

AGENDA

SPECIAL MEETING
HISTORIC LANDMARKS COMMISSION

March 30, 2022

4:00 p.m.

City Hall Council Chambers

313 Court Street, The Dalles, Oregon

MEETING CONDUCTED IN A ROOM IN COMPLIANCE WITH ADA STANDARDS

Via Zoom

<https://us06web.zoom.us/j/83000976030?pwd=Y3NwM1NPVUk3anVPUjNTdyhYW1sZz09>

Meeting ID: **830 0097 6030** Passcode: **222217**

Dial: 1-669-900-6833 or 1-253-215-8782

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES – February 23, 2022
6. PUBLIC COMMENT – During this portion of the meeting, anyone may speak on any subject that does not later appear on the agenda. Five minutes per person will be allowed.
7. STAFF COMMENTS
8. COMMISSIONER COMMENTS
9. PUBLIC HEARING
 - A. HLC Application 199-22, Robert and Meagan Wells-Clark, 503 W. Third Place
Request: Approval to replace an existing, deteriorating deck with a 16' x 15'9" deck.
 - B. HLC Application 200-22, The Dalles Main Street/Walldogs, 119 E. Second Street
Request: Approval for Walldogs to paint a mural on the north-facing alley wall.
 - C. HLC Application 201-22, The Dalles Main Street/Walldogs, 122 E. Second Street
Request: Approval for Walldogs to paint a mural on the south-facing alley wall.

10. RESOLUTION

- A. HLC Resolution 188-22, Robert and Meagan Wells-Clark, 503 W. Third Place
- B. HLC Resolution 189-22, The Dalles Main Street/Walldogs, 119 E. Second Street
- C. HLC Resolution 190-22, The Dalles Main Street/Walldogs, 122 E. Second Street

11. DISCUSSION ITEM

12. ADJOURNMENT

This meeting conducted via Zoom.

Prepared by/
Paula Webb, Secretary
Community Development Department

MINUTES

HISTORIC LANDMARKS COMMISSION MEETING

February 23, 2022
4:00 p.m.

VIA ZOOM

PRESIDING: Robert McNary, Chair

COMMISSIONERS PRESENT: Bev Eagy, Forust Ercole, Eric Gleason (arrived at 4:28 p.m.)

COMMISSIONERS ABSENT:

OTHERS PRESENT: Museum Commission Representative Julie Reynolds

OTHERS ABSENT: City Councilor Scott Randall

STAFF PRESENT: Senior Planner Dawn Marie Hert, Secretary Paula Webb

CALL TO ORDER

The meeting was called to order by Chair McNary at 4:03 p.m.

PLEDGE OF ALLEGIANCE

Commissioner Ercole led the Pledge of Allegiance.

APPROVAL OF AGENDA

It was moved by Ercole and seconded by Eagy to approve the agenda as presented. The motion carried 3/0; Eagy, Ercole, and McNary voting in favor, none opposed, Gleason absent, one position vacant.

APPROVAL OF MINUTES

It was moved by Ercole and seconded by Eagy to approve the minutes of January 26, 2022 as written. The motion carried 3/0; Eagy, Ercole, and McNary voting in favor, none opposed, Gleason absent, one position vacant.

STAFF COMMENTS

Senior Planner Hert stated Commissioner Doug Leash passed away. He was a Commissioner for many years. Commissioner Leash was an educator for many years with a passion for historic

structures. He was also instrumental in saving St. Peter's Landmark. His love of architecture was evident in his contributions to the historic preservation community. He will be missed.

Hert stated complaints made by Richard Wolf will be addressed by the Codes Enforcement Officer.

Funding for the Sidewalk Repair Program was exhausted last year. The program will likely focus this year on residential properties. Senior Planner Hert will provide details as they become available.

Hert stated we have great forward movement on new, repair and replacement plaques. Several property owners are interested. Additional details should be available next month.

Senior Planner Hert will be unavailable for the March 23, 2022 HLC meeting. Staff consensus was to cancel the regularly scheduled meeting and hold a special meeting on March 30, 2022.

COMMISSIONER COMMENTS

Commissioner Eagy received communication from the group of Walldogs working on the Ben Snipes mural. The group, the Wingnuts, are out of Totenham, Ontario.

The Eagy's viewed new photos shared from the Wasco County Historical Society at the Discovery Center. The Eagy's also watched Karl Vercouteren's presentation on David Douglas, the Scots naturalist.

Commissioner Eagy stated James Edmond Greeley, a Native American musician, will perform at St. Peter's Landmark on February 26, 2022.

The Board of St. Peter's Landmark will meet to fill Commissioner Leash's position. Leash acted as President, Treasurer and Events Coordinator for the Landmark.

Representative Reynolds said the Fort Dalles Museum will open March 1, 2022. Cruise ships are lined up throughout the summer. Director Cal McDermid will retire as of April 6, 2022. Volunteers are needed.

Chair McNary stated the Sunrise Service at Pulpit Rock is 99 or 100 years old. The service will be held April 17, 2022.

PUBLIC HEARING

HLC 196-21, The Dalles Main Street/Walldogs, 311 Union Street

Commissioner Ercole read the rules of a public hearing. He then asked if any Commissioner had ex parte contact, conflict of interest, or bias which would prevent an impartial decision. Hearing none, Chair McNary opened the public hearing at 4:26 p.m.

Senior Planner Hert presented the staff report.

John Lehman, PO Box 331, The Dalles

Mr. Lehman stated the mural will be placed on a concrete cinder block wall that was an addition to the structure. The surface is already painted and ready for a mural. The proposed area is 15'

by 27'; final size and content is not yet determined. The surface will be cleaned with gentle pressure washing and mild soap; no sandblasting is proposed.

Chair McNary closed the public hearing at 4:36 p.m.

Commissioner Gleason stated he had no ex parte contact, conflict of interest, or bias which would prevent an impartial decision.

It was moved by Ercole and seconded by Eagy to approve HLC 196-21 with four conditions of approval. The motion carried 4/0; Eagy, Ercole, Gleason and McNary voting in favor, none opposed, one position vacant.

HLC 197-21, The Dalles Main Street/Walldogs, 401 Court Street

Chair McNary asked if any Commissioner had ex parte contact, conflict of interest, or bias which would prevent an impartial decision. Hearing none, Chair McNary opened the public hearing at 4:41 p.m.

Senior Planner Hert presented the staff report.

John Lehman, PO Box 331, The Dalles

Mr. Lehman stated the location of this mural will be very visible. The wrap-around of the corner will provide Walldogs creative license to produce a unique mural. The wall is painted cinder block. The surface will be cleaned with gentle pressure washing and mild soap; no sandblasting is proposed. The mural will be one continuous piece wrapping around the corner.

It was moved by Ercole and seconded by Eagy to approve HLC 196-21 with four conditions of approval. The motion carried 4/0; Eagy, Ercole, Gleason and McNary voting in favor, none opposed, one position vacant.

Chair McNary asked who would take responsibility for maintenance of the murals. Lehman's understanding is the Walldogs are instrumental in coordinating the mural fest and painting the murals. Once complete, Walldogs will take over continued and future maintenance. Senior Planner Hert added the existing murals were assessed. If possible, existing murals may be restored. Walldogs may add new murals in the future.

Representative Reynolds asked how long the new murals will last. Lehman thought they would last 10 to 15 years. Hert added many murals in town are over 20 years old.

Chair McNary closed the public hearing at 4:56 p.m.

It was moved by Ercole and seconded by Eagy to approve HLC 197-21 of The Dalles Main Street and Walldogs with four conditions of approval, based on findings of fact detailed in the staff report. The motion carried 4/0; Eagy, Ercole, Gleason and McNary voting in favor, none opposed, one position vacant.

HLC 198-21, The Dalles Main Art Center, 220 E. Fourth Street

Chair McNary asked if any Commissioner had ex parte contact, conflict of interest, or bias, which would prevent an impartial decision. Hearing none, Chair McNary opened the public hearing at 4:59 p.m.

Senior Planner Hert presented the staff report.

Hert clarified freestanding signs are not recommended in the current guidelines; therefore, this application is before the Commission. Previously, SHPO approved a freestanding sign for the AmeriTitle building due to the pristine condition of the structure and the setback. The Art Center is also pristine with an existing setback allowing for a freestanding sign.

James Scott Stephenson, 3308 Royal Crest Drive, The Dalles

The Dalles Art Center is viewed by many as a library. The challenge is to identify as a community art center. Signage on the structure includes “Carnegie Library” in stone, with the addition of “The Dalles Art Center” above. Current signage is ineffective and detracts from the appearance of the building.

The proposed design will have cream-colored letters with black bases, reflecting colors on the Art Center. The sign is designed to increase visibility, emphasize activities and connect to the historic nature of the building.

In response to Commissioner Eagy’s question, Stephenson replied the foam letters saying “The Dalles Art Center” would be removed from the building. The proposed sign includes “The Dalles Art Center” on one panel, with “Inspire and engage all with art” on the opposite panel. Hert added removal of the foam letters would return the building to its original state.

Chair McNary closed the public hearing at 5:17 p.m.

It was moved by Gleason and seconded by Ercole to approve HLC 198-21 of The Dalles Art Center with three proposed conditions of approval, based on findings of fact detailed in the staff report. The motion carried 4/0; Eagy, Ercole, Gleason and McNary voting in favor, none opposed, one position vacant.

RESOLUTIONS

HLC Resolution 185-22: Approval of HLC 196-21, The Dalles Main Street /Walldogs

It was moved by Gleason and seconded by Eagy to approve Resolution HLC 185-22, approving application HLC 196-21 of The Dalles Main Street and Walldogs with four conditions of approval. The motion carried 4/0; Eagy, Ercole, Gleason and McNary voting in favor, none opposed, one position vacant.

HLC Resolution 186-22: Approval of HLC 197-21, The Dalles Main Street/Walldogs

It was moved by Eagy and seconded by Gleason to approve Resolution HLC 186-22, approving application HLC 197-21 of The Dalles Main Street and Walldogs with four conditions of approval. The motion carried 4/0; Eagy, Ercole, Gleason and McNary voting in favor, none opposed, one position vacant.

HLC Resolution 187-22: Approval of HLC 198-21, The Dalles Art Center

It was moved by Ercole and seconded by Eagy to approve Resolution HLC 187-22, approving application HLC 198-21 of The Dalles Art Center with three conditions of approval. The motion carried 4/0; Eagy, Ercole, Gleason and McNary voting in favor, none opposed, one position vacant.

ADDITIONAL COMMENTS

Chair McNary noted a special meeting is scheduled for March 30, 2022.

Commissioner Gleason apologized for being late. Gleason noted he will be in the field through mid-May and may be unavailable for meetings.

Senior Planner Hert stated Mayor Mays has spoken with one individual who expressed interest in joining the Commission. Commissioner Eagy also spoke with an interested individual.

ADJOURNMENT

Being no further business, the meeting adjourned at 5:30 p.m.

Submitted by/
Paula Webb, Secretary
Community Development Department

SIGNED:

Robert McNary, Chair

ATTEST:

Paula Webb, Secretary
Community Development Department



**STAFF REPORT
HISTORIC LANDMARKS REVIEW
#199-22**

TO: The Dalles Historic Landmarks Commission

FROM: Dawn Marie Hert, Senior Planner

HEARING DATE: Wednesday, March 30, 2022

ISSUE: Replacing rear deck with new larger deck.

SYNOPSIS:

APPLICANTS	Robert & Megan Wells-Clark
PROPERTY OWNER	Robert & Megan Wells-Clark
LOCATION	503 W. Third Place, The Dalles, OR 97058
ZONING	“CBC-1” – Central Business Commercial, Trevitt’s Addition National Historic District
EXISTING USE	Residential
SURROUNDING USE	Residential and some Commercial
HISTORIC STATUS	Classified as Primary, Contributing in Trevitt’s Addition National Historic District

NOTIFICATION: Published advertisement in local newspaper; notification to property owners within 100 feet, State Historic Preservation Office (SHPO).

RECOMMENDATION: Approval, with conditions, based on the following findings of fact.

BACKGROUND: The historic name of this house is the Maier House. The house was built circa 1895 and is classified as a Primary, Contributing resource in The Dalles Trevitt’s Addition National Historic District. The one and one half story Queen Anne/Eastlake style home has minimal alterations to the exterior.

Past Historic Landmarks Approvals:

- May 17, 2001, the Commission approved application HLC #59-01 for removal of the rear landing and stairs to be replaced with a new 6 foot by 16 foot deck.

- June 25, 2014, the Commission approved application HLC #144-14 for construction of a detached garage.

The applicants are requesting approval to construct a new 15 foot 9 inch by 16 foot deck to replace the existing 6 foot by 16 foot deck on the rear elevation of the home. The new wooden deck will be built to match the style of the home, include the same railing features of the existing deck, and painted to match the house.

ANALYSIS: The Historic Landmarks Commission is responsible for conducting hearings dealing with proposed alterations to historic buildings. The Dalles Municipal Code, Title 11 Planning, Chapter 11.12 – Historic Resources provides process as well as established design guidelines to assist the Commission in making these decisions. The purpose of the Historic Landmarks Commission, the Historic Code and the review criteria are to:

- *Protect historic and cultural resources from destruction, inappropriate alteration, and incompatible adjacent development;*
- *Stabilize and improve property values in historic districts and citywide;*
- *Enhance the city's attractiveness to visitors and residents, and stimulate business, industry and tourism;*
- *Educate The Dalles' citizens and visitors concerning the city's heritage;*
- *Preserve the historic housing stock of The Dalles;*
- *Comply with The Dalles comprehensive Plan regarding historic resources under Statewide Planning Goal 5.*

A. THE DALLES MUNICIPAL CODE – TITLE 11.12 – HISTORIC RESOURCES – CODE RELATING TO HISTORIC RESOURCES WITHIN THE CITY OF THE DALLES.

Section 11.12.070, Subsection A. Review Criteria:

3. "Secretary's Standards. Commission decisions shall be based on the Secretary of the Interior's Guidelines for the Treatment of Historic Properties." The following are pertinent standards from the "Guide."

1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

FINDING A1: There are no plans for modifications to the existing use of this building. The current use is the same as the historic use of the property. Criterion does not apply.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations to features and spaces that characterize a property shall be avoided.

