF THE DALLES STANDARD DRAWING
3/4" - 1" WATER SERVICE CONNECTION
 2022
 DATE REVISION DESCRIPTION

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without consulting a Registered Professional Engineer.

Effective Date: January 1, 2022 - December 31, 2022 RD274

Effective Date: January 1, 2022 - December 31, 2022 RD300



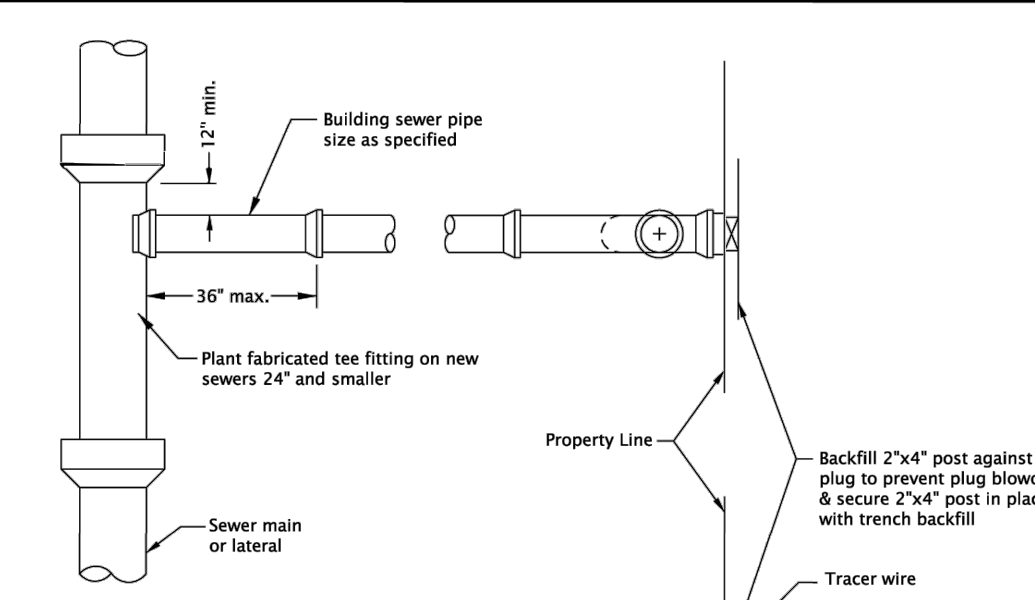
GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:
 1. All existing AC or PCC pavement shall be sawcut prior to repaving.
 2. Concrete pavement shall be replaced with concrete to a minimum thickness of 8" or to the thickness of removed pavement, whichever is greater.
 3. For joining new concrete to existing concrete, see contract plans for specific details.
 4. Place AC mix minimum thkn. of 6" or the thkn. of the removed pavement, whichever is greater. Compact as specified.

NOTE: All material and workmanship shall be in accordance with the current City of The Dalles Standard Specifications.

CITY OF THE DALLES STANDARD DRAWINGS
SHALLOW/DEEP TRENCH SERVICE CONNECTION, BLOCKING AND MARKERS
 2022
 DATE REVISION DESCRIPTION

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without consulting a Registered Professional Engineer.

Effective Date: January 1, 2022 - December 31, 2022 RD310



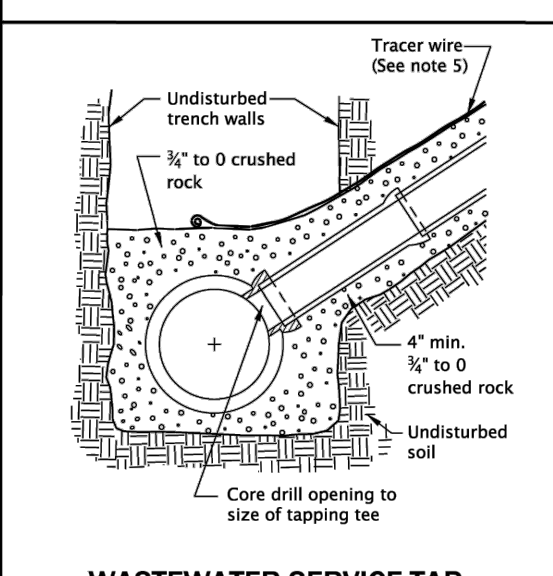
GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:
 1. All existing AC or PCC pavement shall be sawcut prior to repaving.
 2. Concrete pavement shall be replaced with concrete to a minimum thickness of 8" or to the thickness of removed pavement, whichever is greater.
 3. For joining new concrete to existing concrete, see contract plans for specific details.
 4. Place AC mix minimum thkn. of 6" or the thkn. of the removed pavement, whichever is greater. Compact as specified.

NOTE: All material and workmanship shall be in accordance with the current City of The Dalles Standard Specifications.

CITY OF THE DALLES STANDARD DRAWINGS
STREET CUT
 2022
 DATE REVISION DESCRIPTION

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without consulting a Registered Professional Engineer.

Effective Date: January 1, 2022 - December 31, 2022 RD302



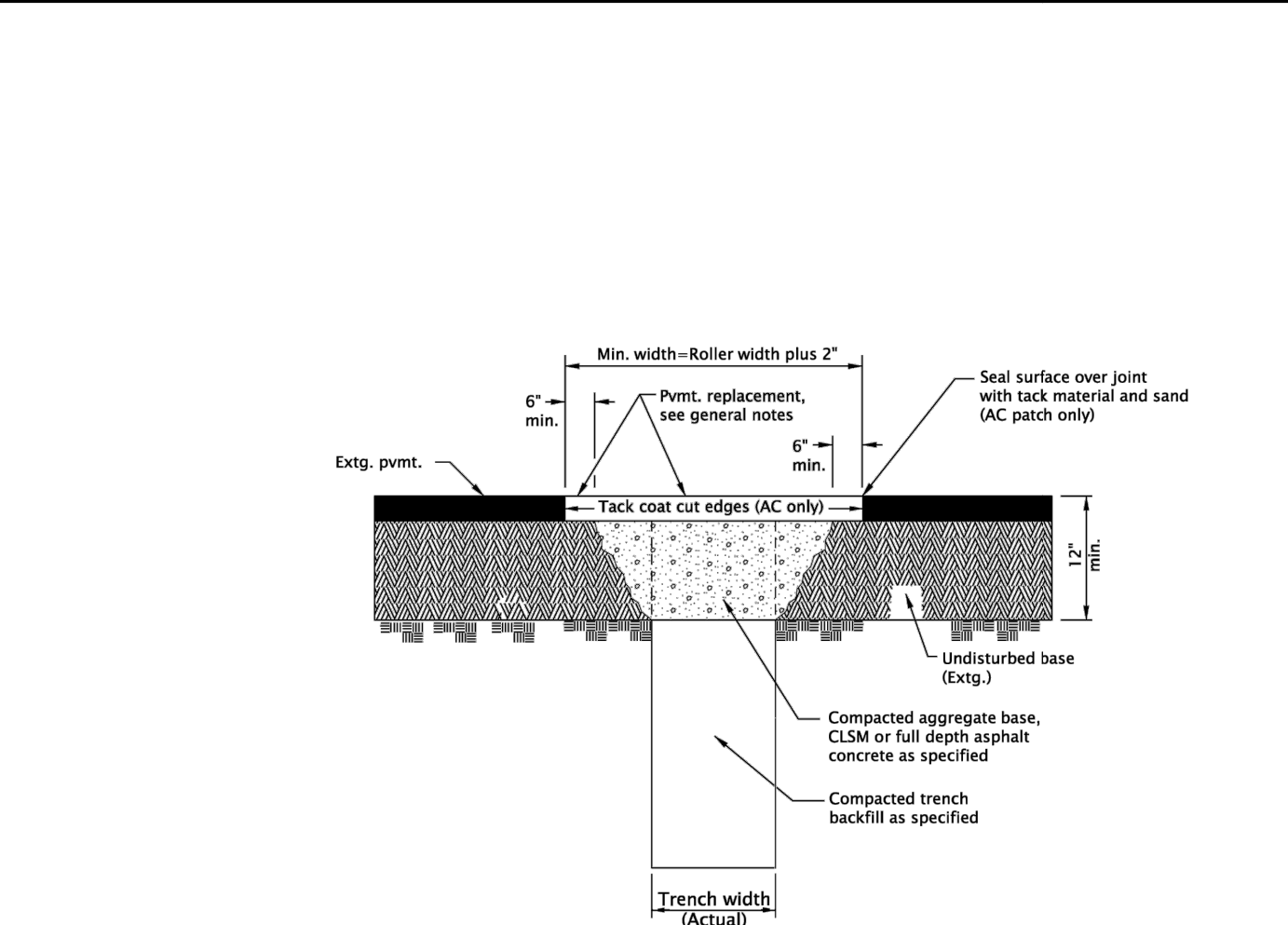
GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:
 1. All existing AC or PCC pavement shall be sawcut prior to repaving.
 2. Concrete pavement shall be replaced with concrete to a minimum thickness of 8" or to the thickness of removed pavement, whichever is greater.
 3. For joining new concrete to existing concrete, see contract plans for specific details.
 4. Place AC mix minimum thkn. of 6" or the thkn. of the removed pavement, whichever is greater. Compact as specified.

