

**CITY of THE DALLES**313 COURT STREET
THE DALLES, OREGON 97058(541) 296-5481 ext. 1125
PLANNING DEPARTMENTHLC# 191-20
FEE - \$25.00**HISTORIC LANDMARKS APPLICATION**

Application is required for modifications and/or alterations to the exterior of certified historic structures and all structures within certified historic districts. Additionally, new construction within established historic districts are also required to appear before the City of The Dalles Historic Landmarks Commission.

Applicant Name	Discover Development/ Sunshine Mill
Address	901 e 2 nd St, The Dalles, Or 97058
Phone	503-380-0381
Business Name	Sunshine Mill Winery
Site Address	901 E 2 nd St, The Dalles, Or 97058
Phone	503-380-0381
Map and Tax Lot	
Zoning	

Please describe your project goals.

- 1.) Increase wine production capacity.
- 2.) Reduce employee injury risks in contained spaces.
- 3.) Increase access and utilization of Silos Building.
- 4.) Improve roof top environmentally into green space

How will your project affect the appearance of the building and or site?

- 1.) Entry doors and windows into Silo Building
- 2.) Trimming Silo Building with Wood planters and trim exteriors.
- 3.) Finish the Painting of the Head House in Black framing in the white Silos.
- 4.) Add roof top garden with overhead wind protections

What efforts are being made to maintain the historic character of this structure?

All improvements will be designed in an attempt to match the character of the historic building.

What is the current use of this property?



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
FAX: (541) 298-5490
Community Development Dept.

HLC # 181-20
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Business Name Sunshine Mill

Site Address 901 E 2nd St, The Dalles, Or 97058

Phone 503-380-0381

Map and Tax Lot _____

Zoning _____

Please describe your project goals.

Continue with the approved site development of the Winery Hotel.

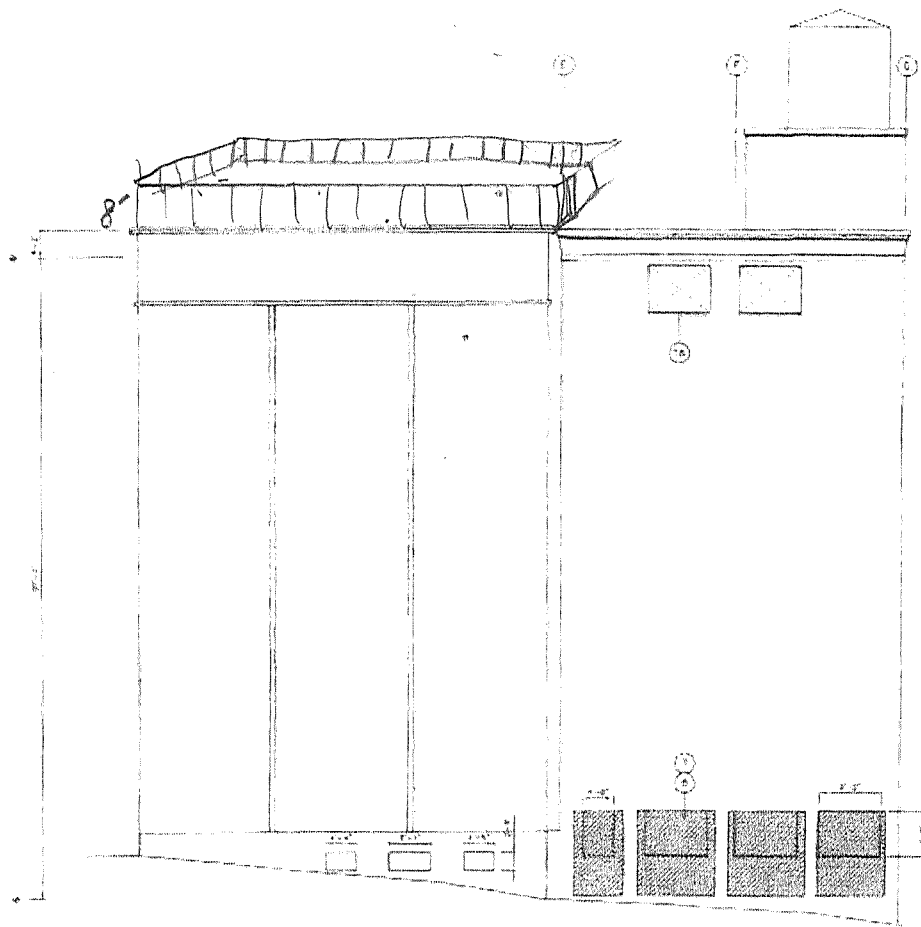
How will your project affect the appearance of the building and or site?