FINDING A2: The proposed deck will replace an existing deck constructed in 2001. The existing deck is rotten and in need of replacement. The existing, non-historic, deck will be removed, but all historic elements will remain. Care shall be taken with the installation of the new deck to the historic house. Criterion met.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

FINDING A3: This property is recognized as a physical record of its time. The replacement of the existing deck will not create a false sense of historic development. The proposed railing is similar to the historic railing on the front porch of the house. Criterion met.

4. *Changes to a property that have acquired historic significance in their own right shall be retained and preserved.*

FINDING A4: No such changes are proposed with this application. The deck approved in 2001 has not acquired historical significance. Criterion met.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

FINDING A5: This proposal does not seek to alter any of the above. All distinctive features and finishes will remain. This replacement deck will not obscure features that characterize the property. Criterion met.

6. *Deteriorating historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.*

FINDING A6: This proposal does not seek to remove or replace any historical deteriorating features with this application. The deck to be removed was constructed in 2001. All historic features and finishes will remain. Criterion met.

7. *Chemical or physical treatments, such as sandblasting that cause damage to historic materials, shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

FINDING A7: The applicant is not proposing any chemical or physical treatments. Any planned cleanings prior to construction will be required to meet the standards set forth by the Secretary of Interior. Criterion will be addressed as a condition of approval.

8. *Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

FINDING A8: Minor ground disturbance is indicated in this application submittal as needed for the footings on the deck. In the event historic artifacts are located, the applicant will be required to stop excavation and have the site professionally evaluated prior to commencing with any excavation. This criterion will be addressed as a condition of approval.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

FINDING A9: Proposed exterior alterations to the historic structure follow the historic design guidelines for the Trevitt's Addition. The proposed deck is compatible in massing, size, scale and architectural features as detailed in the application. The railing materials will be similar in style to the front porch. Criterion met.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

FINDING A10: The essential form and integrity of the structure will be protected with the construction of the new deck. There are no plans to remove historic materials, only expand the deck on the rear face of the building. Care shall be taken with construction to ensure that the house and environment will be unimpaired in the event the deck is removed in the future. Criterion met.

B. THE DALLAS MUNICIPAL CODE – TITLE 11.12.095 – HISTORIC RESOURCES – CODE RELATING TO DESIGN GUIDELINES FOR HISTORIC RESOURCES.

MATERIALS

2. LANDSCAPING

Yards in the Trevitt's Addition vary as a result of the topography and in general the houses are setback from the sidewalk in contrast with the commercial district. They have three zones; sidewalk, front yard and house. New construction and rehabilitation should maintain the alignment of houses in the district and the historic character of the yards.

GUIDELINES:

- a. *New construction should be set back from the street property line a minimum of 15 feet.*
- b. *Street facing portions of the property should be preserved so that the public's visual access is not obstructed.*

FINDING B1: The house is located on a corner lot making three elevations visible from the street. The house is preserved and the addition to the rear elevation will not obscure the public's visual access to the house. The deck addition is over 15 feet from any property line. Criterion met.

3. PORCHES

Porches are a prevalent aspect in Trevitt's Addition and they vary from small stoops to grand verandas. The porch is an integral part of the home in that it serves as both a functional and decorative element. It provides the transition from outdoor to indoor, public to private. New construction and rehabilitation should retain the neighborhood's historic character through the porches' proportion, scale, materials, and style.

GUIDELINES:

- f. *New construction should use a simple design with hip or shed roof with simple posts and handrails.*
- g. *The following materials are prohibited:*
 - corrugated fiberglass*
 - metal siding*
 - wrought iron porch supports*
 - prefabricated trellis*
 - plywood*
 - exposed concrete block*

FINDING B2: The proposed deck will be constructed of wood and will be a simple design as the front porch. The deck is not proposed to be covered. Criterion met.

7. COLOR

Trevitt's Addition has a varied range of building colors which contributes to the liveliness of the neighborhood. New paint should maintain an overall image of variety, without providing a strict

palette, allowing for flexibility and freedom, which created the current appearance of the neighborhood.

GUIDELINES:

- a. Research and replication of original paint colors is recommended.*
- b. As a rule it is recommended that three colors be used:
darkest-window sash
medium-building
lightest-trim, detail*
- c. In choosing a color scheme for a house, consult the local hardware stores, which have historic paint palettes for suggested styles.*
- d. In general earth tones are recommended.*
- e. Lighter colors used for smaller homes help to give them more presence.*
- f. Houses should use varying color palettes in an effort to retain the sense of variety in the neighborhood.*

FINDING B3: The applicant has stated the new deck colors will match the colors used on the previous deck, the house and front porch. The color scheme meets the design guideline colors. Criterion met.

CONCLUSIONS: In all respects this application meets the standards of the Secretary of the Interior and The Dalles Municipal Code, Title 11-12 Historic Resources with the following conditions:

Proposed Conditions of Approval:

1. Work will be completed in substantial conformance to the proposals as submitted and reviewed.
2. In the event there are discovered archeological resources or materials during the project, the discovery shall be professionally evaluated prior to continued excavation at the site.
3. Prior to the start of construction, the applicant will be required to obtain an approved building permit from the Community Development Department and Wasco County Building Codes.
4. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of the structure, if appropriate, shall be undertaken using the gentlest means possible.



City of The Dalles
Community Development Dept
313 Court Street
The Dalles, OR 97058
(541) 296-5481, ext. 1125
www.thedalles.org

Application #: HLC 199-22
Filing Fee: \$85.00
Receipt #: XBP 11581218
Deemed Complete: _____
Ready to Issue: _____
Date Issued: _____

Received: 02-23-2022

Historic Landmarks Application

This application is required for all new construction, modifications, and/or alterations to the exterior of certified historic structures and all structures within certified historic districts and reviewed by the City of The Dalles' Historic Landmarks Commission. The review criteria for each application are the Secretary of the Interior's Standards. These standards have been adopted by The Dalles Municipal Code Chapter 11.12 Historic Resources as local review criteria.

Applicant

Name: Robert + Meagan Wells-Clark
Address: 503 W. 3rd Pl
The Dalles OR, 97058
Phone #: 541-574-1589
Email: robert.wells-clark@gmail.com

Legal Owner (if different than Applicant)

Name: _____
Address: _____
Phone #: _____
Email: _____

Property Information

Address: 503 W. 3rd Pl
Zone: Trevitt's
Current Use: Residential

Map and Tax Lot: 1N 13E 4 AA 2200

List any known archeological resources on site:

none

Department Use Only

Historic Name (if any): Maier House
Year(s) Built: Circa 1895 Historic Building/Site: ☒ Yes ☐ No
Historic Classification: Primary, Contributing
Historic District: ☒ Trevitt's Addition ☐ Downtown Commercial

Project Information

☐ New Construction ☒ Expansion/Alteration ☐ Demolition ☐ Landmark Designation

Briefly describe the proposed project:

Replace rotting deck

Will the use change as a result of this application?

☐ Yes

☒ No

Please submit the following information with this application:

- ☒ Narrative #1: Description of the project consistent with the Secretary of Interior's Standards for Rehabilitation (page ?)
- ☐ Narrative #2: Explanation of the project consistent with the associated project type (pages ?):
 - ☒ Landmark Designation (#2-A)
 - ☒ Alterations/New Construction/Relocation (#2-B)
 - ☐ Demolition (#2-C)
- ☐ Narrative #3: Description of the project consistent with the associated district design standards: New Construction and Alteration (page ?)
 - ☐ The Dalles Commercial Historic District (#3-A)
 - ☒ Trevitt's Addition (#3-B)
- ☒ Narrative #4, Signs (if applicable): Description of the project consistent with the associated historic sign guideline criteria (page ?)
- ☒ Elevation drawings (existing vs. proposed)
- ☒ Current color photographs of the structure and/or site
- ☒ List of all proposed materials/colors (product brochures recommended)
- ☒ Site Plan (drawn to scale)
- ☒ Historic photographs/documentation of the structure and/or site (encouraged) *on file*
- ☐ Copy of all associated Historic Inventory information

Signature of Applicant

Signature of Property Owner

Robert M. Wallace

Robert M. Wallace

Date

2/11

Date

Narrative Application for Deck Addition – Robert and Meagan Wells-Clark; 503 W. 3rd Pl

Narrative #1:

Yes, I believe that the rebuild of the deck is consistent with the standards listed. There are no major changes, it will be just slightly bigger and not rotten. The look of the deck will remain the same and will match the house in the same way as the current approved structure.

1. Rebuilding a deck won't change the property use at all.
2. The changes are avoided. It's the same deck but 10' bigger.
3. Ok
4. Ok
5. The same features and craftsmanship will be used.
6. Ok
7. Ok
8. None on site of deck that we are aware of.
9. No material changes are made, just enlarged.
10. It's not a new addition or new construction.

Narrative #2-B:

The same deck will be built with the same railings and other features. It is only an alteration because we would like to take this opportunity to enlarge the deck for an outdoor eating space. The enlarged size will still not be visible from the street.

Narrative #3:

This is a wooden deck with railings to match the current railings on the front porch and current rotting porch. There is no change to the look or function of the house and none of the associated Trevitt's district design standards are really applicable or unmet in this case. The decks size enlarged to the size listed in the permit application form, roughly a 10' increase in outward length and no increase in length across the house.

Narrative #4:

There are no signs for this project.

Elevation Drawings:

No elevation changes are made.

Photographs:

Color photos of the current deck are included in the permit application.

Proposed Materials:

Wood per specifications in permit application and prescribed deck plan.

Yellow paint for sides, white for railing, red for decking to match front porch and rest of the house.

Site Plan:

Please see previous applications for detailed site plan, and the google image for the proposed alteration to the deck for this application.

Historic Photos:

I am not sure how to scan these in but they can be made available at request.

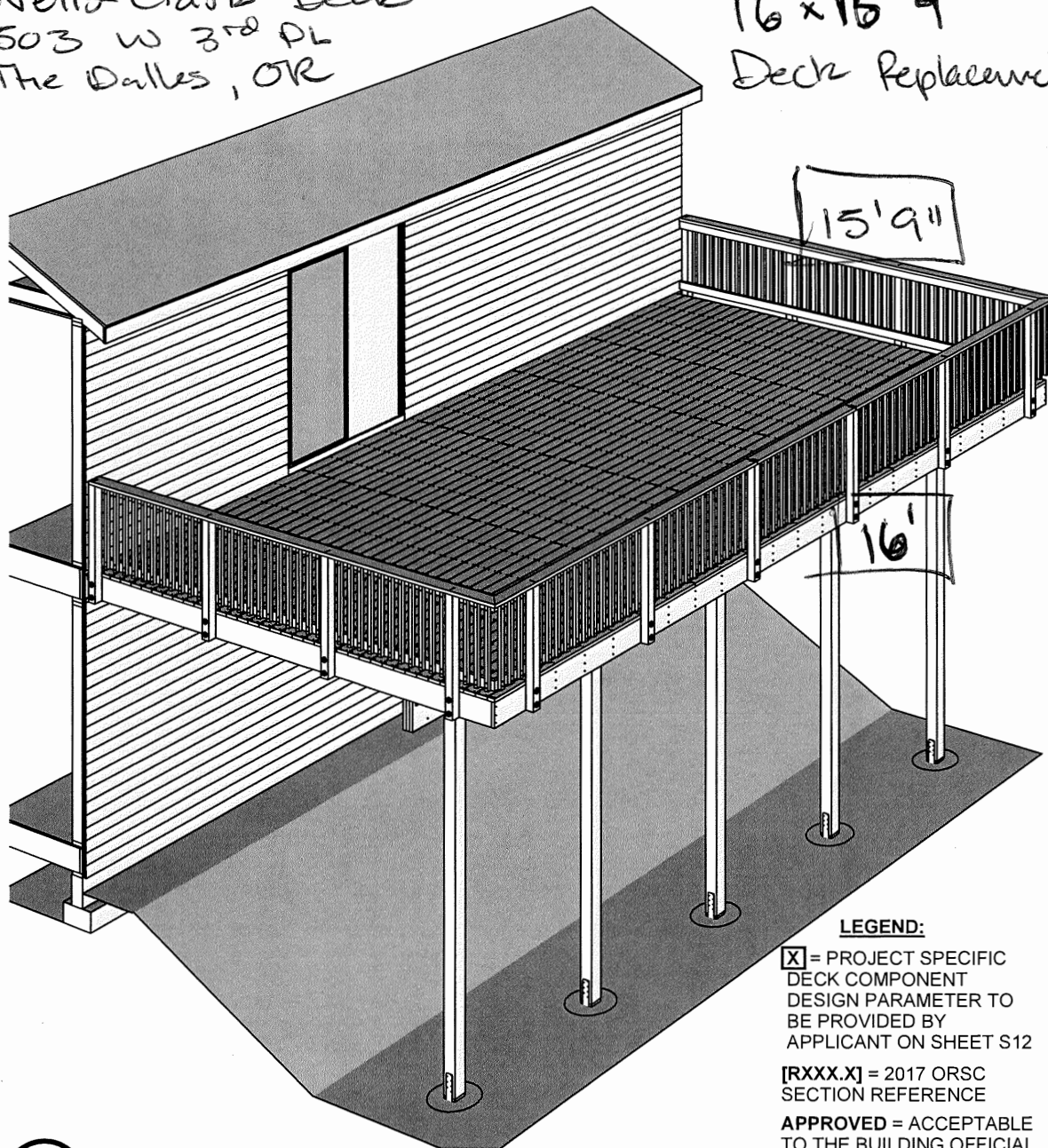
Historic Inventory:

I don't have access to this information.



Wells Clark Deck
503 W 3rd Pl
The Dalles, OR

16'x15'9"
Deck Replacement



LEGEND:

[X] = PROJECT SPECIFIC
DECK COMPONENT
DESIGN PARAMETER TO
BE PROVIDED BY
APPLICANT ON SHEET S12

[RXXX.X] = 2017 ORSC
SECTION REFERENCE

APPROVED = ACCEPTABLE
TO THE BUILDING OFFICIAL
[R202]

GENERAL NOTES

SCOPE

SINGLE LEVEL EXTERIOR DECKS ATTACHED TO
THE EXTERIOR WALL OF A ONE- OR TWO-FAMILY
DWELLING.

APPLICABLE BUILDING CODE

2017 OREGON RESIDENTIAL SPECIALTY CODE
(ORSC).

LIMITATIONS OF USE

USE OF AND ANY MODIFICATIONS TO THESE
READY-BUILD PLANS IS SUBJECT TO REVIEW
AND APPROVAL BY THE BUILDING DEPARTMENT
HAVING JURISDICTION.