NOTE: All material and workmanship shall be in accordance with the current City of The Dalles Standard Specifications.

CITY OF THE DALLES STANDARD DRAWINGS
SHALLOW/DEEP TRENCH SERVICE CONNECTION, BLOCKING AND MARKERS
 2022
 DATE REVISION DESCRIPTION

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without consulting a Registered Professional Engineer.

Effective Date: January 1, 2022 - December 31, 2022 RD310



GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:
 1. All existing AC or PCC pavement shall be sawcut prior to repaving.
 2. Concrete pavement shall be replaced with concrete to a minimum thickness of 8" or to the thickness of removed pavement, whichever is greater.
 3. For joining new concrete to existing concrete, see contract plans for specific details.
 4. Place AC mix minimum thkn. of 6" or the thkn. of the removed pavement, whichever is greater. Compact as specified.

NOTE: All material and workmanship shall be in accordance with the current City of The Dalles Standard Specifications.

CITY OF THE DALLES STANDARD DRAWINGS
SHALLOW/DEEP TRENCH SERVICE CONNECTION, BLOCKING AND MARKERS
 2022
 DATE REVISION DESCRIPTION

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without consulting a Registered Professional Engineer.

Effective Date: January 1, 2022 - December 31, 2022 RD310

- NOTES:
- Pipe and fittings shall be compatible. Only manufactured fittings shall be used.
 - Minimum depth at right of way or easement line shall be 4'. Depths less than 2 feet shall have concrete cap per RD306.
 - Marker posts and blocking shall be treated wood. Post shall be 2"x4" fr. Post to extend 12" minimum above finish grade and exposed area shall be painted green.
 - A cleanout shall be installed per RD362 at property line or where located by engineer.
 - Lay building sewer at max. 45' from horizontal to achieve required depth at property line when minimum slope results in excessive depth.
 - For bedding and backfill, see Std. Dwg. RD300.
 - See Std. Dwg. RD336 for tracer wire details.

GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:
 1. All existing AC or PCC pavement shall be sawcut prior to repaving.
 2. Concrete pavement shall be replaced with concrete to a minimum thickness of 8" or to the thickness of removed pavement, whichever is greater.
 3. For joining new concrete to existing concrete, see contract plans for specific details.
 4. Place AC mix minimum thkn. of 6" or the thkn. of the removed pavement, whichever is greater. Compact as specified.

NOTE: All material and workmanship shall be in accordance with the current City of The Dalles Standard Specifications.

CITY OF THE DALLES STANDARD DRAWINGS
SHALLOW/DEEP TRENCH SERVICE CONNECTION, BLOCKING AND MARKERS
 2022
 DATE REVISION DESCRIPTION

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without consulting a Registered Professional Engineer.

Effective Date: January 1, 2022 - December 31, 2022 RD310



Pioneer Surveying & Engineering, Inc.
Civil/Structural Engineering & Land Planning
125 E. Simcoe Drive
Goldendale, WA 98620
P: 509-773-4945
F: 509-773-5888
pse@pioneersurveying.com

DAVE ADAMS
TRIPLEX SITE PLAN
THE DALLES, OR
STANDARD DETAILS

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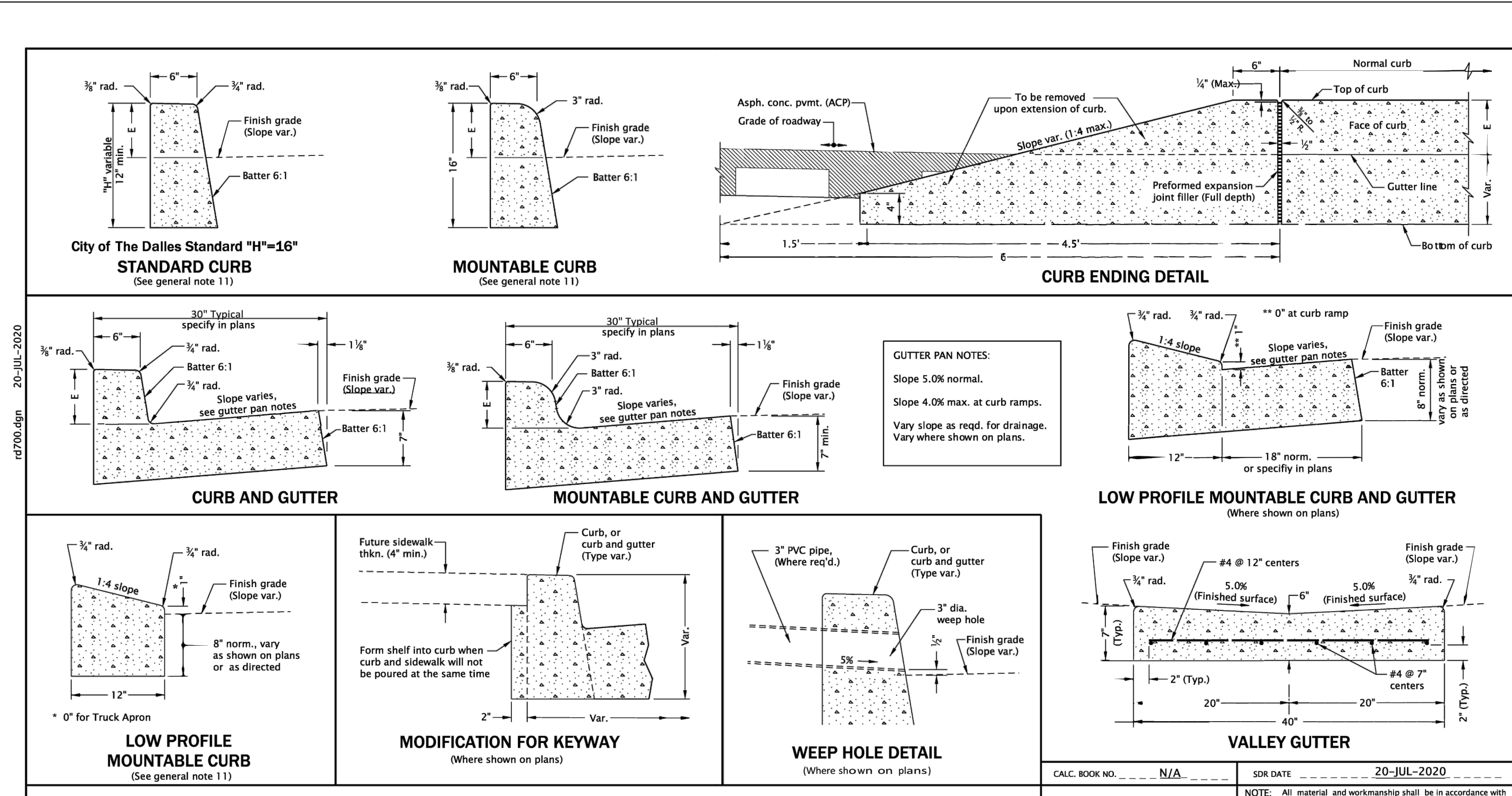
10/14/23
DRAWN CLW 9/15/23
CHECKED CLW 10/13/23

Revisions/Submittals
10/14/2023 ADDED STANDARD DETAILS
10/13/2023 PRELIMINARY SITE PLAN

Date
10/14/2023
10/13/2023

SHEET NO.
CE-4.1

SCALE: AS NOTED
JOB NO. 23-192
REV.