The site will continue to remain historic in apperance

What efforts are being made to maintain the historic character of this structure?

Smartly placed improvements to creat usable space with out reducing the historical feel

Railing 8'
End Posts 12'



EAST ELEVATION

050149
MCO
05.25.0
REVISION

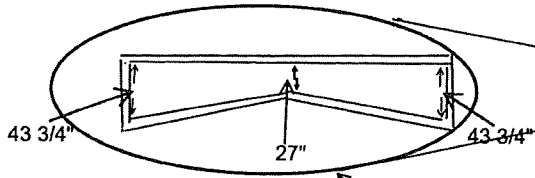
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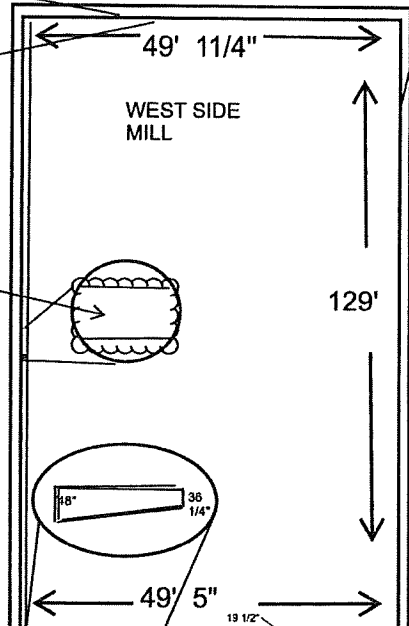
SUNSHINE MILL

THIS IS THE INSIDE PART
OF TR ROOF AREA,
THE CROWN SURFACE IS 15"

WEST SIDE MILL

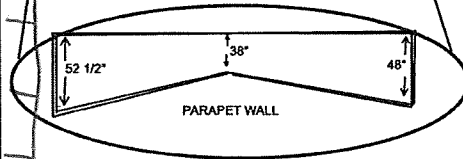
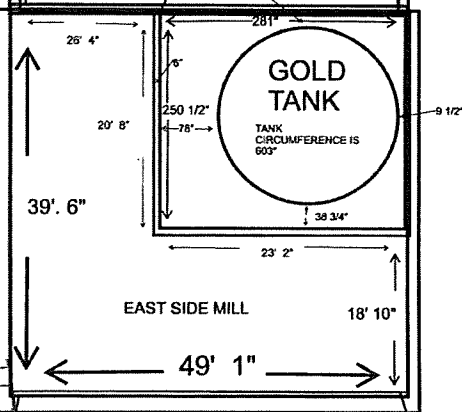
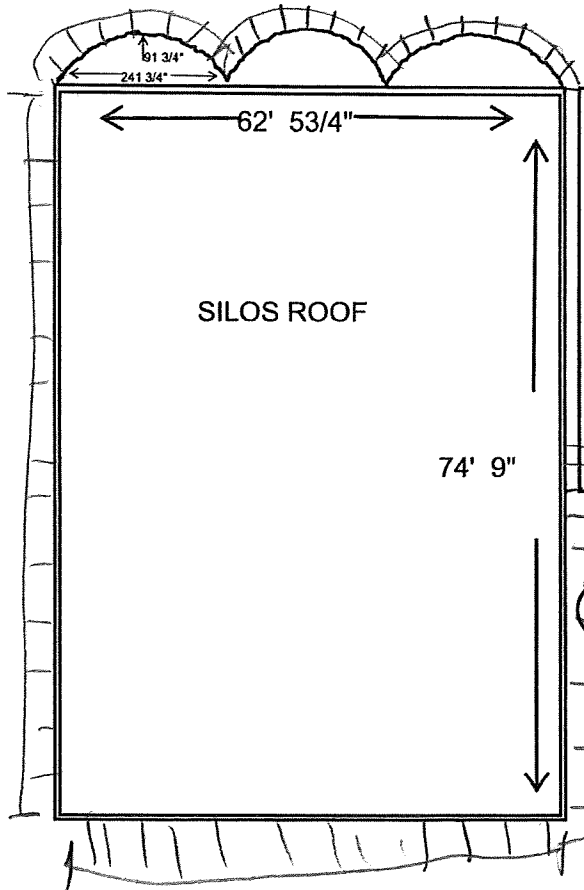


PARAPET
WALL SIZE IS
43 3/4"