- A. ULTIMATE WIND SPEED: 105-135MPH
- B. WIND EXPOSURE CATEGORY: B, C, OR D
- C. SEISMIC DESIGN CATEGORY: C, D₁, OR D₂
- D. GROUND SNOW LOAD: ≤ 40 PSF

DECKS SUPPORTING LARGE CONCENTRATED
LOADS SUCH AS HOT TUBS ARE BEYOND THE
SCOPE OF THIS DOCUMENT.

APPLICANT SHALL USE THE CODE PRESCRIBED
TABLES CONTAINED HEREIN AND RECORD
THEIR PROJECT SPECIFIC DESIGN PARAMETERS
[X] ON SHEET **S12** PRIOR TO PERMIT
APPLICATION.

FOUNDATION

FOOTINGS SHALL BEAR ON NATIVE, INORGANIC,
UNDISTURBED SOIL BELOW EXISTING GRADE.
CONCRETE STRENGTH SHALL BE 3,000 PSI IN
MODERATE WEATHERING REGIONS AND 3,500
PSI IN SEVERE WEATHERING REGIONS (SEE
DETAIL 1/S11) [R301.2 AND R402.2].

WOOD FRAMING

ALL WOOD SHALL BE APPROVED NATURALLY
DURABLE OR PRESSURE-PRESERVATIVE-
TREATED (R317.1). ALL WOOD IN CONTACT WITH
THE GROUND, OR EMBEDDED IN CONCRETE
SHALL BE APPROVED PRESSURE-
PRESERVATIVE-TREATED WOOD SUITABLE FOR
GROUND CONTACT USE (R317.1.2). ALL CUTS
SHALL BE FIELD TREATED WITH COPPER
NAPHTHENATE (2% COPPER) [R402.1.2].

FASTENERS, ANCHORS, AND CONNECTORS

FASTENERS SHALL BE HOT-DIPPED GALVANIZED,
STAINLESS STEEL, OR APPROVED FOR USE
WITH PRESERVATIVE-TREATED LUMBER.
COATING TYPES FOR FRAMING ANCHORS SHALL
BE IN ACCORDANCE WITH MFR'S
RECOMMENDATIONS (SHALL BE PROVIDED WITH
SUBMITTAL) [R317.3].

READY-BUILD PLAN PROGRAM

PRESCRIPTIVE DECK

2017 ORSC

EFFECTIVE
MARCH, 2018

REVISIONS

NO.	DATE

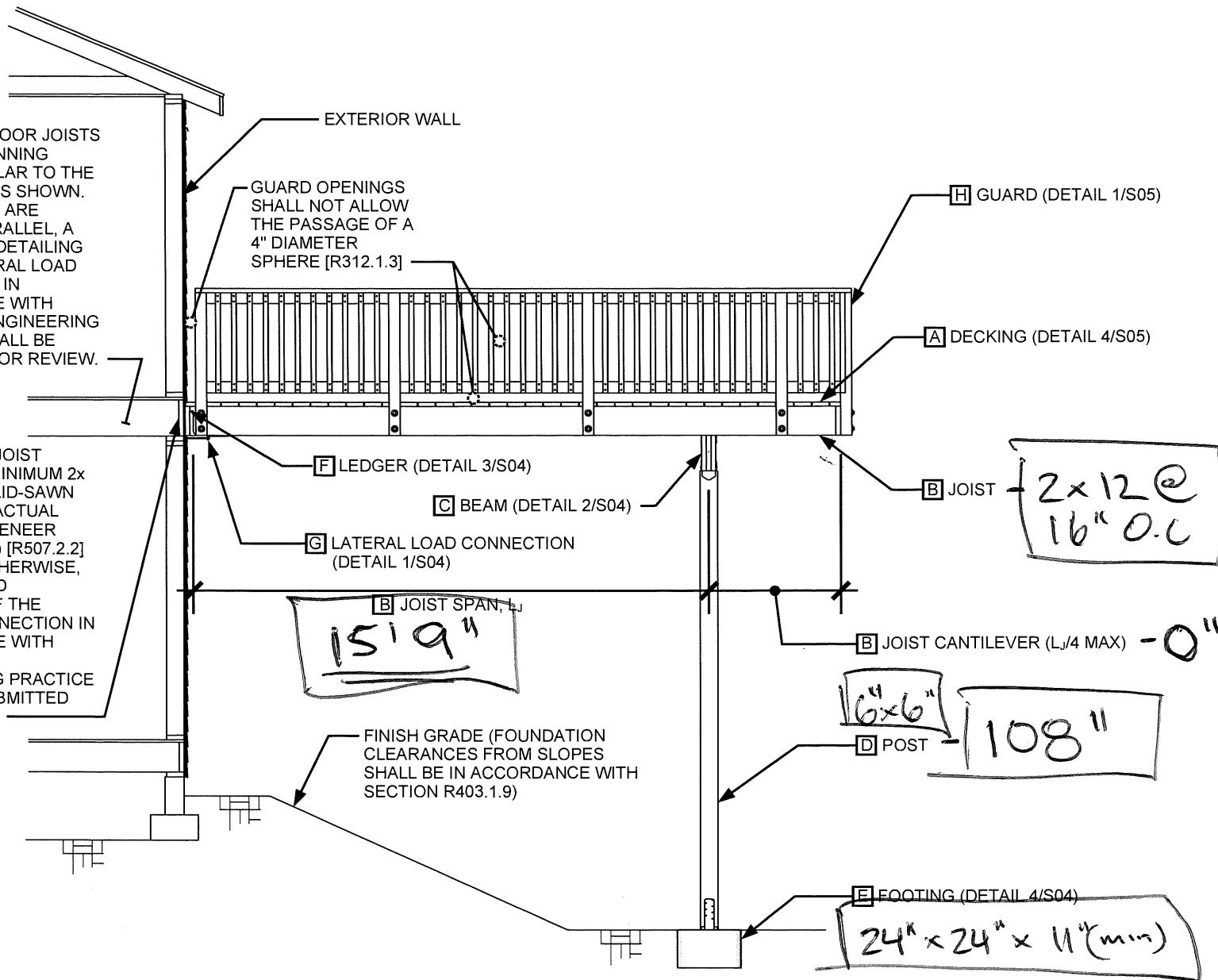
General Notes

S01

Wells-Clark Deck 16' x 15'9"

NOTE: THE FLOOR JOISTS SHALL BE RUNNING PERPENDICULAR TO THE BAND JOIST AS SHOWN. WHEN JOISTS ARE RUNNING PARALLEL, A DESIGN AND DETAILING OF THE LATERAL LOAD CONNECTION IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE SHALL BE SUBMITTED FOR REVIEW.

NOTE: BAND JOIST SHALL BE A MINIMUM 2x NOMINAL SOLID-SAWN OR A 1x9-1/2 ACTUAL LAMINATED VENEER LUMBER (LVL) [R507.2.2] MEMBER. OTHERWISE, A DESIGN AND DETAILING OF THE LEDGER CONNECTION IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE SHALL BE SUBMITTED FOR REVIEW.



1 Side Elevation
S02 NTS

READY-BUILD PLAN PROGRAM

PRESCRIPTIVE DECK

2017 ORSC

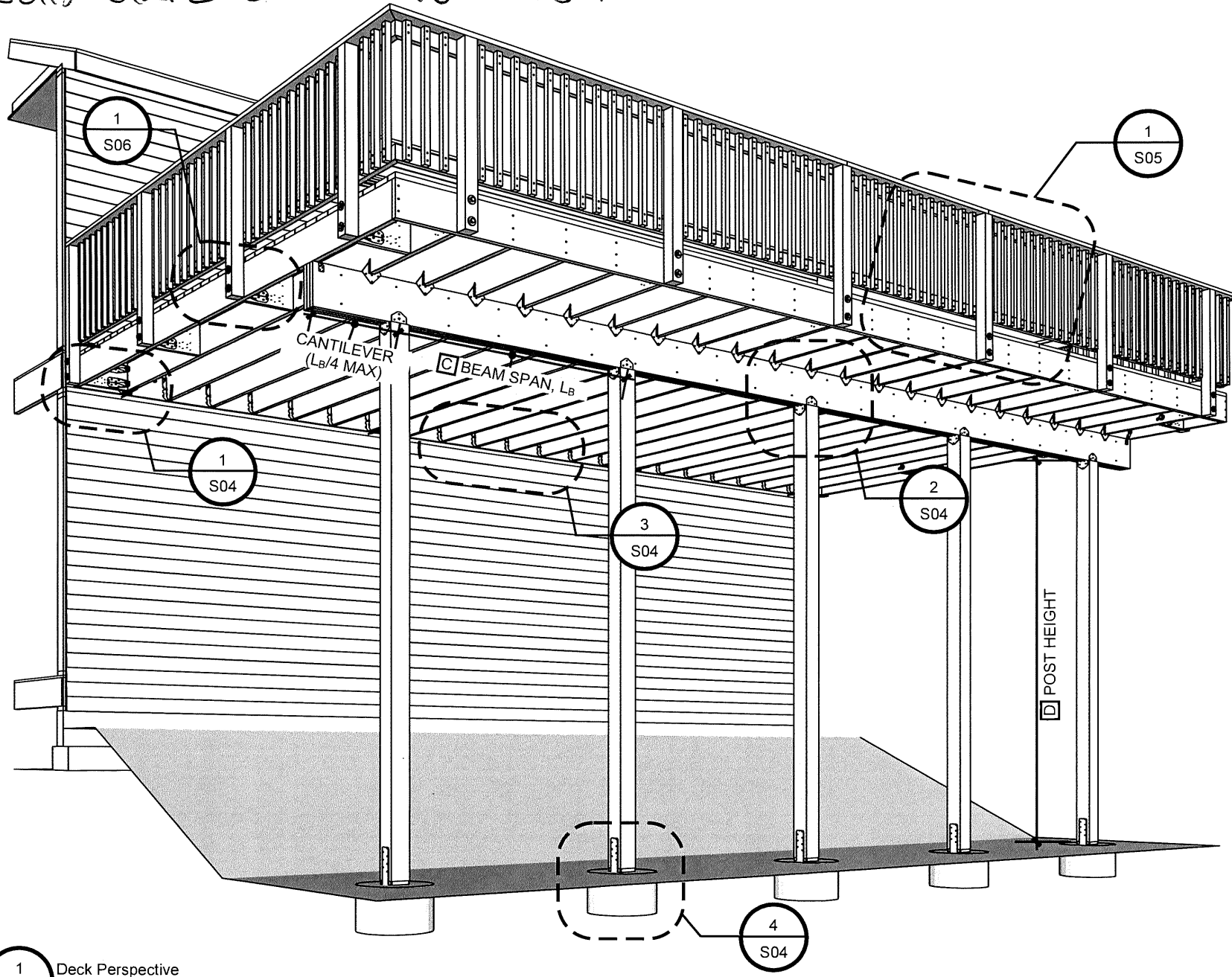
EFFECTIVE
MARCH, 2018

REVISIONS	
NO.	DATE

Elevation

S02

Wells-Clark Deck - 16' x 15'9"



1 Deck Perspective
S03 NTS

READY-BUILD PLAN PROGRAM

PREScriptive DECK

2017 ORSC

EFFECTIVE
MARCH, 2018

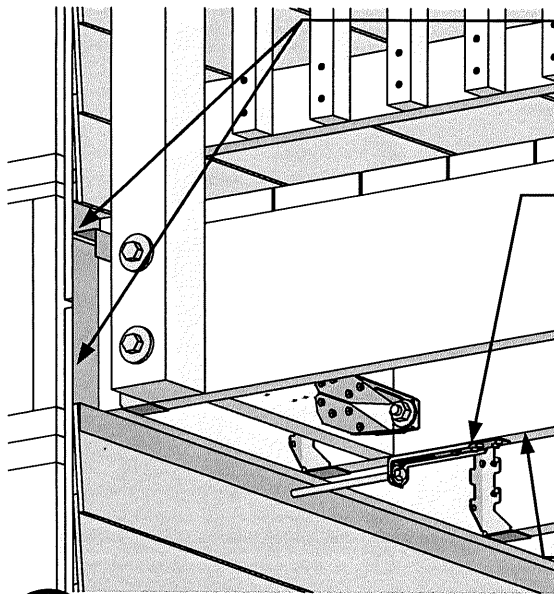
REVISIONS

NO.	DATE

Perspective

S03

Wells-Clark Deck - 16' x 19'9"



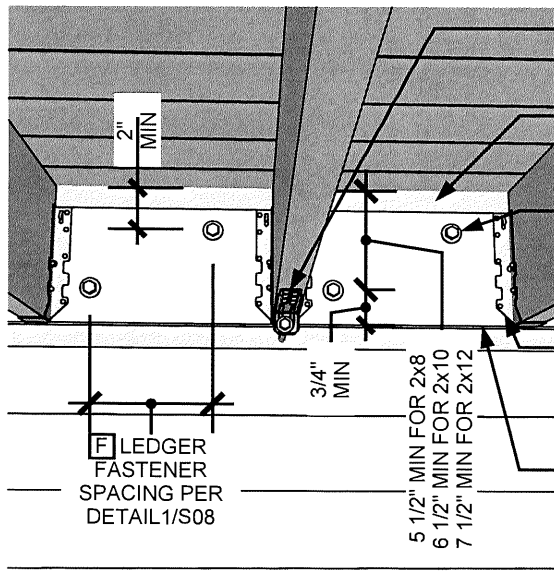
CORROSION-RESISTANT FLASHING INSTALLED IN SHINGLE-FASHION FOR WATER TIGHTNESS WHERE DECK MEETS EXTERIOR WALL [R703.4]

G HOLD-DOWN DEVICE WITH MIN 750 LB. CAPACITY AT 4 LOCATIONS, EVENLY DISTRIBUTED ALONG DECK AND ONE WITHIN 24" OF EACH END OF THE LEDGER. DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS [R507.2.4]. SEE DETAIL 2/S06 FOR ALTERNATE CONNECTION