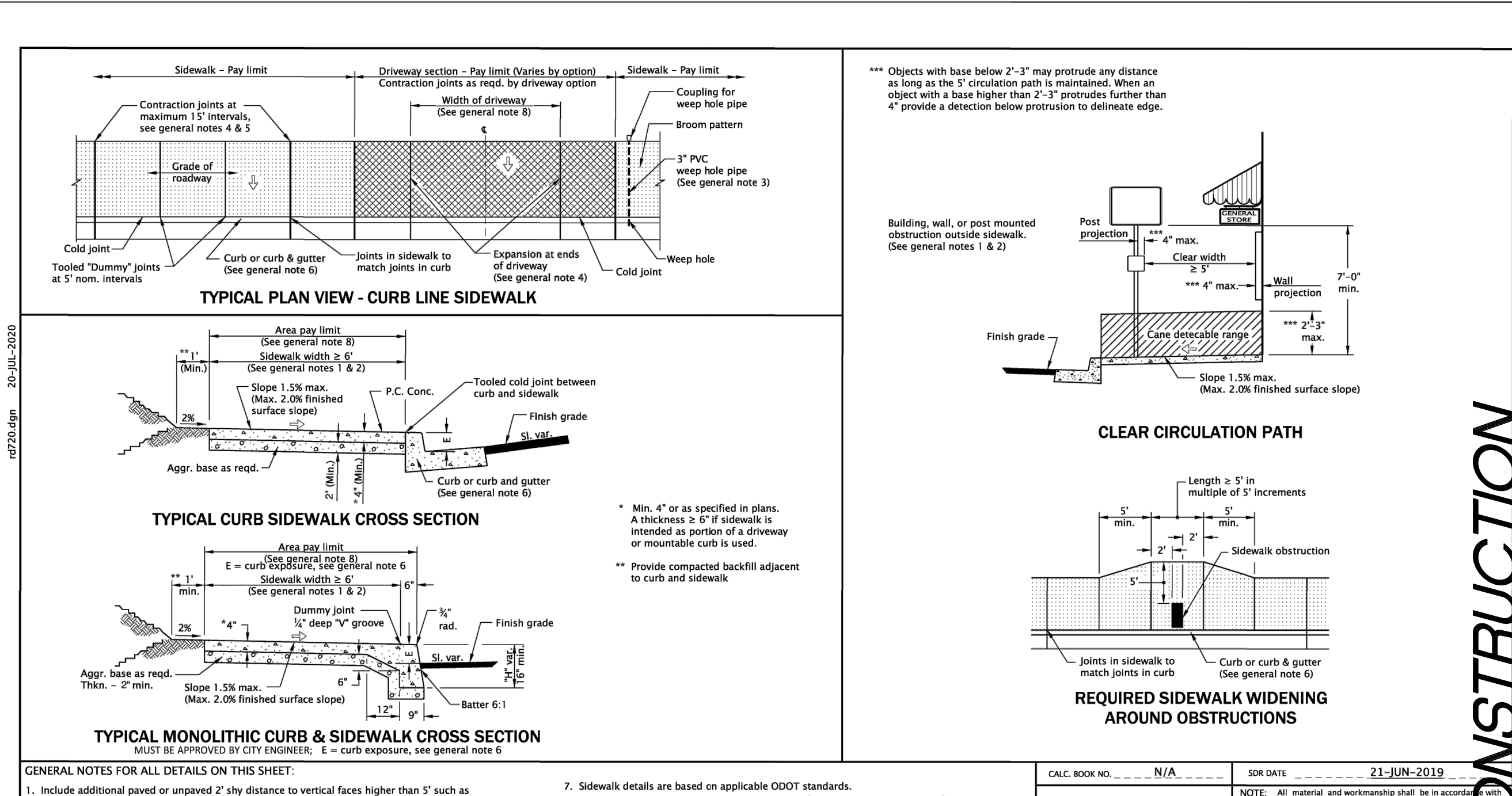
GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:

- Curb exposure "E" = 6" to 9", as measured vertically from flowline to highest point on curb. Vary as shown on plans or as directed. City of The Dalles standard "E"=7".
- Const. curb expansion joints at 200' maximum spacing, and at points of tangency, and at ends of each driveway.
- Const. curb contraction joints at 15' maximum spacing, and at ends of each inlet and curb ramp.
- Transitions shall be used to connect curbs of different exposures "E". ("E" is the total vertical dimension of those curb surfaces having a slope of 1:1 or steeper). Minimum desirable transition length shall be 20' for each 1" difference in "E".
- Tops of all curbs shall slope toward the roadway at 1.5% max. (Max. 2.0% finished surface slope), unless otherwise shown, or as directed.
- Dimensions are nominal, vary to conform with curb machine approved by the engineer.
- Dimensions adjacent to radii are measured to the point of intersection of curb surfaces.
- For drainage curbs, see Std. Dwg. RD701.
- For drainage curbs, and monolithic curb & sidewalk, see Std. Dwgs. RD720 & RD721.
- For curb ramp details, see Std. Dwg. RD900 series.
- Curb and gutter is required at curb ramp.

THE SELECTION AND USE OF THIS STANDARD DRAWING, WHILE DESIGNED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRINCIPLES AND PRACTICES, IS THE SOLE RESPONSIBILITY OF THE USER AND SHOULD NOT BE USED WITHOUT CONSULTING A REGISTERED PROFESSIONAL ENGINEER.

CITY OF THE DALLES STANDARD DRAWINGS
CURBS
DATE: 2022
REVISION DESCRIPTION:

Effective Date: January 1, 2022 – December 31, 2022 RD700



GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:

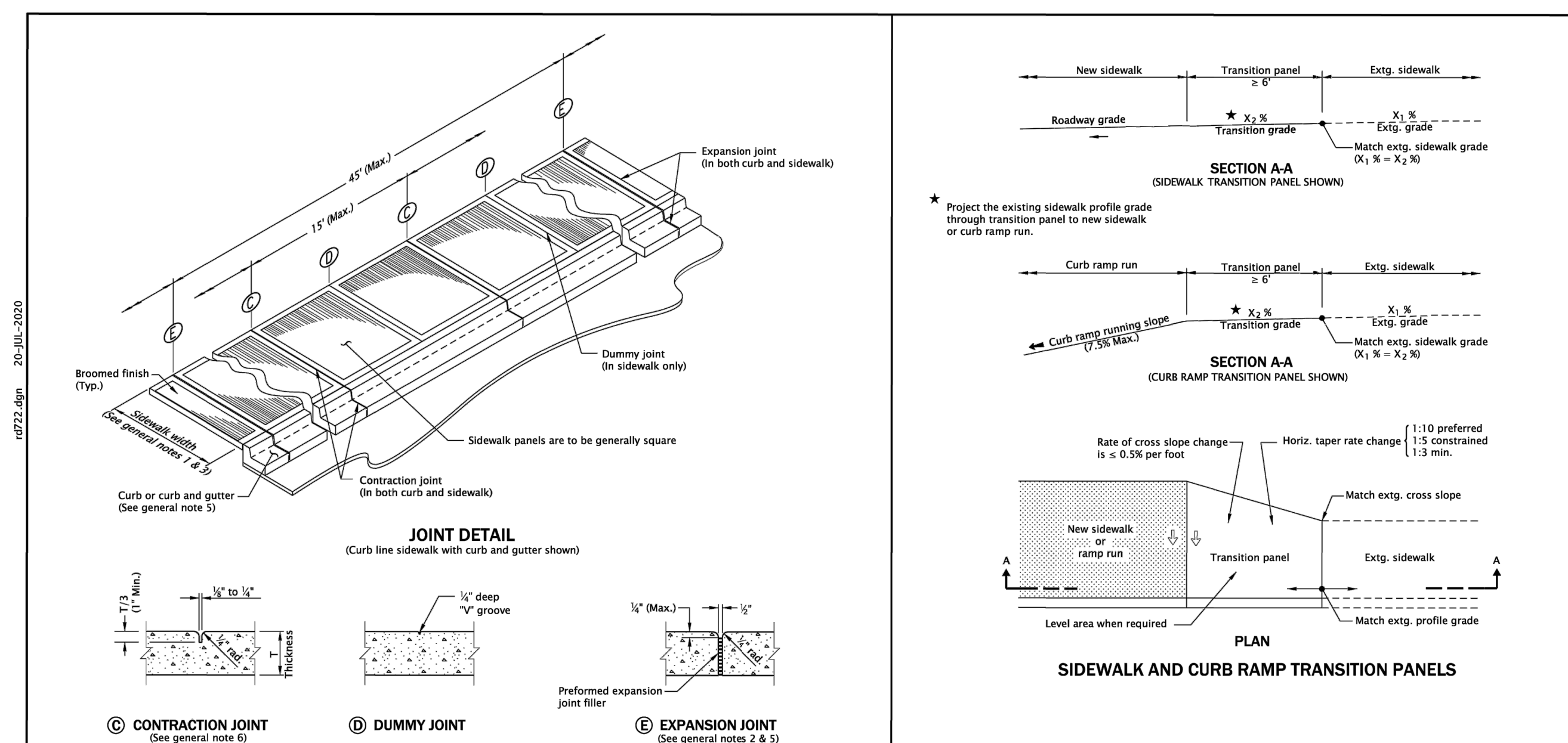
- Include additional paved or unpaved 2" shy distance to vertical faces higher than 5' such as retaining walls, sound walls, fences and buildings.
- Curb type and sidewalk width as shown on plans or as directed. 5' wide sidewalk allowed as infill. On sidewalks 8' and wider, provide a longitudinal joint at the midpoint.
- Install 3" pvc weep hole pipes in sidewalks where shown on plans, and allowed by jurisdiction. Place contraction joint over top of pipe. See Std. Dwg. RD700 for weep hole details.
- Provide expansion joints around poles, posts, boxes, at ends of each driveway, and other fixtures which protrude through or against the structures.
- For sidewalk, monolithic curb & sidewalk, const. expansion joints at 45' maximum spacing. See Std. Dwg. RD722 for expansion joint details.
- Const. contraction joints at 15' maximum spacing, and at ends of each curb ramp. See Std. Dwg. RD722 for contraction joint details.
- For curb details, see Std. Dwgs. RD700 & RD701. City of The Dalles standard "E"=6".
- Sidewalk details are based on applicable ODOT standards.
- Fully lowered sidewalk shown; see project plans for the driveway design specified. For driveway details not shown, see Std. Dwgs. RD725, RD730, RD735, RD740, RD745 & RD750.
- See project plans for details not shown.