B DECK JOIST PER DETAIL 2/S07

1 Lateral load connection

S04 NTS



G LATERAL LOAD CONNECTION PER DETAIL 1/S04 OR 2/S06

FLASHING BETWEEN DECK AND EXTERIOR WALL PER DETAIL 1/S04

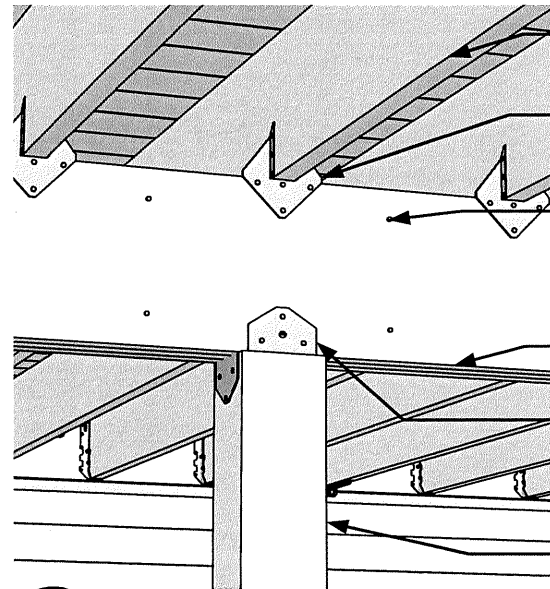
F DECK LEDGER FASTENING PER DETAILS 1/S08 AND 2/S08, STAGGERED AS SHOWN

APPROVED JOIST HANGER WITH DEPTH NOT LESS THAN 60% OF JOIST DEPTH [R507.7 AND R507.5.1]

F DECK LEDGER (2x8 MINIMUM) PER DETAIL 1/S12 EQUAL TO OR GREATER THAN THE DECK JOIST DEPTH

3 Ledger connection

S04 NTS



B DECK JOIST PER DETAIL 1/S07, TYP

APPROVED JOIST TO BEAM CONNECTOR [R507.7]

BEAM PLIES SHALL BE FASTENED WITH (2) ROWS OF 10D NAILS MIN AT 16" O.C. ALONG EACH EDGE [R507.6]

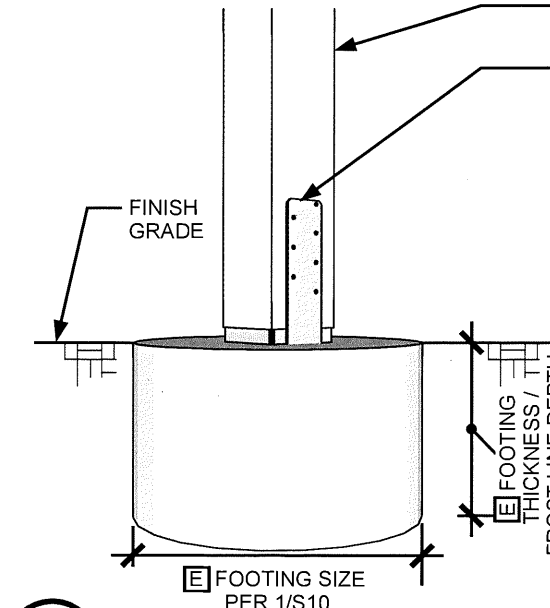
C DECK BEAM PER DETAIL 1/S09

APPROVED BEAM TO POST CONNECTOR [R507.7.1]. SEE DETAIL 3/S06 FOR ALTERNATE CONNECTION

D DECK POST PER DETAIL 2/S09

2 Joist to beam and beam to post connection

S04 NTS



D DECK POST PER DETAIL 2/S09

APPROVED POST TO FOOTING CONNECTOR INSTALLED IN ACCORDANCE WITH MFR'S INSTRUCTIONS [R507.8.1]

FINISH GRADE

E FOOTING SIZE PER 1/S10

NOTE: SEE DETAIL 4/S06 FOR ALTERNATE POST TO FOOTING CONNECTIONS

4 Post to footing connection

S04 NTS

READY-BUILD PLAN PROGRAM

PRESCRIPTIVE DECK

2017 ORSC

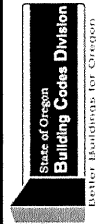
EFFECTIVE
MARCH, 2018

REVISIONS

NO.	DATE

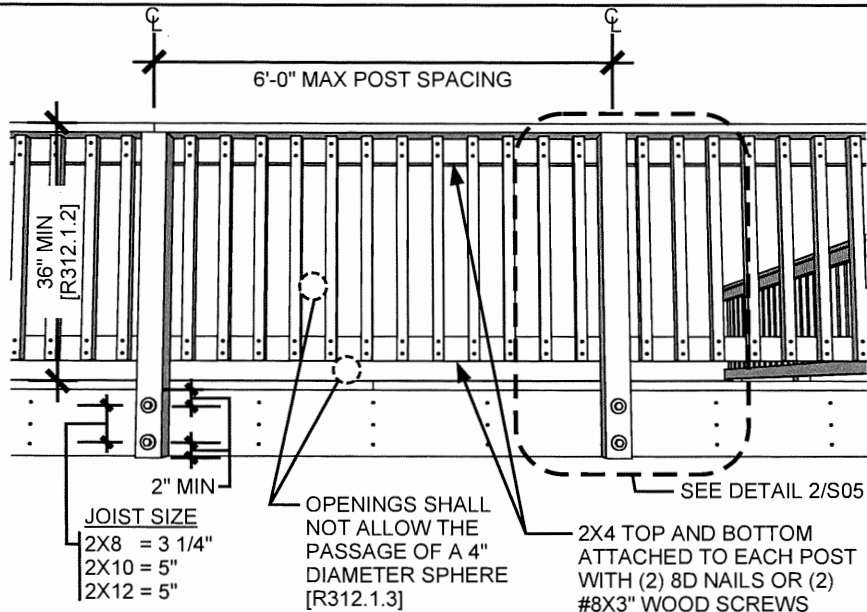
Details

S04

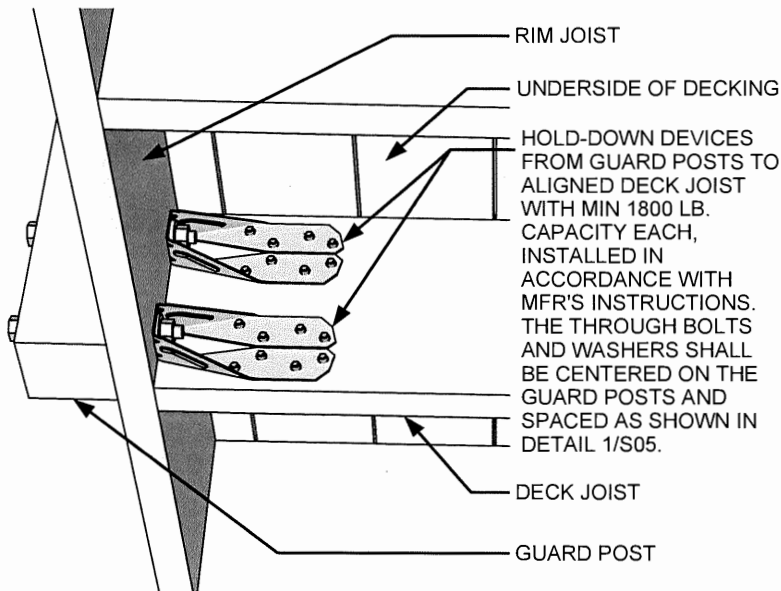


503-378-4133 (main)
bcd.info@oregon.gov

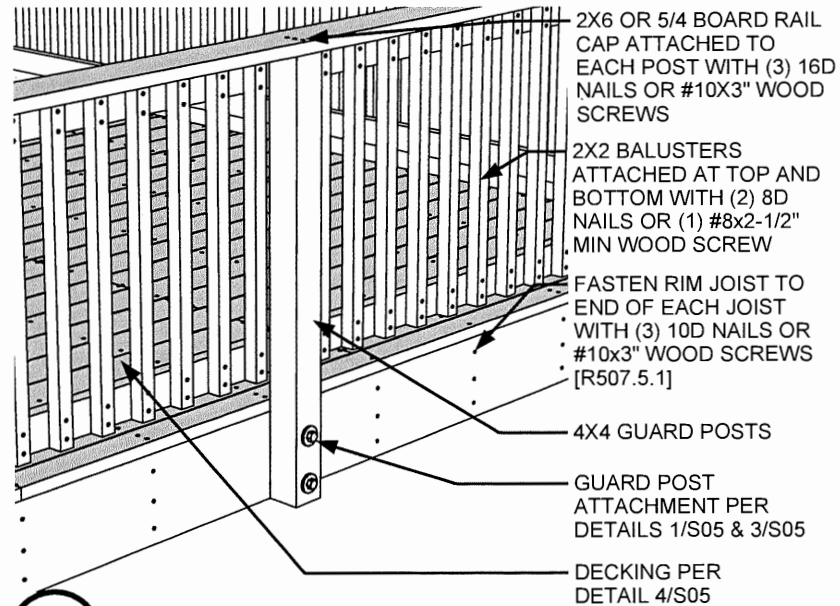
Wells-Clark Deck 16' x 15' 9"



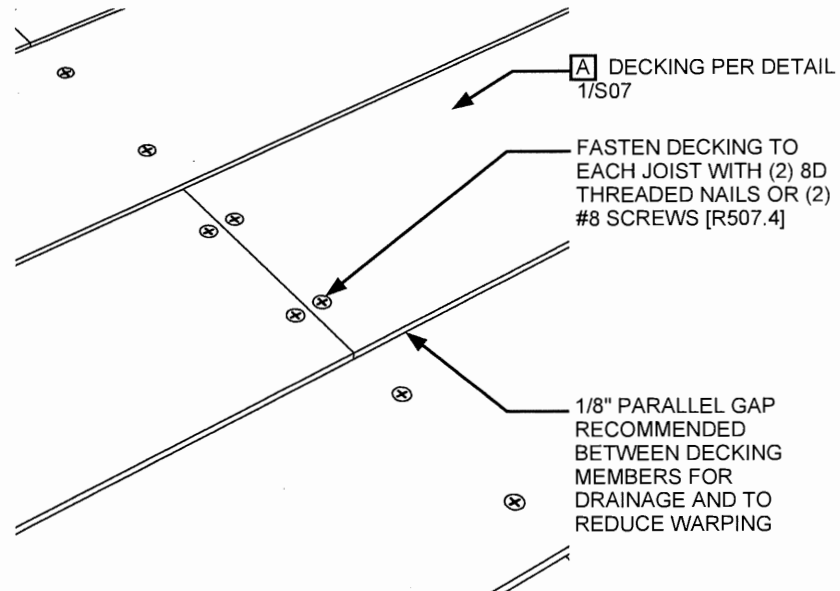
1 Deck guard
S05 NTS



3 Guard post to joist connection
S05 NTS



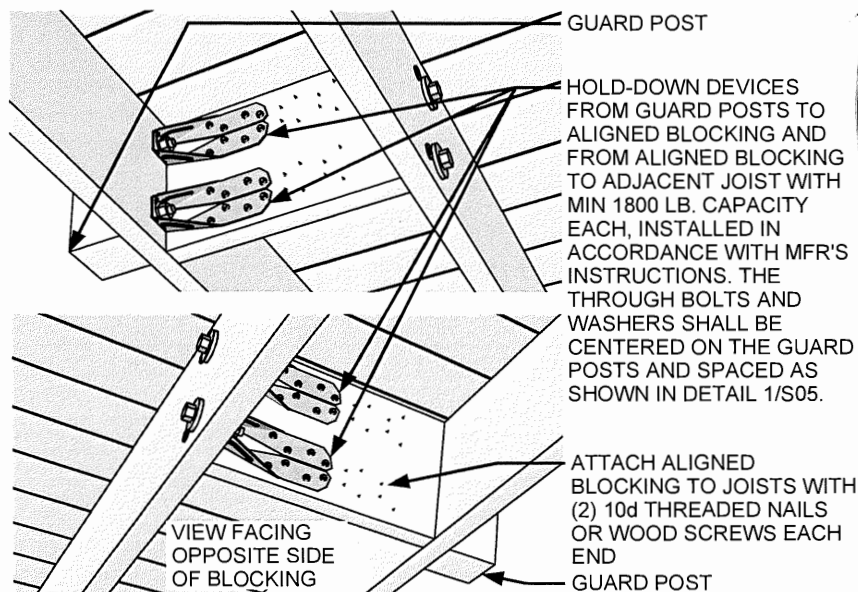
2 Deck guard
S05 NTS



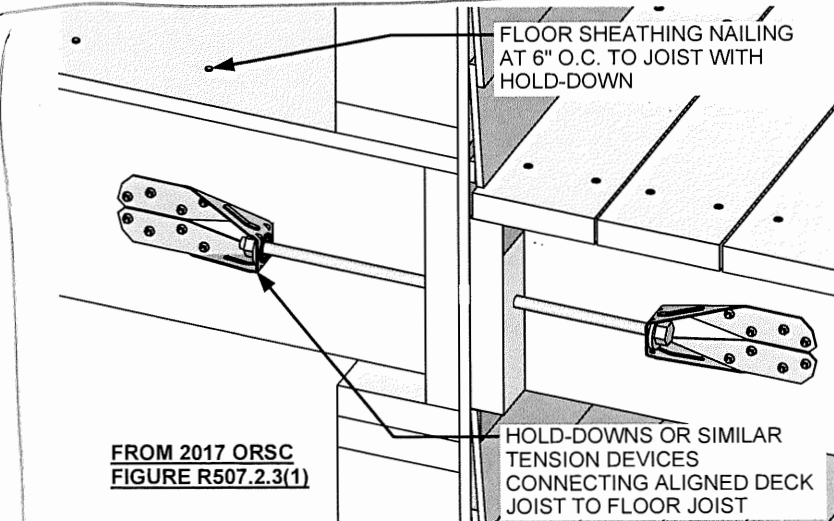
4 Decking connection
S05 NTS

NO.	DATE

Wells Clark Deck 16' x 15'9"



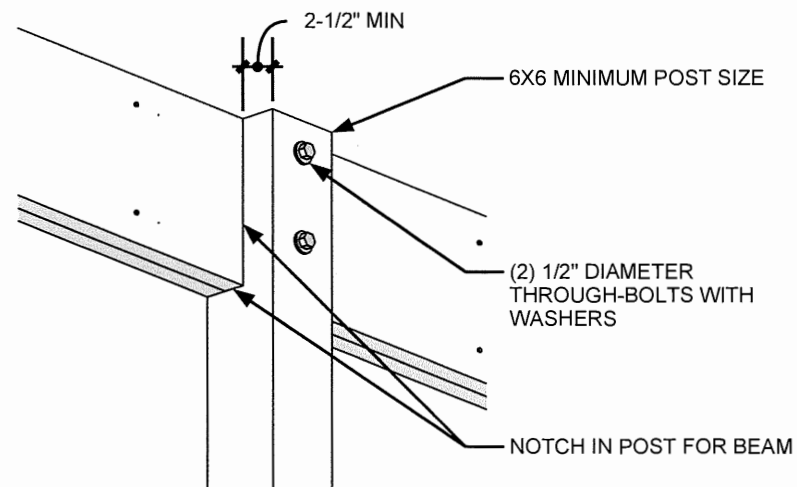
1 Guard post to blocking connection
S06 NTS



FROM 2017 ORSC
FIGURE R507.2.3(1)

NOTE: HOLD-DOWN TENSION DEVICES PER THIS DETAIL SHALL HAVE 1,500 LB. MINIMUM CAPACITY, BE INSTALLED IN NOT LESS THAN TWO LOCATIONS, AND BE WITHIN 24 INCHES OF EACH END OF DECK.