LEGEND:

THE SELECTION AND USE OF THIS STANDARD DRAWING, WHILE DESIGNED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRINCIPLES AND PRACTICES, IS THE SOLE RESPONSIBILITY OF THE USER AND SHOULD NOT BE USED WITHOUT CONSULTING A REGISTERED PROFESSIONAL ENGINEER.

CITY OF THE DALLES STANDARD DRAWINGS
CURB LINE SIDEWALKS
DATE: 2022
REVISION DESCRIPTION:

Effective Date: January 1, 2022 – December 31, 2022 RD720



GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:

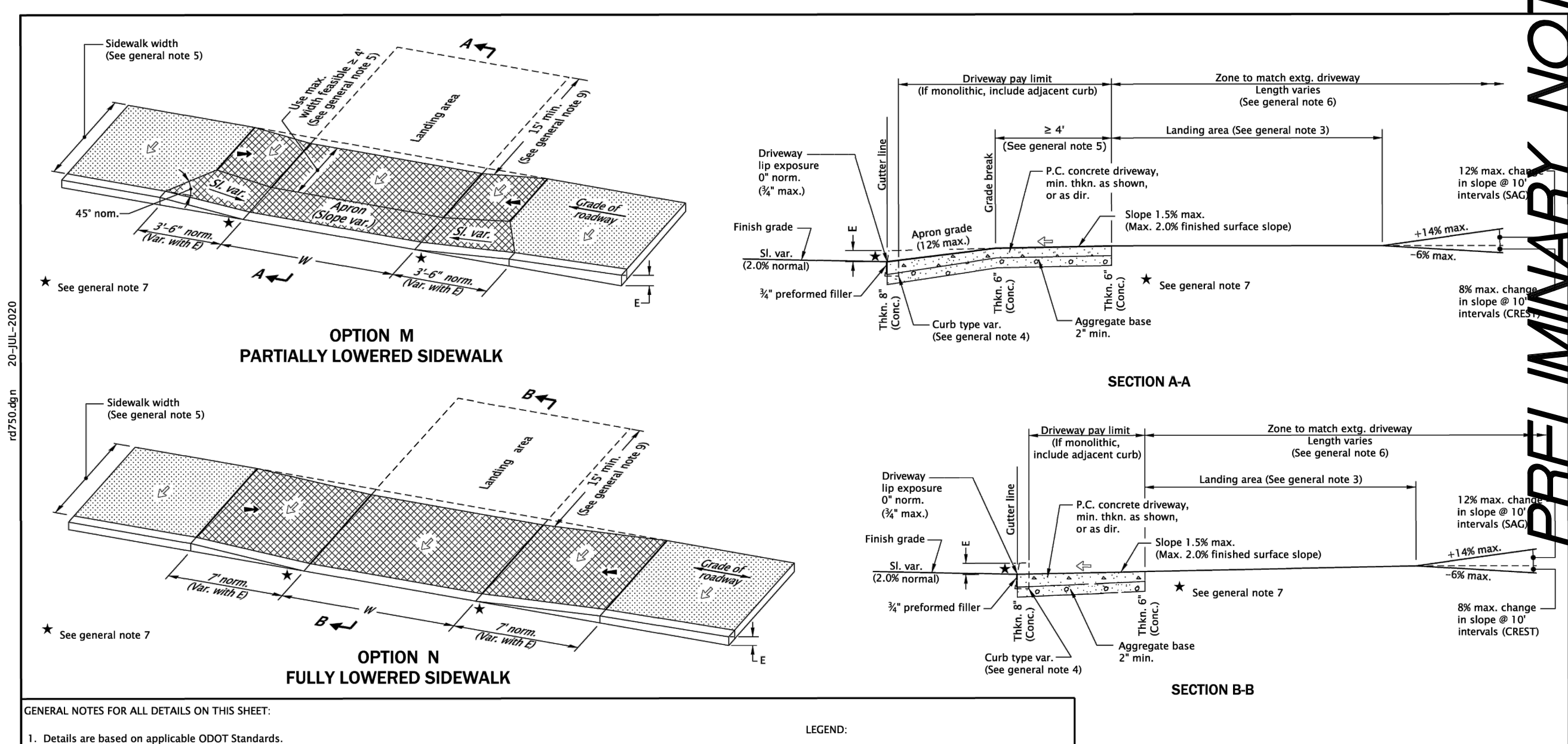
- See Std. Dwgs. RD720 & RD721 for concrete sidewalk details. See project plans for sidewalk width, placement and design specified.
- Provide expansion joints around poles, boxes, at ends of each driveway and other fixtures which protrude through or against the structures. For sidewalk, monolithic curb and sidewalk, construction expansion joints at 45' max. spacing.
- On sidewalks 8' and wider, provide a longitudinal joint at the midpoint of sidewalk panel.
- See Std. Dwgs. RD700 & RD701 for concrete curb details. See project plans for the curb design specified.
- For curb ramps, do not place expansion joints within the limits of curb ramps and between separate concrete pours.
- Const. contraction joints at 15' max. spacing, and at each curb ramp, driveway, sidewalk and curb.

LEGEND:

THE SELECTION AND USE OF THIS STANDARD DRAWING, WHILE DESIGNED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRINCIPLES AND PRACTICES, IS THE SOLE RESPONSIBILITY OF THE USER AND SHOULD NOT BE USED WITHOUT CONSULTING A REGISTERED PROFESSIONAL ENGINEER.

CITY OF THE DALLES STANDARD DRAWINGS
SIDEWALK JOINTS AND TRANSITION PANELS
DATE: 2022
REVISION DESCRIPTION:

Effective Date: January 1, 2022 – December 31, 2022 RD722



GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:

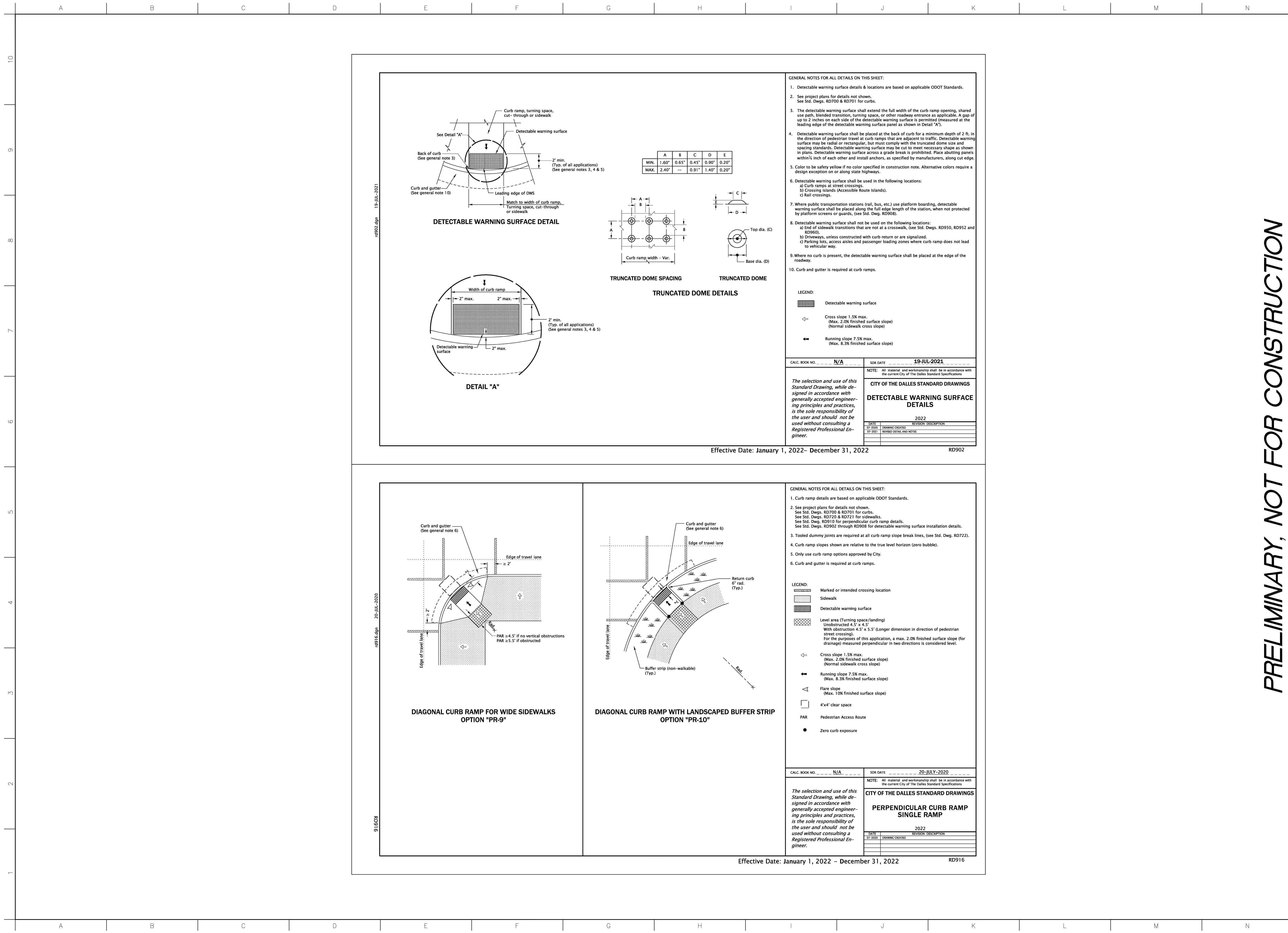
- Details are based on applicable ODOT Standards.
- Only use details approved by City.
- The following dimensions are as shown on plans, or as directed: driveway width, driveway slope, sidewalk width, curb exposure, driveway lip exposure, landing area length and width. See project plans for details not shown.
- Curb, gutter, and sidewalk types varies, see plans. See Std. Dwg. RD700 & RD701 for curb details. See Std. Dwg. RD720 for sidewalk details. See Std. Dwg. RD722 for joint details.
- A greater than or equal 4' unobstructed clear passage with cross slope 1.5% max. (Max. 2.0% finished surface slope) is required behind driveway apron.
- Where existing driveway is in good condition, and meets slope requirements, construct only as much landing area as required for satisfactory connection with new work.
- Check the gutter flow depth at driveway locations to assure that the design flood does not overtop the back of sidewalk at driveway.
- If overtopping occurs place an inlet at upstream side of driveway or perform other approved design mitigation.
- Construct a full depth expansion joints with 1/2" (in preformed joint filler) at ends of each driveway.
- Tooled joints are required at all driveway slope break lines.
- 15' min. of the driveway behind the sidewalk should be surfaced to prevent tracking of gravel onto the sidewalk.
- Monolithic curb & sidewalk shall retain thickened edge through lowered profile, to accommodate driveway use. See Std. Dwg. RD720 for details.

LEGEND:

THE SELECTION AND USE OF THIS STANDARD DRAWING, WHILE DESIGNED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRINCIPLES AND PRACTICES, IS THE SOLE RESPONSIBILITY OF THE USER AND SHOULD NOT BE USED WITHOUT CONSULTING A REGISTERED PROFESSIONAL ENGINEER.

CITY OF THE DALLES STANDARD DRAWINGS
CURB LINE SIDEWALK DRIVEWAYS OR ALLEYS (OPTIONS M & N)
DATE: 2022
REVISION DESCRIPTION:

Effective Date: January 1, 2022 – December 31, 2022 RD750



Pioneer Surveying & Engineering, Inc.
Civil/Structural Engineering & Land Planning
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Goldendale, WA 98620
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pse@pioneersurveying.com

DAVE ADAMS
TRIPLEX SITE PLAN
THE DALLES, OR
STANDARD DETAILS

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DATE	REVISION DESCRIPTION
10/14/2023	ADDED STANDARD DETAILS
10/13/2023	PRELIMINARY SITE PLAN

CE-4.2

SCALE: AS NOTED

JOB NO. **23-192** REV. **0**

PRELIMINARY, NOT FOR CONSTRUCTION



Earth
Engineers,
Inc.

2411 Southeast 8th Avenue • Camas • WA 98607

Phone: 360-567-1806

www.earth-engineers.com

April 3, 2023

Brittany Holdings, LLC
319 East 2nd Street
The Dalles, Oregon 97058
Attention: Dave Adams

Phone: (541) 288-6336
E-mail: dave@adamsdesigncenter.com

**Subject: Geologic Impact Statement
Proposed Triplex
600 East 12th Street
The Dalles, Wasco County, Oregon
EEI Report No. 23-046-1**

Dear Mr. Adams:

As requested, Earth Engineers, Inc. (EEI) is pleased to transmit our Geologic Impact Statement for the proposed triplex located at 600 East 12th Street in The Dalles, Wasco County, Oregon. Our services were authorized by David Adams on February 28, 2023, by signing EEI proposal No. 23-P078B dated February 23, 2023.

PROJECT BACKGROUND INFORMATION

Our current limited understanding of the project is based on the information you provided to Principal Engineering Geologist, Adam Reese. Briefly, we understand the proposed plan consists of constructing a triplex on the vacant property. As the project is in its preliminary stages, we have not been provided any plans for the proposed construction.

We understand that the property is located within an area designated by the City of the Dalles as Geological Hazard Zone 1. As such, a Geologic Impact Statement is required in accordance with Section 8.040 – Geological Hazard Provisions (and more specifically Section 8.040.030A) of the municipal code for The Dalles, Oregon. This limited geologic impact statement report is intended to assess whether or not the proposed development would increase the risk of the occurrence of a specific the geologic hazard. In Zone 1, the specific hazard under consideration is reactivation of the Kelly Avenue Landslide. Our work is based on a visual reconnaissance and desktop

research, and does not include subsurface investigation or instrumentation and monitoring to assess the subsurface conditions, or subsurface assessment of current and/or future slope movement.

PURPOSE AND SCOPE OF SERVICES

The purpose of our geotechnical visual reconnaissance was to visually observe the existing conditions at the property, and comment qualitatively on the potential impacts of the proposed construction related to the geological hazard zone.

Our scope of services included a visual site reconnaissance and preparing a Geologic Impact Statement report required in accordance with Section 8.040 – Geological Hazard Provisions (and more specifically the permit requirements outlined in section 8.040.030 – Permit Requirements).

It should be noted that our proposed scope of services did not include a subsurface investigation and laboratory testing to better define the soil, rock and groundwater properties at the site, or an evaluation of the existing structures on the site (i.e. retaining walls). In addition, our scope did not include any specific geotechnical engineering recommendations, such as foundation bearing capacity, potential foundation settlement, retaining wall designs, etc. We are available to provide these services upon request. Our currently authorized scope of services is concluded with the issuance of this report.