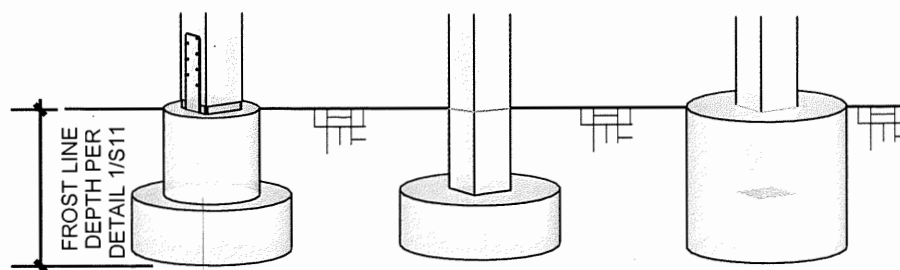
2 Alternate deck attachment for lateral loads
S06 NTS



FROM 2017 ORSC FIGURE R507.7.1

NOTE: ALL BOLTS SHALL HAVE WASHERS UNDER THE HEAD AND NUT.

3 Alternate beam to post connection
S06 NTS



FROM 2017 ORSC FIGURE R507.8.1

NOTE: POSTS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM OF SUPPORT. SUCH RESTRAINT SHALL BE PROVIDED BY MANUFACTURED CONNECTORS INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS OR A MINIMUM POST EMBEDMENT OF 12 INCHES IN SURROUNDING SOILS OR CONCRETE.

4 Alternate post to footing connections
S06 NTS

EFFECTIVE
MARCH, 2018

REVISIONS

NO.	DATE

Details

S06







United States Department of the Interior
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Continuation Sheet

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1910 and 1917 directories listed Elizabeth A. Schanno as Emil's widow still living at 505 West 4th (Polk's, 1917). Emil lived from 1841 to 1901 and Eliza lived 1854 to 1936, and both are buried at St. Peter's Cemetery (Mid-Columbia Genealogical Society, 1983:26).

Leo A. Schanno (1875-1939) was the son of Emil and Elizabeth A. Schanno. Leo attended school in The Dalles, the Wasco Independent Academy, and Mt. Angel College. Leo married Amy Hall in 1905 and the couple had two children, Emile and Delaney. Leo later married Celia LeDu. He was associated with Henry J. Maier in a grocery and hardware business at 312 East 2nd Street until 1922 when he continued to operate his cherry orchard on Sunset Hill. He was The Dalles City Water Commissioner for 16 years and on the city council for a time (McNeal, 1953:64,396; McNeal, 1975:7). The 1925 and 1928 directories listed Leo and Amy as fruit growers who were living at 509 West 4th (Polk's, 1925, 1928).

Delaney Paul Schanno was the son of Leo A. Schanno. Delaney had a cattle and wheat ranch on lower 5 Mile Creek (now 15 Mile Creek) (McNeal, 1953:396).

Emile Schanno was the son of Leo A. Schanno. Emile settled in Tacoma, Washington (McNeal, 1975:7). Deed records show that his wife was Elizabeth F. Schanno (Wasco County Deed Records).

Alma L. Ditter: No biographical information is known at this time.

Auxiliary Building: Carport c.1970 Compatible/Non-Historic/
Non-Contributing

A shed-roof carport in the back yard. The building is unobtrusive in scale and design.

#69	Address: 503 West Third Place	Owner: E. J. & Katherine Wieters
	Historic Name: Maier House	503 West Third Place
	Common Name: NA	The Dalles, OR 97058
	Year Built: c. 1895	Map No: 1N 13 4AA
	Architect: Unknown	Reference No: 4910
	Style: Queen Anne/Eastlake	Plat: Trevitt's Addition
	Use: Residential	Block: NA
	Alterations: None	Lot: NA
	Primary/Contributing	Tax Lot: 700

Description: The one and one-half story building is square in plan and has a front facing gable roof. Large gable dormers project from the east and west elevations. The gable end and dormers are clad with wood

United States Department of the Interior
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shingles. A corbelled chimney is located in the back portion of the roof. Windows are one over one double-hung wood sash windows surrounded by simple wood board trim with a small projecting cornice. A square bay is on the east elevations. Another square bay window projects from the front elevation. The bay is covered with a pent roof. The front porch extends across one-half of the front elevation. The porch displays characteristics of the Eastlake style in its spindled frieze, decorative brackets with circular cut-outs and turned porch posts. A truncated porch hip roof is capped with a low balustrade. Fishscale shingles cover the porch roof. Narrow lap siding clads the lower portion of the house. The siding is finished with cornerboards. A watertable caps the concrete foundation. Horizontal wood siding covers portions of the foundation. The corner lot is sparsely planted, however, two mature deciduous trees and one conifer are located in the west side yard. The house is below street level separated from Third Place by a concrete retaining wall topped with an iron railing. A dirt alley is located in the back (north) of the house. In fair condition, the house has no apparent modifications.

Historical Data: On August 8, 1895 Emile Schanno sold a portion of his land on West Third Place to Josephine Schanno Maier for \$1 (Book X:203). The parcel of land measuring 50' x 100' was carved out of Schanno's parcel. The house was built by Henry and Josephine Maier, (Schanno's daughter and son-in-law) c.1895. The following is a brief biographical sketch of the historic owner of the house:

Henry J. Maier (1862-1922) married Josephine A. Schanno on November 14, 1892, in Wasco County (Mid-Columbia Genealogical Society, 1983:26). Henry was listed in the 1917 directory as working at Maier & Schanno, a hardware, groceries, plumbing, and fuel business at 309 East 2nd. In that year he lived with his wife Josephine at 503 West 4th. The 1928 directory listed Henry as working at the Lighthouse, a gas and oil company at 900 East 2nd, and he and Josephine still lived at the same house (Polk's, 1917, 1928). Josephine was born in 1873. She was the daughter of Emil and Elizabeth Schanno who moved from New York to The Dalles in 1861. Her brother Leo joined Henry Maier in the retail business. Her son Harold Maier was a clothing store merchant (Maier & Krier) and her grandson Henry was a real estate broker (McNeal, 1975). Henry died in 1922, and Josephine in 1948; both are buried at St. Peter's Cemetery (Mid-Columbia Genealogical Society, 1983:26).

Auxiliary Building: None



**STAFF REPORT
HISTORIC LANDMARKS REVIEW
#200-22**

TO: The Dalles Historic Landmarks Commission

FROM: Dawn Marie Hert, Senior Planner

HEARING DATE: Wednesday, March 30, 2022

ISSUE: The Dalles Main Street along with the Walldogs are requesting approval to paint a mural on the north-facing wall of 119 E. Second Street.

SYNOPSIS:

APPLICANTS	The Dalles Main Street/Walldogs
PROPERTY OWNER	Howe Properties, LLC
LOCATION	119 E. Second Street, The Dalles, OR 97058
ZONING	“CBC-1” – Central Business Commercial, The Dalles Commercial Historic District
EXISTING USE	Mixed Use Commercial, Retail, Service and Professional Offices
SURROUNDING USE	Commercial
HISTORIC STATUS	Classified as Compatible, Non-Contributing in The Dalles Commercial Historic District

NOTIFICATION: Published advertisement in local newspaper; notification to property owners within 100 feet, State Historic Preservation Office (SHPO).

RECOMMENDATION: Approval, with conditions, based on the following findings of fact.

BACKGROUND: The historic name of this structure is Pacific Power and Light, more commonly known as the Rose Building. The structure, built in 1954, is classified as a Compatible, Non-Contributing structure located in The Dalles Commercial Historic District. The building style is Moderne.

The building is a two and a half story, poured concrete structure with a painted stucco exterior and a flat roof. Minor modifications have occurred over the years to the storefronts. The applicants are requesting approval to place a 31' wide by 19' tall mural, painted by the Walldogs, on the north-facing wall. The current stucco façade of the building is painted. At this time, designs have not been determined for the location, but will include local historic events and people and will be similar in style to the two Walldogs "teaser murals" completed in our community. This mural will be part of the upcoming Wall Dogs event set for August 2022.

ANALYSIS: The Historic Landmarks Commission is responsible for conducting hearings dealing with proposed alterations to historic buildings. The Dalles Municipal Code, Title 11 Planning, Chapter 11.12 – Historic Resources provides process as well as established design guidelines to assist the Commission in making these decisions. The purpose of the Historic Landmarks Commission, the Historic Code and the review criteria are to:

- *Protect historic and cultural resources from destruction, inappropriate alteration, and incompatible adjacent development;*
- *Stabilize and improve property values in historic districts and citywide;*
- *Enhance the city's attractiveness to visitors and residents, and stimulate business, industry and tourism;*
- *Educate The Dalles' citizens and visitors concerning the city's heritage;*
- *Preserve the historic housing stock of The Dalles;*
- *Comply with The Dalles comprehensive Plan regarding historic resources under Statewide Planning Goal 5.*

A. THE DALLEs MUNICIPAL CODE – TITLE 11.12 – HISTORIC RESOURCES – CODE RELATING TO HISTORIC RESOURCES WITHIN THE CITY OF THE DALLEs.

Section 11.12.070, Subsection A. Review Criteria:

3. "Secretary's Standards. Commission decisions shall be based on the Secretary of the Interior's Guidelines for the Treatment of Historic Properties." The following are pertinent standards from the "Guide".

1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

FINDING A1: There are no plans for modifications to the existing use of this building. The current use is the same as the historic use of the property. Criterion does not apply.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations to features and spaces that characterize a property shall be avoided.

FINDING A2: The proposed mural will not remove any elements of the building. Care shall to be taken with the mural painting. Criterion will be addressed as a condition of approval.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

FINDING A3: This property is recognized as a physical record of its time. This mural will not create a false sense of historic development. Criterion does not apply.

4. *Changes to a property that have acquired historic significance in their own right shall be retained and preserved.*

FINDING A4: No such changes are proposed with this application. Criterion met.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

FINDING A5: This proposal does not seek to alter any of the above. All distinctive features and finishes will remain. This chosen location is a blank wall with no architectural features. Criterion met.

6. *Deteriorating historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.*

FINDING A6: This proposal does not seek to remove or replace any deteriorating features with this application request. All features and finishes will remain. Criterion does not apply.

7. *Chemical or physical treatments, such as sandblasting that cause damage to historic materials, shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

FINDING A7: The applicant is not proposing any chemical or physical treatments. Any planned cleanings prior to painting of the mural will be required to meet the standards set forth by the Secretary of Interior. Criterion will be addressed as a condition of approval.

8. *Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

FINDING A8: No excavation or ground disturbance is indicated in this application. Therefore, this criterion does not apply.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

FINDING A9: Exterior alterations to the historic structure will be required to follow the historic design guidelines. The mural will be required to be compatible in massing and size of the project. Criterion will be addressed as a condition of approval.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

FINDING A10: The essential form and integrity of the structure will be protected with the mural project. There are no plans to remove historic materials, only painting the mural on the north-facing wall of the building. Criterion met.

B. THE DALLAS MUNICIPAL CODE – TITLE 11.12.095 – HISTORIC RESOURCES – CODE RELATING TO DESIGN GUIDELINES FOR HISTORIC RESOURCES.

SIGNS

Signs should not be the dominant feature of a building or site, yet they are a key component in identifying businesses and contributing to the livelihood of the street with their individuality. New construction and rehabilitation should maintain a system in which signs identifying businesses are visible to both pedestrian and automobile traffic without detracting from the architecture or overpowering the streetscape.

GUIDELINES:

- a) Wall signs, window signs, canopy and projecting signs attached to buildings should be compatible in scale, without obscuring the architectural features.*
- b) Window signs should be at eye level to entice the pedestrian.*
- c) The window background should be treated as if it is a black surface in order for a painted sign to be readable.*
- d) The use of gold leaf window signs at an appropriate scale is recommended.*
- e) Hanging signs using front lighting are recommended.*
- f) Historic product signs painted on building sides should be preserved when possible, as they contribute to the character of the commercial area.*
- g) The use of historic photographs for reference is recommended.*
- h) Murals are not recommended on primary, secondary, and historic buildings as they lessen the integrity of the architecture and damage the building surface.*
- i) Free standing sign faces are not recommended.*
- j) Plastic sign faces are not recommended.*
- k) Can signs are not recommended.*

FINDING B1: The building is classified as a compatible, non-contributing historic building. The applicant will need to obtain an approved sign permit prior to installation/painting of the mural. Criterion will be addressed as a condition of approval.

CONCLUSIONS: In all respects this application meets the standards of the Secretary of the Interior and The Dallas Municipal Code, Title 11-12 Historic Resources with the following conditions:

Proposed Conditions of Approval:

- 1. Work will be completed in substantial conformance to the proposals as submitted and reviewed.
- 2. The applicant will be required to obtain an approved sign permit from the Community Development Department prior to the mural installation/painting.
- 3. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of the structure, if appropriate, shall be undertaken using the gentlest means possible.
- 4. The alteration/addition of the mural to the structure will be required to follow the historic design guidelines. The mural will be required to be compatible in massing and size of the building; care shall be taken with the painting.



City of The Dalles
Community Development Dept
313 Court Street
The Dalles, OR 97058
(541) 296-5481, ext. 1125
www.thedalles.org

Application #: HLC 200-21
Filing Fee: Waived by Council
Receipt #: N/A
Deemed Complete: 3/04/2022
Ready to Issue: _____
Date Issued: _____

Received: 3/04/2022

Historic Landmarks Application

This application is required for all new construction, modifications, and/or alterations to the exterior of certified historic structures and all structures within certified historic districts and reviewed by the City of The Dalles' Historic Landmarks Commission. The review criteria for each application are the Secretary of the Interior's Standards. These standards have been adopted by The Dalles Municipal Code Chapter 11.12 Historic Resources as local review criteria.

Applicant

Name: The Dalles Mainstreet / Walldogs
Address: 710 East 2nd Street #3
The Dalles, Oregon 97058
Phone #: (541)296-9684
Email: czukin@meadowoutdoor.com

Legal Owner (if different than Applicant)

Name: : ai VBcabWId >>5
Address: #%# : WL [feI Sk
FZV6S^WAD +) "' *
Phone #: _____
Email: .

Property Information

Address: 119 E. Second Street, The Dalles, OR 97058
Zone: CBC - Central Business Commercial

Map and Tax Lot: 01N 13E 03BA TL# 1900

Current Use: Commercial Retail Business and Office Space

List any known archeological resources on site:

Unknown and not applicable.

Department Use Only

Historic Name (if any): Pacific Power & Light, commonly knows as "Barons" and the "Rose Building"
Year(s) Built: 1954 Historic Building/Site: ☒ Yes ☐ No
Historic Classification: Compatible, Non-Contributing
Historic District: ☐ Trevitt's Addition ☒ Downtown Commercial

Project Information

☐ New Construction ☒ Expansion/Alteration ☐ Demolition ☐ Landmark Designation

Briefly describe the proposed project:

The Dalles Mainstreet/Walldogs Committee would like the Walldogs to paint a historic mural on the north facing alley wall of this building. The Walldogs are a group of highly skilled sign painters and mural artists from all over the globe. The Walldogs will create a beautiful, handcrafted and professionally painted mural with images of The Dalles places, people, and products that have historic significance to our town. The wall will be prepped and painted in a most professional manner that will not damage the building in any way.

Will the use change as a result of this application?

☐ Yes

☒ No

Please submit the following information with this application:

- ☒ Narrative #1: Description of the project consistent with the Secretary of Interior's Standards for Rehabilitation (page ?)
- ☐ Narrative #2: Explanation of the project consistent with the associated project type (pages ?):
 - ☐ Landmark Designation (#2-A)
 - ☒ Alterations/New Construction/Relocation (#2-B)
 - ☐ Demolition (#2-C)
- ☐ Narrative #3: Description of the project consistent with the associated district design standards: New Construction and Alteration (page ?)
 - ☒ The Dalles Commercial Historic District (#3-A)
 - ☐ Trevitt's Addition (#3-B)
- ☒ Narrative #4, Signs (if applicable): Description of the project consistent with the associated historic sign guideline criteria (page ?)
- ☒ Elevation drawings (existing vs. proposed)
- ☒ Current color photographs of the structure and/or site
- ☐ List of all proposed materials/colors (product brochures recommended)
- ☐ Site Plan (drawn to scale)
- ☐ Historic photographs/documentation of the structure and/or site (encouraged)
- ☐ Copy of all associated Historic Inventory information

Signature of Applicant

John Lehman
John Lehman

3/2/2022

3-2-2022 Date

2/11

Signature of Property Owner

SEE ATTACHED SIGNED
WALL OWNER MURAL AGREEMENT

Date

Historic Landmarks Application – Narratives

Building Owner: Howe Properties, LLC – Rose Building, North Alley Wall

The City of The Dalles, The Dalles Mainstreet and the Walldogs Committee is preparing for a very exciting historic mural festival, scheduled to take place in August of 2022. Fifteen (15) walls will be chosen and painted with historic murals during this exciting event. The painting of these murals will be done by a group of professional painters called The Walldogs. The Walldogs are a group of highly skilled, professional sign painters and mural artists from all over the globe. During the week of August 20, 2022, some 250 Walldogs painters will converge on our fair city to create beautiful, handcrafted and professionally painted murals with images of The Dalles area people, places and products that have historic significance to our town. The murals will all be completed within a five (5) day period. This wonderful event is designed to bring our community together and to bolster tourism into the future.

There are already two (2) examples of the Walldogs murals painted downtown on building walls along 3rd Street. Blanche McGaughey, pro rodeo rider mural is painted on the east facing wall of 207 West 3rd Street and World Famous Cherries mural is painted on the east facing wall of 103 East 3rd Street (see Exhibit “A” for photos of these new murals). Please check out these two murals to see examples of the beautiful work that the Walldogs have instore for us in August 2022!

Narrative #1: Secretary of the Interior’s Standards for Rehabilitation (11.12.095, D)

The building which is the subject of this application (Howe Properties, LLC - Rose Building) is located in The Dalles Commercial Historic district and is classified as Compatible, Non-Contributing. This means that the building was built during the period of significance for the historic district (late 1800- 1920’s) and is of the correct vintage (Compatible) but the building no longer has many of its original features or has been completely modified (Non-Contributing). The only purpose for this project is to paint a historic mural on the north alley wall of this building. No other changes or modifications will be made to the structure. The building architecture will not change in any way and the use will remain unchanged.

The subject wall for this application is located on the north side of the building that faces the alley at the address 119 East Second Street in The Dalles. The section of north wall being considered for this application measures approximately 19’ tall and 31’ wide. The area of the wall that might be used for a mural is marked on a photo contained in this narrative (see attached Exhibit “B”). The building wall is constructed of reinforced concrete which was painted off-white at some time in the past. The mural will be painted directly onto the painted concrete in the area shown. Warm water and a mild surfactant will be used to remove any foreign materials, such as oils or dirt, that would keep the mural paint from adhering. **NO SANDBLASTING WILL BE USED ON ANY OF THE BUILDINGS, INCLUDING THIS ONE.** Cleaning of the building will only be done by the gentlest means possible that will not damage the wall material in any way. Once clean, the wall will be allowed to dry, will be painted with an appropriate primer, will have artwork outlines projected at night onto the primed wall, and then the mural will be painted in its entirety.

The standards have been carefully reviewed and all applicable standards for rehabilitation by the Secretary of the Interior have been met.

Narrative #2-B: Alterations, New Construction, Relocations (11.12.070)

This mural project will not involve any new construction or relocation of the building or parts of the building in any way. The mural added to the north alley wall will be the only alteration to the building. No brackets or architectural features will be affected or changed in any way by the new mural.

The 19' tall by 31' wide area is the only portion of the wall that will be painted with a mural. Currently, the concrete is painted off-white which will not change. No sandblasting will be used for preparation of this wall for painting. Only the most gentle methods of cleaning will be used for removing dirt, debris and grease or oils. As stated previously, only a very mild surfactant may be used to remove foreign materials such as dirt and grease, to make sure the paints adhere properly. Once clean, the wall can be primed and painted with the final mural artwork.

Narrative #3-A: Design Guidelines: The Dalles Commercial Historic District (11.12.095, F-N)

The design guidelines in this section stress that "The Dalles' downtown is a pedestrian friendly environment" and that "rehabilitation should contribute in making downtown The Dalles an inhabitable place that is pleasant for walking". The Walldogs murals will add to this pedestrian friendly environment by giving pedestrians interesting historic murals to seek out and enjoy, while at the same time, learning about The Dalles' rich and diverse history. Once the murals have all been painted, a map will be created that will lead pedestrians, both tourists and local residents, into and through our Historic Downtown to discover the different historical paintings. This mural, as well as all the other Walldogs murals, will only add to the historic value of our downtown buildings.

Again, sandblasting of bricks or block walls will not be used. It is strictly prohibited in this section, as well.

Narrative #4: Sign Guidelines (11.12.095, O)

This section stresses that "**signs should not be the dominant feature of a building** or site, yet they are a **key component to** identifying businesses and **contributing to the livelihood of the street with their individuality.**" This wall mural will not be the dominant feature of the building. The 19' x 31' section of the north wall is a very small portion of the total face area of this entire building (again, see Exhibit "B" for view of wall). A historic wall mural will only add to the historic nature of our downtown by educating tourists and local residents about The Dalles' rich history. This mural will only add to the livelihood of our downtown streetscape and will attract tourists.

Guideline 2.h. Murals are not recommended on primary, secondary, and historic buildings as they lessen the integrity of the architecture and damage the building surface.

As stated at the beginning of this narrative, this building is located in The Dalles Commercial Historic district and is classified as Compatible, Non-Contributing. This means that the building was built during the period of significance for the historic district (late 1800- 1920's) but the building no longer has many of its original features or has been completely modified. There are no real outstanding architectural features that would be lessened by a mural in this location. Since the building is already painted white, a mural painted over the existing paint will not damage the building reinforced concrete surface. This building is not a primary, secondary, or historic building which means a mural could clearly be supported and approved for this building.

Exhibit "A"
Walldogs Mural Examples



207 West 3rd Street
Oregon Motor Motel Parking Lot



103 East 3rd Street
The Dalles City Hall Parking Lot

Exhibit "B"
Howe Properties, LLC – Rose Building North Wall Dimensions



**Howe Properties, LLC – Rose Building
North Facing Alley Wall**

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McCoy Motor Co. The motor company owned the garage until the property was sold to Ward Webber in 1945. The building is currently use as an auto body shop and retail shops (1997).

#75 HISTORIC NAME: Pacific Power and Light

COMMON NAME: Barons

ADDRESS: 115-121 East Second Street

RESOURCE TYPE: Building

OWNER'S NAME AND ADDRESS:

Second and Court Association

c/o John Howe

200 E. 12th

The Dalles, Oregon 97058

ASSESSOR'S MAP: 1N-13E-3BA BLOCK: 4 LOT: 5 TAX LOT: 1900

ADDITION: Original Dalles City

YEAR BUILT: 1954

ALTERATIONS: Minor; storefronts

STYLE: Moderne

USE: Retail

PREVIOUS HISTORIC LISTING: None

CLASSIFICATION: Compatible Non-Contributing

PHYSICAL DESCRIPTION: This two and one-half story, poured concrete building has a painted stucco exterior finish with a flat roof. The original strip metal sash windows are intact on the second floor and are divided into three operating units per window; side-by-side opposite opening casement windows above and hopper windows below. The windows make a continuous band of windows on the second floor.

A rounded corner metal canopy, supported by a metal pole at the corner, extends over the first floor storefronts on the south elevation. Some of the windows have been replaced with aluminum windows. The two storefront doors on the west side of the front (west) elevation have the transoms enclosed. A door with sidelights on the eastern side of the front elevation leads to the upstairs offices. The ground floor window pattern on the east elevation has been altered. The building is in good condition.

HISTORICAL DATA: This building was built in 1954 by Mid-State Construction. Pacific Power and Light Company purchased the site for

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the new building in 1952. The power company maintained their offices in the building for many years.

#76 HISTORIC NAME: Schanno Building
COMMON NAME: American Legion Building
ADDRESS: 201-205 East Second Street
RESOURCE TYPE: Building
OWNER'S NAME AND ADDRESS:
c/o American Legion The Dalles Post #19
P.O. Box 459
The Dalles, Ore. 97058
ASSESSOR'S MAP: 1N-13E-3BD BLOCK: 3 LOT: S 1/2 Pt. 10 TAX LOT: 3900
ADDITION: Original Dalles City
YEAR BUILT: c. 1892, c. 1915
ALTERATIONS: Moderate
STYLE: Italianate
USE: Meeting hall; ground floor retail.
PREVIOUS HISTORIC LISTING: Oregon Historic Inventory (1984-85)
CLASSIFICATION: Secondary

PHYSICAL DESCRIPTION: The Schanno Building is a two-story brick building with basement, and a masonry foundation. The building measures 60'x 70' and is rectangular in plan. The roof is flat and has a short parapet wall with built-up coping. Corbelled chimneys cap the roof. The projecting cornice is supported by decorative modillions. A wide frieze extends around the sides of the building. The one over one double-hung wood sash second floor windows are capped with segmental arches. Raised quoins define the corners of the building. A corbelled stringcourse separates the first and second stories.

The building was extensively remodeled c. 1915 by the application of a concrete over the brick on the second floor. The stucco cladding was scored to look like ashlar stone blocks. Cast-iron pilaster can still be seen on the west and south elevations (some of the cast iron has been removed due to later alterations). The transoms on the front (south) elevation have been boarded over and the storefronts altered. The stairs to the basement and a door to the upstairs are located on the west elevation. With the exception of the extensive ground floor alterations, the building is in fair-good condition.



**STAFF REPORT
HISTORIC LANDMARKS REVIEW
#201-22**

TO: The Dalles Historic Landmarks Commission

FROM: Dawn Marie Hert, Senior Planner

HEARING DATE: Wednesday, March 30, 2022

ISSUE: The Dalles Main Street along with the Walldogs are requesting approval to paint a mural on the north-facing wall of 122 E. Second Street.

SYNOPSIS:

APPLICANTS	The Dalles Main Street/Walldogs
PROPERTY OWNER	Matthews Building, LLC
LOCATION	122 E. Second Street, The Dalles, OR 97058
ZONING	“CBC-1” – Central Business Commercial, The Dalles Commercial Historic District
EXISTING USE	Mixed Use Commercial, Service and Professional Offices
SURROUNDING USE	Commercial
HISTORIC STATUS	Classified as Non-Compatible, Non-Contributing in The Dalles Commercial Historic District

NOTIFICATION: Published advertisement in local newspaper; notification to property owners within 100 feet, State Historic Preservation Office (SHPO).

RECOMMENDATION: Approval, with conditions, based on the following findings of fact.

BACKGROUND: The historic name of this structure is not known, it is more commonly known as the Windemere Real Estate Building. The structure was built circa 1920 and is classified as a Non-Compatible, Non-Contributing structure located in The Dalles Commercial Historic District. The building has major alterations that have occurred over the years.

The building is one story, constructed of brick and the roof is flat. Originally the building housed a variety of businesses. In 1926, the tenants included a drugstore, a confectionary, a florist, offices and an electrical supply shop.

The applicants are requesting approval to place a 24' wide by 15' tall mural, painted by the Walldogs, on the south-facing wall. The current brick façade of the building is not painted. At this time the design has not been determined for the location, but will be similar to the two other Walldogs "teaser murals" completed in our community and will include local historic events and people. This mural will be part of the upcoming Wall Dogs event set for August 2022.