SITE DESCRIPTION

The subject property is located at 600 East 12th Street in The Dalles, Wasco County, Oregon (Wasco County Tax Lot No. 1N 13E 3 CD 10200). The subject property is bounded to the north by East 12th Street, to the east and south by residential properties, and to the west by Jefferson Street. See Figure 1 below for the project vicinity.

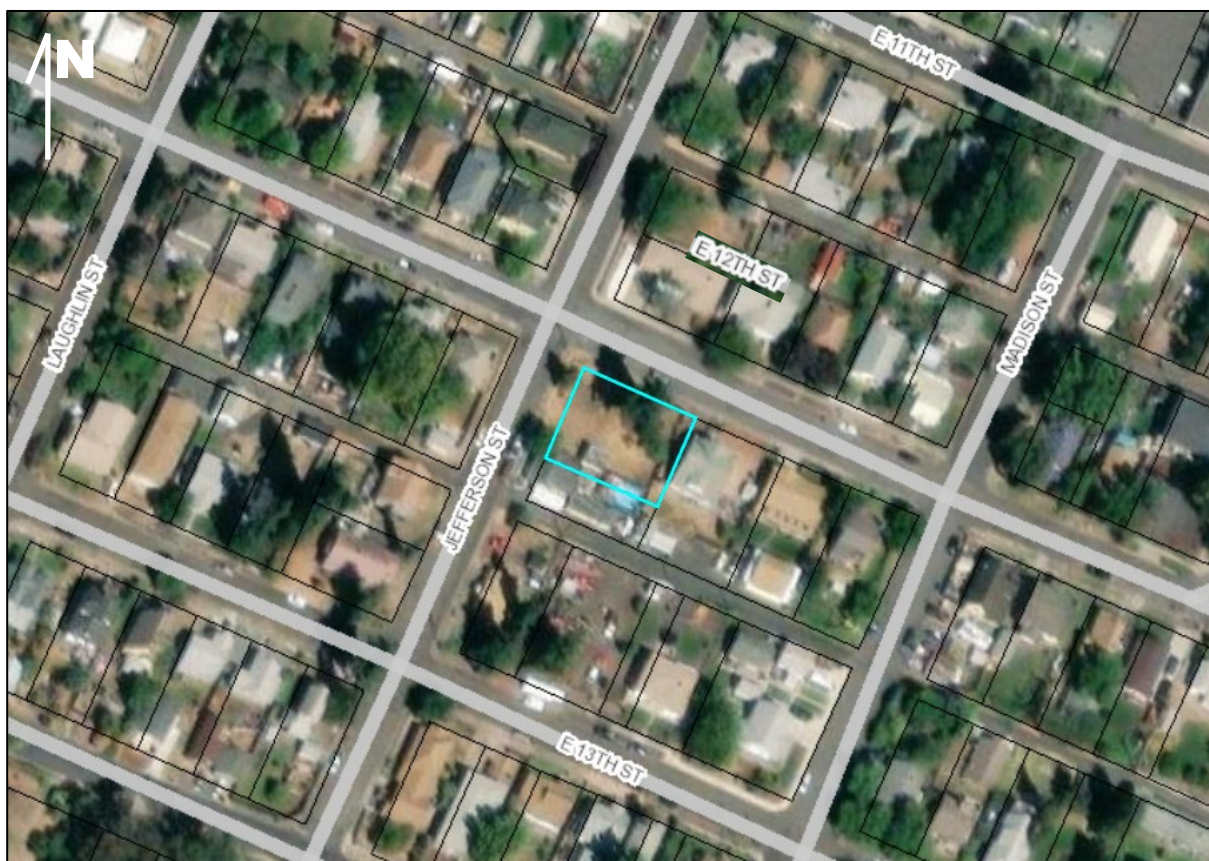


Figure 1: Aerial image showing the subject property (outlined in blue) and its vicinity. Base map source: <https://public.co.wasco.or.us/gisportal/apps/webappviewer>.

Based on a review of Google Earth historical images, it appears that the subject property was previously developed with a residence that was demolished at some point between November 2011 and March 2016. We understand from correspondence with Mr. Adams that the previous structure was destroyed by fire.

In addition, according to Google Earth, the property elevation ranges from 286 feet above mean sea level (msl) to 299 feet msl. The local terrain as viewed in Google Earth is shown below in Figure 2.

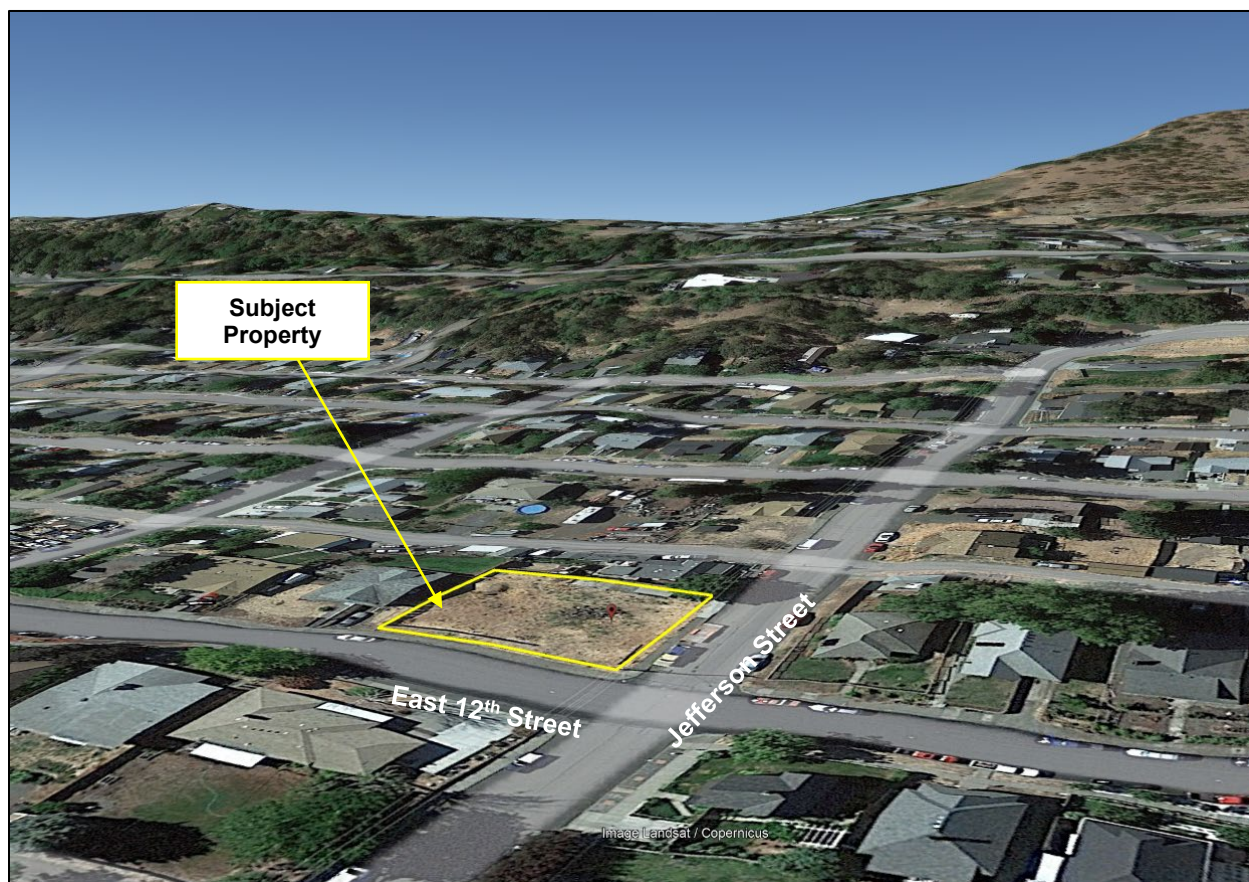


Figure 2: Google Earth image of the local terrain, facing south. The subject property is outlined in yellow.

MAPPED SOILS AND GEOLOGY

The subject property is located within the Columbia Plateau physiographic province of the Pacific Northwest, which is predominately a volcanic province covering approximately 63,000 square miles in Oregon, Washington, and Idaho. The Plateau was formed by repeated eruptions of flood basalt that occurred during the middle Miocene Epoch (approximately 21 to 10 million years ago).