ANALYSIS: The Historic Landmarks Commission is responsible for conducting hearings dealing with proposed alterations to historic buildings. The Dalles Municipal Code, Title 11 Planning, Chapter 11.12 – Historic Resources provides process as well as established design guidelines to assist the Commission in making these decisions. The purpose of the Historic Landmarks Commission, the Historic Code and the review criteria are to:

- *Protect historic and cultural resources from destruction, inappropriate alteration, and incompatible adjacent development;*
- *Stabilize and improve property values in historic districts and citywide;*
- *Enhance the city's attractiveness to visitors and residents, and stimulate business, industry and tourism;*
- *Educate The Dalles' citizens and visitors concerning the city's heritage;*
- *Preserve the historic housing stock of The Dalles;*
- *Comply with The Dalles comprehensive Plan regarding historic resources under Statewide Planning Goal 5.*

A. THE DALLEs MUNICIPAL CODE – TITLE 11.12 – HISTORIC RESOURCES – CODE RELATING TO HISTORIC RESOURCES WITHIN THE CITY OF THE DALLEs.

Section 11.12.070, Subsection A. Review Criteria:

3. "Secretary's Standards. Commission decisions shall be based on the Secretary of the Interior's Guidelines for the Treatment of Historic Properties." The following are pertinent standards from the "Guide".

1. *A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

FINDING A1: There are no plans for modifications to the existing use of this building. The current use is the same as the historic use of the property. Criterion does not apply.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alterations to features and spaces that characterize a property shall be avoided.*

FINDING A2: The proposed mural will not remove any elements of the building. Care shall be taken with the mural painting. Criterion will be addressed as a condition of approval.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

FINDING A3: This property is recognized as a physical record of its time. This mural will not create a false sense of historic development. Criterion does not apply.

4. *Changes to a property that have acquired historic significance in their own right shall be retained and preserved.*

FINDING A4: No such changes are proposed with this application. Criterion met.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

FINDING A5: This proposal does not seek to alter any of the above. All distinctive features and finishes will remain. This chosen location is a blank wall with no architectural features. Criterion met.

6. *Deteriorating historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.*

FINDING A6: This proposal does not seek to remove or replace any deteriorating features with this application request. All features and finishes will remain. Criterion does not apply.

7. *Chemical or physical treatments, such as sandblasting that cause damage to historic materials, shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

FINDING A7: The applicant is not proposing any chemical or physical treatments. Any planned cleanings prior to painting of the mural will be required to meet the standards set forth by the Secretary of Interior. Criterion will be addressed as a condition of approval.

8. *Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

FINDING A8: No excavation or ground disturbance is indicated in this application. Therefore, this criterion does not apply.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

FINDING A9: Exterior alterations to the historic structure will be required to follow the historic design guidelines. The mural will be required to be compatible in massing and size of the project. Criterion will be addressed as a condition of approval.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

FINDING A10: The essential form and integrity of the structure will be protected with the mural project. There are no plans to remove historic materials, only painting the mural on the south-facing wall of the building. Criterion met.

B. THE DALLES MUNICIPAL CODE – TITLE 11.12.095 – HISTORIC RESOURCES – CODE RELATING TO DESIGN GUIDELINES FOR HISTORIC RESOURCES.

SIGNS

Signs should not be the dominant feature of a building or site, yet they are a key component in identifying businesses and contributing to the livelihood of the street with their individuality. New construction and rehabilitation should maintain a system in which signs identifying businesses are visible to both pedestrian and automobile traffic without detracting from the architecture or overpowering the streetscape.

GUIDELINES:

- a) *Wall signs, window signs, canopy and projecting signs attached to buildings should be compatible in scale, without obscuring the architectural features.*
- b) *Window signs should be at eye level to entice the pedestrian.*
- c) *The window background should be treated as if it is a black surface in order for a painted sign to be readable.*
- d) *The use of gold leaf window signs at an appropriate scale is recommended.*
- e) *Hanging signs using front lighting are recommended.*
- f) *Historic product signs painted on building sides should be preserved when possible, as they contribute to the character of the commercial area.*
- g) *The use of historic photographs for reference is recommended.*
- h) *Murals are not recommended on primary, secondary, and historic buildings as they lessen the integrity of the architecture and damage the building surface.*
- i) *Free standing sign faces are not recommended.*
- j) *Plastic sign faces are not recommended.*
- k) *Can signs are not recommended.*

FINDING B1: The building is classified as a non-compatible, non-contributing building. The applicant will need to obtain an approved sign permit prior to installation/painting of the mural. Criterion will be addressed as a condition of approval.

CONCLUSIONS: In all respects this application meets the standards of the Secretary of the Interior and The Dalles Municipal Code, Title 11-12 Historic Resources with the following conditions:

Proposed Conditions of Approval:

1. Work will be completed in substantial conformance to the proposals as submitted and reviewed.
2. The applicant will be required to obtain an approved sign permit from the Community Development Department prior to the mural installation/painting.

3. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of the structure, if appropriate, shall be undertaken using the gentlest means possible.
4. The alteration/addition of the mural to the structure will be required to follow the historic design guidelines. The mural will be required to be compatible in massing and size of the building; care shall be taken with the painting.



City of The Dalles
Community Development Dept
313 Court Street
The Dalles, OR 97058
(541) 296-5481, ext. 1125
www.thedalles.org

Application #: HLC #201-22
Filing Fee: Waived by City Council
Receipt #: N/A
Deemed Complete: 3/04/2022
Ready to Issue: _____
Date Issued: _____

Received: 3/04/2022

Historic Landmarks Application

This application is required for all new construction, modifications, and/or alterations to the exterior of certified historic structures and all structures within certified historic districts and reviewed by the City of The Dalles' Historic Landmarks Commission. The review criteria for each application are the Secretary of the Interior's Standards. These standards have been adopted by The Dalles Municipal Code Chapter 11.12 Historic Resources as local review criteria.

Applicant

Name: The Dalles Mainstreet / Walldogs
Address: 710 East 2nd Street #3
The Dalles, Oregon 97058
Phone #: (541)296-9684
Email: czukin@meadowoutdoor.com

Legal Owner (if different than Applicant)

Name: Matthews Building, LLC
Address: PO Box 939
The Dalles, OR 97058
Phone #: _____
Email: _____

Property Information

Address: 122 E. Second Street, The Dalles, OR 97058 Map and Tax Lot: 01N 13E 03BD TL# 4100
Zone: CBC - Central Business Commercial
Current Use: Windermere and Mary's A-1 Tax Service

List any known archeological resources on site:
Unknown and not applicable.

Department Use Only

Historic Name (if any): None, commonly known as "IKON" building and "Matthews" building
Year(s) Built: 1920 Historic Building/Site: ☒ Yes ☐ No
Historic Classification: Non-compatible, non-contributing
Historic District: ☐ Trevitt's Addition ☒ Downtown Commercial

Project Information

☐ New Construction ☒ Expansion/Alteration ☐ Demolition ☐ Landmark Designation

Briefly describe the proposed project:

The Dalles Mainstreet/Walldogs Committee would like the Walldogs to paint a historic mural on the east facing and south alley wall of this building. The Walldogs are a group of highly skilled sign painters and mural artists from all over the globe. The Walldogs will create a beautiful, handcrafted and professionally painted mural with images of The Dalles places, people, and products that have historic significance to our town. The wall will be prepped and painted in a most professional manner that will not damage the building in any way.

Will the use change as a result of this application?

☐ Yes

☒ No

Please submit the following information with this application:

- ☒ Narrative #1: Description of the project consistent with the Secretary of Interior's Standards for Rehabilitation (page ?)
- ☐ Narrative #2: Explanation of the project consistent with the associated project type (pages ?):
 - ☐ Landmark Designation (#2-A)
 - ☒ Alterations/New Construction/Relocation (#2-B)
 - ☐ Demolition (#2-C)
- ☐ Narrative #3: Description of the project consistent with the associated district design standards: New Construction and Alteration (page ?)
 - ☒ The Dalles Commercial Historic District (#3-A)
 - ☐ Trevitt's Addition (#3-B)
- ☒ Narrative #4, Signs (if applicable): Description of the project consistent with the associated historic sign guideline criteria (page ?)
- ☒ Elevation drawings (existing vs. proposed)
- ☒ Current color photographs of the structure and/or site
- ☐ List of all proposed materials/colors (product brochures recommended)
- ☐ Site Plan (drawn to scale)
- ☐ Historic photographs/documentation of the structure and/or site (encouraged)
- ☐ Copy of all associated Historic Inventory information

Signature of Applicant

Signature of Property Owner

John Lehman

3-4-2022

Date

2/11

SEE SIGNED ATTACHED

PROPERTY OWNER AGREEMENT

Date

Historic Landmarks Application – Narratives

Building Owner: Matthews Building, LLC – A-1 Tax South Alley Wall

The City of The Dalles, The Dalles Mainstreet and the Walldogs Committee is preparing for a very exciting historic mural festival, scheduled to take place in August of 2022. Fifteen (15) walls will be chosen and painted with historic murals during this exciting event. The painting of these murals will be done by a group of professional painters called The Walldogs. The Walldogs are a group of highly skilled, professional sign painters and mural artists from all over the globe. During the week of August 20, 2022, some 250 Walldogs painters will converge on our fair city to create beautiful, handcrafted and professionally painted murals with images of The Dalles area people, places and products that have historic significance to our town. The murals will all be completed within a five (5) day period. This wonderful event is designed to bring our community together and to bolster tourism into the future.

There are already two (2) examples of the Walldogs murals painted downtown on building walls along 3rd Street. Blanche McGaughey, pro rodeo rider mural is painted on the east facing wall of 207 West 3rd Street and World Famous Cherries mural is painted on the east facing wall of 103 East 3rd Street (see Exhibit “A” for photos of these new murals). Please check out these two murals to see examples of the beautiful work that the Walldogs have instore for us in August 2022!

Narrative #1: Secretary of the Interior’s Standards for Rehabilitation (11.12.095, D)

The building which is the subject of this application (Matthews Building – A-1 Tax) is located in The Dalles Commercial Historic district and is classified as Non-Compatible, Non-Contributing. This means that the building was built later than the period of significance for the historic district (late 1800- 1920’s) and is not of the correct vintage (Non-Compatible) and the building no longer has many of its original features or has been completely modified (Non-Contributing). The only purpose for this project is to paint a historic mural on a small portion of the south alley wall of this building. No other changes or modifications will be made to the structure. The building architecture will not change in any way, and the use will remain unchanged.

The subject wall for this application is located on the east end of the building, facing south (alley) at the building address 122 E. Second Street in The Dalles. The section of south alley wall being considered for this application measures approximately 15’ tall and 24’ wide. The area proposed for painting a mural is marked with a green dashed line on the attached building wall photo (see attached Exhibit “B”). The wall is constructed of a light tan colored brick. The mural will be painted directly onto the brick in the area shown or a clear coat will be applied prior to painting, depending on the current condition of the bricks. The area that is actually painted will depend on the future mural design layout. Warm water and a mild surfactant will be used to remove any foreign materials, such as oils or dirt, that would keep the mural paint from adhering. **NO SANDBLASTING WILL BE USED ON ANY OF THE BUILDINGS INCLUDING THIS ONE.** Cleaning of the building will only be done by the gentlest means possible that will not damage the brick material in any way. Once clean, the wall will be allowed to dry, will be painted with an appropriate primer, will have artwork outlines projected at night onto the primed wall, and then the mural will be painted in its entirety.

The standards have been carefully reviewed and all applicable standards for rehabilitation by the Secretary of the Interior have been met.

Narrative #2-B: Alterations, New Construction, Relocations (11.12.070)

This mural project will not involve any new construction or relocation of the building or parts of the building in any way. The mural added to the south alley wall will be the only alteration to the building. No brackets or architectural features will be affected or changed in any way by the new mural.

The 15' tall by 24' wide area is the only portion of the wall that will be painted with a mural. Currently, the bricks are natural with no paint on their surfaces. Depending on their current condition, they may or may not be clear coated to protect the brick for the future. No sandblasting will be used for preparation of this wall for painting. Only the most gentle methods of cleaning will be used for removing dirt, debris and grease or oils. As stated previously, only a very mild surfactant may be used to remove foreign materials such as dirt and grease, to make sure the paints adhere properly. Once clean, the wall can be primed and painted with the final mural artwork.

Narrative #3-A: Design Guidelines: The Dalles Commercial Historic District (11.12.095, F-N)

The design guidelines in this section stress that "The Dalles' downtown is a pedestrian friendly environment" and that "rehabilitation should contribute in making downtown The Dalles an inhabitable place that is pleasant for walking". The Walldogs murals will add to this pedestrian friendly environment by giving pedestrians interesting historic murals to seek out and enjoy, while at the same time, learning about The Dalles' rich and diverse history. Once the murals have all been painted, a map will be created that will lead pedestrians, both tourists and local residents, into and through our Historic Downtown to discover the different historical paintings. This mural, as well as all the other Walldogs murals, will only add to the historic value of our downtown buildings.

Again, sandblasting of bricks or block walls will not be used. It is strictly prohibited in this section, as well.

Narrative #4: Sign Guidelines (11.12.095, O)

This section stresses that "**signs should not be the dominant feature of a building** or site, yet they are a **key component to** identifying businesses and **contributing to the livelihood of the street with their individuality.**" This wall mural will not be the dominant feature of the building. The 15' x 24' section of the south alley wall is a very small portion of the total face area of this entire building (again, see Exhibit "B" for view of wall). A historic wall mural will only add to the historic nature of our downtown by educating tourists and local residents about The Dalles' rich history. This mural will only add to the livelihood of our downtown streetscape and will attract tourists.