More specifically, the underlying geologic unit at the subject property is mapped as Unit Tpr – Priest Rapids Member of the Wanapum Basalt group consisting of fine- to coarse-grained basalt flows.¹

The United States Department of Agriculture (USDA) Soil Survey provides geographical information of the soils in the project area as well as summarizing various properties of the soils. The USDA maps the surface soils on site as Unit 16D (Cherryhill-Rock outcrop complex on 3 to

¹ Bela, J.L., 1982, Geologic and Neotectonic Evaluation of North-Central Oregon: The Dalles 1 degree x 2 degree quadrangle: Oregon Department of Geology and Mineral Industries, Geological Map Series 27, scale 1:250,000.

25 percent slopes).² This soil unit consists of well-drained soils formed on hillslopes from a parent material of old alluvium over colluvium derived from consolidated and semi-consolidated sandstone. A typical soil profile consists of silt loam overlying loam overlying sandy clay loam overlying weathered bedrock.

As a part of our due diligence for this report, we reviewed the Oregon Department of Geology and Mineral Industries (DOGAMI) Statewide Geohazards Information Database for Oregon (HazVu) website (<https://gis.dogami.oregon.gov/hazvu/>). This database maps the property as being in a very high landslide hazard area, a severe earthquake shaking area, and a moderate liquefaction (soft soil) hazard area. In addition, the database maps the subject property within an existing landslide. It should be noted the subject property is not mapped within a flood hazard area, or in close proximity to any faults.

In addition, we reviewed the DOGAMI Statewide Landslide Information Layer for Oregon (SLIDO version 4.4) website (<https://gis.dogami.oregon.gov/maps/slido/>) for information on nearby landslides. This database also maps the subject property within an existing landslide, however it does not provide any information on the subject landslide. See Figure 3 below.

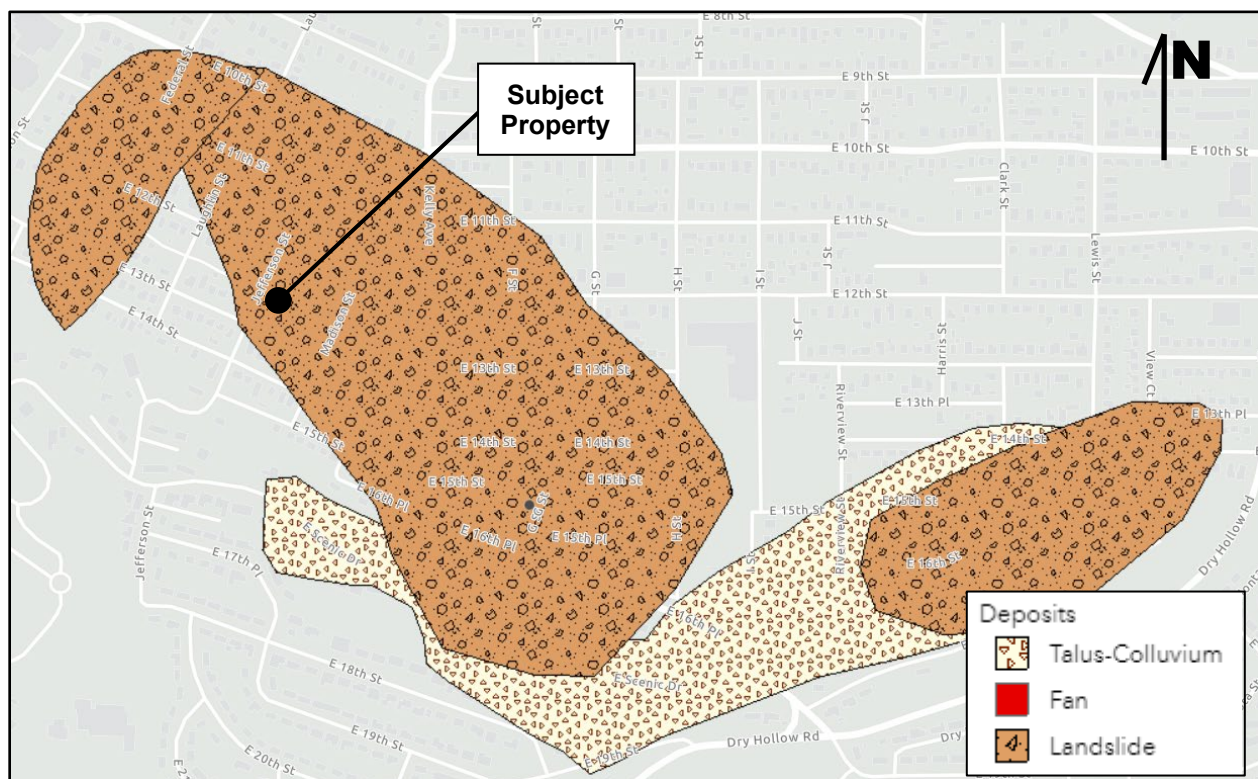


Figure 3: Landslides in the project vicinity as mapped by DOGAMI (SLIDO).

² Soil Survey Staff, Natural Resources Conservation Service, United States Department of Agriculture. Web Soil Survey. Available online at <http://websoilsurvey.nrcs.usda.gov/> accessed 3/24/2023.

It should be noted that a Geologic Hazards Study was published in 2011 for the city of The Dalles Community Development Department which identified an active landslide, the Kelly Avenue Landslide.³ The study also indicates that the subject property is located within a mapped landslide (the Kelly Avenue Landslide). The study includes a detailed geologic map of The Dalles, with the approximate inferred limits of the landslide outlined (highlighted in yellow on Figure 4 below).

The Geologic Hazards Study indicates that the cause of the slide was a rise in the groundwater in the landslide deposit. However, based on inclinometer monitoring, the movement of the landslide is reported to have reduced to little or no movement as recorded in 2010. Pumping wells to lower the groundwater level were reportedly responsible for stopping the landslide movement.

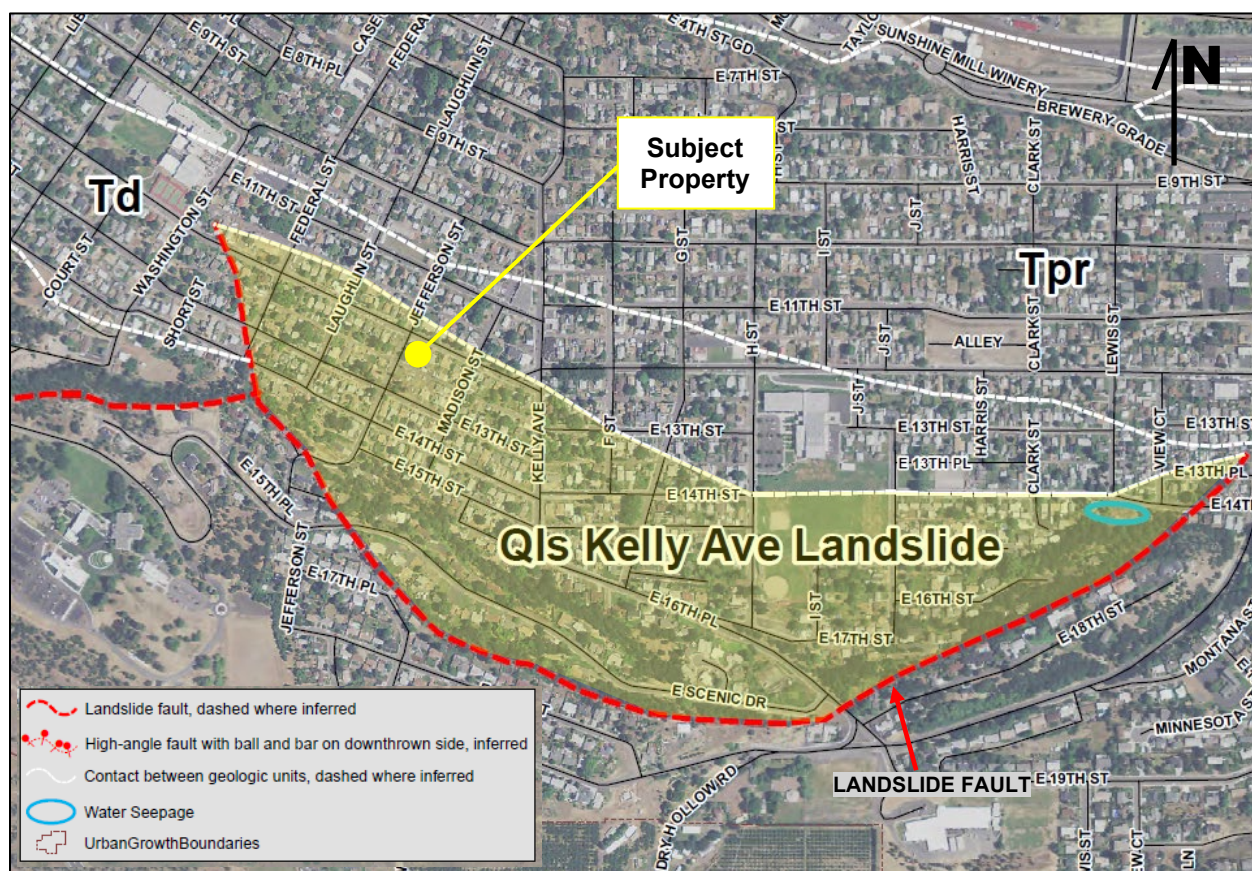


Figure 2: Property in relation to landslide features (City of Dalles Geologic Map – Plate 1).

In April 2022, EEI Geotechnical Engineering Associate John Martin contacted Dale McCabe of the City of The Dalles Public Works Department via telephone regarding another project located nearby (East 13th Street and Kelly Avenue) and related the Kelly Avenue Landslide. Mr. McCabe indicated that the groundwater monitoring wells and slope inclinometers are monitored quarterly by Shannon and Wilson (geotechnical engineering consultant). At that time, Mr. McCabe said that their records have shown that the landslide is no longer active, and that they have no expectation that it will reactivate and begin moving.

³ Yinger, R.G., 2011, City of The Dalles Geologic Hazards Study, Mark Yinger Associates.

SITE OBERVATIONS

In order to describe and evaluate landslide hazards of the site and risks to the proposed development, EEI Geotechnical Project Manager Jacqui Boyer conducted a surficial reconnaissance of the property and surrounding area on March 7, 2023. Along with our background research, the purpose of our reconnaissance was to evaluate site to assess the landslide hazard on the subject property (i.e. related to the above-referenced large landslide complex). During our reconnaissance, we observed local soil and slope conditions on the subject property and checked for signs of recent landsliding.

The following is a summary of our visual reconnaissance:

1. The subject property is currently vacant; however, there are still signs of the demolition of the previous residence (i.e. stem walls). There is an existing retaining wall along East 12th Street that appears to be tied back with anchors. The wall is approximately 2.5-feet in height and appears to be in poor condition (i.e. leaning and cracked). In terms of topography, the subject property is generally flat to slightly sloping. There are no oversteepened slopes on the property (i.e. greater than approximately 26 degrees). See Photos 1 through 3 for the current conditions at the time of our reconnaissance.



Photo 1: Current conditions of the subject property, taken from the southwest corner facing northeast.



Photo 2: Current conditions of the subject property, taken from the northwest corner along East 12th Street (facing southeast), with the existing retaining wall (photo left) .



Photo 3: Current conditions of the leaning and cracked retaining wall mentioned above located along East 12th Street.

2. Based on our surficial visual reconnaissance, we did not observe any apparent signs of recent impacts from slope movement on the subject property. It should be noted that we observed cracking in the pavement along Jefferson Street), immediately west of the subject property. The pavement impacts could be indicative of historical ground movement, or other unrelated factors such as utility repairs or improvement, or vehicle loads that exceeded the design. See Photo 4 below.



Photo 4: Cracking in the pavement observed along Jefferson Street.

It should be noted that the impacts at the scale of the Kelly Avenue Landslide may not be visible at the individual property scale. In addition, as previously stated, we did not conduct a subsurface investigation on the subject property, which would allow site-specific assessment of whether or not the lithology beneath the site includes landslide debris.

With regard to evidence of the large landslide that the property is situated upon, we did not observe any substantive features on the properties surrounding the subject property that be representative of recent slope movement of this scale (e.g., scarps, sag ponds, etc.).

3. We did not observe any active seeps or springs on the site at the time of our site reconnaissance. However, it should be noted that shallow perched groundwater is typical in the lower slopes of The Dalles (i.e. in the project area).

In addition to our visual site reconnaissance, we reviewed historical aerial images available from Google Earth (as discussed above). These images date back as far as 1985 (although the images prior to 2010 generally have poor resolution and are difficult to interpret – the image quality significantly improves after 2010). The images do not show significant changes to the property (related to either development or landslide impacts) subsequent to demolition of the prior residence.

CONCLUSIONS AND RECOMMENDATIONS

Based on our site observations and review of geologic resources for the area, we make the following conclusions and recommendations:

1. We did not observe anything from a landslide hazard standpoint that indicates there would be substantially greater risk of developing this property with a triplex than any of the other properties mapped within the Kelly Avenue Landslide.

When owning a property in this area and on a large landslide mass, there is an acceptance of risk that the property is within a landslide hazard area that could reactivate at some time in the future, possibly due to a Cascadia Subduction Zone earthquake event or severe winter storm event. We do not anticipate that it will be possible to completely mitigate the risk of damage from such an event. It should be noted that many other similar properties already developed within The Dalles that are at a similar risk. We recommend consideration be taken into protecting life safety in the event that a design level earthquake was to occur (i.e. implementing an integrated foundation system tied together with grade beams). As previously stated, we are not providing specific foundation design recommendations for the proposed structure.

2. In order to mitigate the potential of triggering soil movement within the Kelly Avenue Landslide, care should be taken to maintain adequate site surface and subsurface drainage on the subject property (i.e. tightlining stormwater to the existing City system, if possible). Other general best practices include avoiding placement of significant quantities of fill to raise site grades.
3. In general, there are several lines of evidence supporting that development of the subject property will not lead to reactivation of the Kelly Avenue Landslide, including:
 - a. The climate in The Dalles includes relatively low levels of precipitation, with an average of less than 15 inches of precipitation annually.
 - b. While historically active, the Kelly Avenue Landslide is now considered to be stable.
 - c. Overall, the scale of the project is relatively small compared to the scale of the Kelly Avenue Landslide (i.e. the property is approximately 7,850 square feet in size, whereas the extent of the Kelly Avenue Landslide is on the order of 5,000,000 square feet).

- d. Finally, the previous movement of the Kelly Avenue Landslide was caused by a rise in the groundwater in the landslide deposit. It is our understanding that the proposed development plans to discharge of all stormwater and grey water into the existing public system. This ultimately mitigates a substantial factor that could contribute to the reactivation of a big landslide.
4. It should be noted that while this Geologic Impact Statement report does not include the Certification of Plans outlined in Section 8.040.030 of The Dalles Municipal Code, we are available to provide the Certification of Plans if required and as plans become available.

Based on the factors described above, we recommend that the development of the subject vacant property will not substantively increase the risk of reactivation of the Kelly Avenue Landslide.

LIMITATIONS

Landslide hazard evaluations can take the form of simplistic visual observations, or they can involve detailed investigations with borings, inclinometer installations, laboratory testing, and slope stability modeling. Visual observation evaluations tend to translate to more risk and less cost for the client than a detailed investigation. However, no matter what method of landslide hazard evaluation is selected, there is always some risk to the client that a landslide could occur in the future. Our evaluation is not a guarantee that some form of landsliding will never occur on this property in the future. It is merely an evaluation of the risk, based on our observations.

The geologic hazard recommendations presented in this report are based on the available project information described in this report. If any of the noted information is incorrect, please inform EEI in writing so that we may amend the recommendations presented in this report if appropriate and if desired by the client. EEI will not be responsible for the implementation of its recommendations when it is not notified of changes in the project.

This report has been prepared for the exclusive use of Brittany Holdings, LLC for the specific application of the vacant property located at 600 East 12th Street in The Dalles, Wasco County, Oregon. EEI does not authorize the use of the advice herein nor the reliance upon the report by third parties without prior written authorization by EEI.

We appreciate the opportunity to perform this site reconnaissance and Geologic Impact Statement. If you have any questions pertaining to this report, or if we may be of further service, please contact Jacqui Boyer at 360-567-1806 (office) or 503-688-8522 (cell).

Sincerely,
Earth Engineers, Inc.



Adam Reese, R.G., C.E.G.
Principal Engineering Geologist

A handwritten signature in black ink, appearing to read 'Jacqui Boyer'.

Jacqui Boyer
Geotechnical Project Manager

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