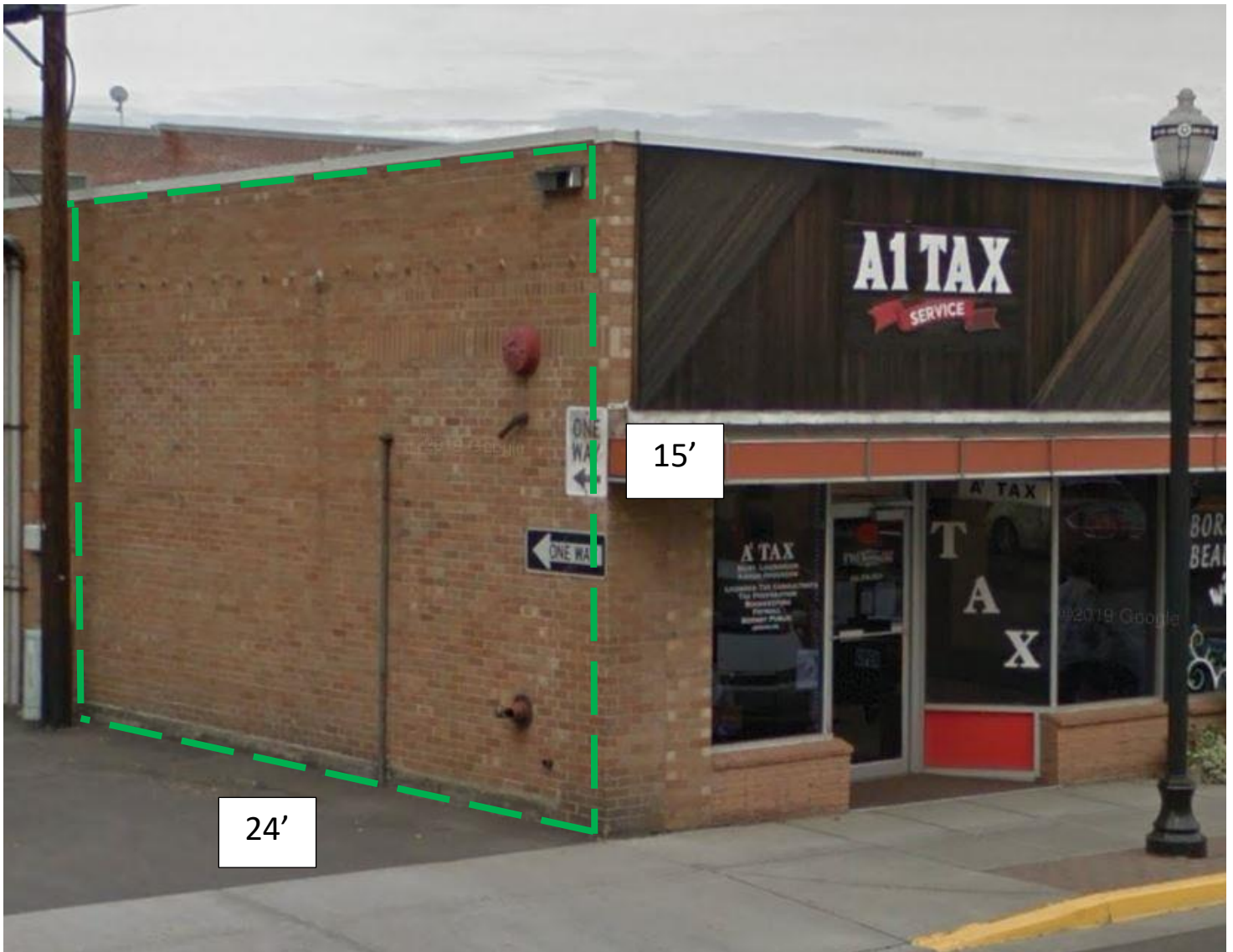
Guideline 2.h. Murals are not recommended on primary, secondary, and historic buildings as they lessen the integrity of the architecture and damage the building surface.

As stated at the beginning of this narrative, this building is located in The Dalles Commercial Historic district and is classified as Non-Compatible, Non-Contributing. This means that the building was built later than the period of significance for the historic district (late 1800- 1920's) and the building no longer has many of its original features or has been completely modified. There are no real outstanding architectural features that would be lessened by a mural in this location. A mural will be painted directly onto the existing bricks or may have a clear coat to protect them for the future, depending on their current condition. This building is not a primary, secondary, or historic building which means a mural could clearly be supported and approved for this building.

Exhibit "A"
Walldogs Mural Examples



Exhibit "B"
Matthews Building (A-1 Tax) South Alley Wall
Possible Mural Dimensions



Matthews Building (A-1 Tax)
South Facing Alley Wall

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is in good condition and is a good example of an early building that retains its cast iron decorative details.

HISTORICAL DATA: Albert Bettingen Jr. purchased the building in 1877. The family owned the building until the 1950s. Bettingen was in the real estate, theater, and insurance businesses. He was the first owners of the Columbia and Grand movie theaters. Bettingen died in 1933 and his wife Mildred died in 1949.

Prior to the turn of the century, a dry goods store was located on the first floor of the building. By 1900, the Bettingens opened a cigar shop known as Bettingen's Cigar Store or the Optimo Cigar Shop (1910) on the first floor. The second floor was used for lodging (Oaks Hotel). Other tenants included Harry Taylor's Saloon (1908); and Harry Jones Confectionery and Restaurant.

#65 **HISTORIC NAME:** NA

COMMON NAME: IKON

ADDRESS: 122 East Second and 309-311 Court Street

RESOURCE TYPE: Building

OWNER'S NAME AND ADDRESS:

c/o U.S. National Bank of Oregon Trust

R.P. Matthew Estate

P.O. Box 3168

Portland, Oregon 97208

ASSESSOR'S MAP: 1N-13E-3BD **BLOCK:** 6 **LOT:** 1 **TAX LOT:** 4100

ADDITION: Original Dalles City

YEAR BUILT: c. 1920

ALTERATIONS: Major

STYLE: Altered

USE: Retail

PREVIOUS HISTORIC LISTING: None

CLASSIFICATION: Non-Compatible Non-Contributing

PHYSICAL DESCRIPTION: This one-story building is constructed of brick, with brick, wood and plastic panels as the exterior wall finish. The roof is flat, built up. The building has aluminum storefront doors and windows, with brick veneer trim. The main entrance is at the northeast corner. The structure is in good condition.

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HISTORICAL DATA: This building was constructed c. 1920 and housed a variety of businesses. In 1926, the tenants included a drugstore, a confectionery store, a florist, an office, and an electrical supply shop.

#66 **HISTORIC NAME:** NA
COMMON NAME: The Dalles Furniture Co.
ADDRESS: 116 East Second Street
RESOURCE TYPE: Building.
OWNER'S NAME AND ADDRESS:
Hampton, RC & Jean
1509 E. 21st Street
The Dalles, Oregon 97058
ASSESSOR'S MAP: IN-13E-3BC **BLOCK:** 6 **LOT:** 2 **TAX LOT:** 4000
ADDITION: Original Dalles City
YEAR BUILT: c. 1910
ALTERATIONS: Major
STYLE: Altered
USE: Retail
PREVIOUS HISTORIC LISTING: None
CLASSIFICATION: Non-Compatible Non-Contributing

PHYSICAL DESCRIPTION: This two-story brick building has a metal facade on the upper level, with aluminum storefront door and windows, with 4"x 4" glazed tile at the ground level and at the recessed entry. The roof is flat and built up. The building is in good condition.

HISTORICAL DESCRIPTION: The building was constructed c. 1910. In 1923, Charles and Ruth Hampton started a furniture store in the eastern portion of the building (earlier was occupied by Hackett and Gott). A meat market was located in the western portion. The building was extensively altered in the 1960s when the furniture store expanded into the neighboring storefront. Members of the Hampton family still own the building.

#67 **HISTORIC NAME:** Lemke Building
COMMON NAME: Oregon Equipment Company
ADDRESS: 110 E. Second Street
RESOURCE TYPE: Building



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
COMMUNITY DEVELOPMENT DEPARTMENT

HISTORIC LANDMARKS RESOLUTION NO. 188-22

Adopting The Dalles Historic Landmarks Commission Application #199-22 of Robert and Meagan Wells-Clark. This application is for a Historic Landmarks Commission hearing to gain approval to replace an existing, deteriorating deck with a 16' x 15'9" deck. The property is located at 503 W. Third Place, The Dalles, Oregon, and further described as 1N 13E 4 AA tax lot 2200. The property is classified as a primary, contributing resource in the Trevitt's Addition National Historic District. Property is zoned RH – High Density Residential District.

I. RECITALS:

- A. The Historic Landmarks Commission of the City of The Dalles has, on March 30, 2022 conducted a public hearing to consider the above request.
- B. A Staff Report was presented, stating findings of fact and conclusions of law.
- C. Staff Report 188-22 and the minutes of the March 30, 2022 hearing, upon approval, provide the basis for this resolution and are herein attached by reference.

II. RESOLUTION: Now, therefore, be it FOUND, DETERMINED, and ORDERED by the Historic Landmarks Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part "I" of this resolution.
- B. Historic Landmarks Review 188-22, The Dalles Main Street/Walldogs, is ***approved*** with the following conditions:
 - 1. Work will be completed in substantial conformance to the proposals as submitted and reviewed.
 - 2. The applicant will be required to obtain an approved sign permit from the Community Development Department prior to the mural installation/painting.
 - 3. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of the structure, if appropriate, shall be undertaken using the gentlest means possible.
 - 4. The alteration/addition of the mural to the structure will be required to follow the historic design guidelines. The mural will be required to be compatible in massing and size of the building; care shall be taken with the painting.

III. APPEALS, COMPLIANCE AND PENALTIES:

- A. Any party of record may appeal a decision of the Historic Landmarks Commission to the City Council for review. Appeals must be made in accordance to Article 11.12.090 of The Dalles Municipal Code, Chapter 11.12 Historic Resources, and must be filed with the City Clerk within ten (10) days of the date of mailing of this Order.
- B. Failure to exercise this approval within the time line set either by Order or by The Dalles Municipal Code will invalidate this permit.

ADOPTED THIS 30TH DAY, MARCH, 2022.

Robert McNary, Chair
Historic Landmarks Commission

I, Dawn Marie Hert, Senior Planner & Historic Landmarks Secretary for the Community Development Department of the City of the Dalles, hereby certify that the foregoing Order was adopted at the meeting of the City Historic Landmarks Commission, held on March 30, 2022.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

ATTEST: _____
Dawn Marie Hert, Senior Planner & Historic Landmarks Commission Secretary
City of The Dalles Community Development Department



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
COMMUNITY DEVELOPMENT DEPARTMENT

HISTORIC LANDMARKS RESOLUTION NO. 189-22

Adopting The Dalles Historic Landmarks Commission Application #200-22 of The Dalles Main Street/Walldogs. This application is for a Historic Landmarks Commission hearing to gain approval to paint a mural on the north-facing alley wall of the property. The property is located at 119 E. Second Street, The Dalles, Oregon, and further described as 1N 13E 3 BA tax lot 1900. The property is a compatible, non-contributing resource located in the National Commercial Historic District. Property is zoned CBC – Central Business Commercial with a CBC-1 Overlay.

I. RECITALS:

- A. The Historic Landmarks Commission of the City of The Dalles has, on March 30, 2022 conducted a public hearing to consider the above request.
- B. A Staff Report was presented, stating findings of fact and conclusions of law.
- C. Staff Report 200-22 and the minutes of the March 30, 2022 hearing, upon approval, provide the basis for this resolution and are herein attached by reference.

II. RESOLUTION: Now, therefore, be it FOUND, DETERMINED, and ORDERED by the Historic Landmarks Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part “I” of this resolution.
- B. Historic Landmarks Review 200-22, The Dalles Main Street/Walldogs, is ***approved*** with the following conditions:
 - 1. Work will be completed in substantial conformance to the proposals as submitted and reviewed.
 - 2. The applicant will be required to obtain an approved sign permit from the Community Development Department prior to the mural installation/painting.
 - 3. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of the structure, if appropriate, shall be undertaken using the gentlest means possible.
 - 4. The alteration/addition of the mural to the structure will be required to follow the historic design guidelines. The mural will be required to be compatible in massing and size of the building; care shall be taken with the painting.

III. APPEALS, COMPLIANCE AND PENALTIES:

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ADOPTED THIS 30TH DAY, MARCH, 2022.

Robert McNary, Chair
Historic Landmarks Commission

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AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

ATTEST: _____
Dawn Marie Hert, Senior Planner & Historic Landmarks Commission Secretary
City of The Dalles Community Development Department



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
COMMUNITY DEVELOPMENT DEPARTMENT

HISTORIC LANDMARKS RESOLUTION NO. 190-22

Adopting The Dalles Historic Landmarks Commission Application #201-22 of The Dalles Main Street/Walldogs. This application is for a Historic Landmarks Commission hearing to gain approval to paint a mural on the north-facing alley wall of the property. The property is located at 122 E. Second Street, The Dalles, Oregon, and further described as 1N 13E 3 BD tax lot 4100. The structure is a non-compatible, non-contributing resource located in the National Commercial Historic District. Property is zoned CBC – Central Business Commercial with a CBC-1 Overlay.

I. RECITALS:

- A. The Historic Landmarks Commission of the City of The Dalles has, on March 30, 2022 conducted a public hearing to consider the above request.
- B. A Staff Report was presented, stating findings of fact and conclusions of law.
- C. Staff Report 201-22 and the minutes of the March 30, 2022 hearing, upon approval, provide the basis for this resolution and are herein attached by reference.

II. RESOLUTION: Now, therefore, be it FOUND, DETERMINED, and ORDERED by the Historic Landmarks Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part “I” of this resolution.
- B. Historic Landmarks Review 201-22, The Dalles Main Street/Walldogs, is ***approved*** with the following conditions:
 - 1. Work will be completed in substantial conformance to the proposals as submitted and reviewed.
 - 2. The applicant will be required to obtain an approved sign permit from the Community Development Department prior to the mural installation/painting.
 - 3. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of the structure, if appropriate, shall be undertaken using the gentlest means possible.
 - 4. The alteration/addition of the mural to the structure will be required to follow the historic design guidelines. The mural will be required to be compatible in massing and size of the building; care shall be taken with the painting.

III. APPEALS, COMPLIANCE AND PENALTIES:

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ADOPTED THIS 30TH DAY, MARCH, 2022.

Robert McNary, Chair
Historic Landmarks Commission

I, Dawn Marie Hert, Senior Planner & Historic Landmarks Secretary for the Community Development Department of the City of the Dalles, hereby certify that the foregoing Order was adopted at the meeting of the City Historic Landmarks Commission, held on March 30, 2022.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

ATTEST: _____
Dawn Marie Hert, Senior Planner & Historic Landmarks Commission Secretary
City of The Dalles Community Development Department