NORTH
SIDE
MILL

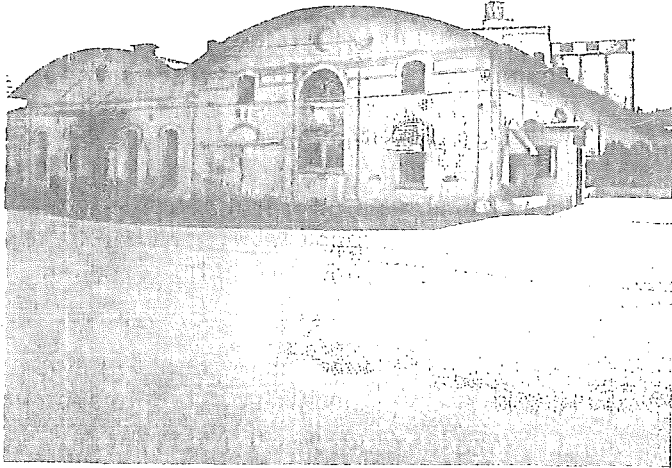
SOUTH
SIDE
MILL



EAST SIDE
MILL

Proposed Railings
8' high.
Railings

STATE OF OREGON INVENTORY
OF HISTORIC PROPERTIES
State Historic Preservation Office
Oregon State Parks, Salem, OR 97310



County Wasco
Theme manufacturing and processing
Name
(Common) Sunshine Biscuit Co. Building
Wasco Warehouse
(Historic) Milling Company Building
Address 901 East Second St.
The Dalles, OR 97058
Present Owner Interior Elevator Co.
Address P. O. Box 517, The Dalles, Ore.
Original Use Warehouse and offices
Date of Construction 1869

Physical description of property and statement of historical significance:

The Wasco Warehouse Milling Company Building is a large, two story brick building which extends over one block along the railroad tracks on the east end of The Dalles, Oregon. The building consists of two major sections, each possessing a dome roof surmounted with a series of louvered cupolas. Port hole windows are located in the south (side) elevation. The windows on the west (front) elevation are mostly four-over-four, double hung sash. All of the windows, including the port hole windows, have decorative brick "eyebrows".

Related grain elevator silos are located on the east side.

A biography of banker Joshua W. French, born in 1830, noted that he was a director of the Wasco Warehouse Milling Company. At the turn of the twentieth century this company was one of the largest flour mills in Oregon. On January 2, 1902 the Times-Mountaineer noted: "The Wasco Warehouse & Milling Company's plant at White River, just completed, is the most modern and complete on the coast. . . ."

Writing about 1953, William H. McNeal noted that the Wasco Warehouse was incorporated in 1883 by J.W. French, S.L. Brooks, and E.B. McFarland. Wentworth Lord served as manager. The firm handled wool, hides, pelts, hay, and grain,

continue on back if necessary

Recorded by Stephen Dow Beckham Date 7 July 1976
Updated by City Planning Department 2/85

Sources consulted (continue on back if necessary):

Illustrated History of Central Oregon. Spokane, Wash.: Western Historical Publishing Co., 1905, p. 147.

Please enclose map. Township 1 ^(N) _(S) 13 ^(E) _(W) Section 3DA
Roll 7, frame 8. State Inventory No. 14

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What efforts are being made to maintain the historic character of this structure?

All improvements will be designed in an attempt to match the character of the historic building.

What is the current use of this property?

Historic Flour Mill Winery and Artisan Plaza expanding into Hotel

Will the use change as a result of approval of this application? No

List any known archeological resources on site. N/A

The review criteria for each application are the Secretary of the Interior's Standards. These standards have been adopted by City Ordinance 94-1194 as local review criteria.

I certify that the above information is correct and submit this application with six (6) copies of a site plan drawn to scale, six (6) copies of detailed, elevation drawings with proposed changes, and six (6) current color photographs (4X6 inch minimum) of the building/structure front.

Applicant

Date

Owner (if not the applicant)

I have reviewed the above application and certify that it is complete and accepted for processing.

Secretary, Historic Landmarks Commission

FOR OFFICE USE ONLY

Historical Classification

(Primary, Secondary, Historical, Etc.)

Historic Building/Site Historic District: Commercial ☐ Trevitt ☐ Other ☒

Historic Name (if any)

Year(s) Built

1869

Local / State Inventory

Sunshine Biscuit Co / Wasco Warehouse
Milling Co.



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Please describe your project goals.

Continue with the approved site development of the Winery Hotel.

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The site will continue to remain historic in apperance

What efforts are being made to maintain the historic character of this structure?

Smartly placed improvements to creat usable space with out reducing the historical feel

What is the current use of this property?

Flour Mill Winery

Will the use change as a result of approval of this application? ☐ Yes ☒ No

List any known archeological resources on site.

none

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I certify that the above information is correct and submit this application with nine (9) copies of a site plan drawn to scale, nine (9) copies of detailed, elevation drawings with proposed changes, and nine (9) current color photographs (4X6 inch minimum) of the building/structure front.

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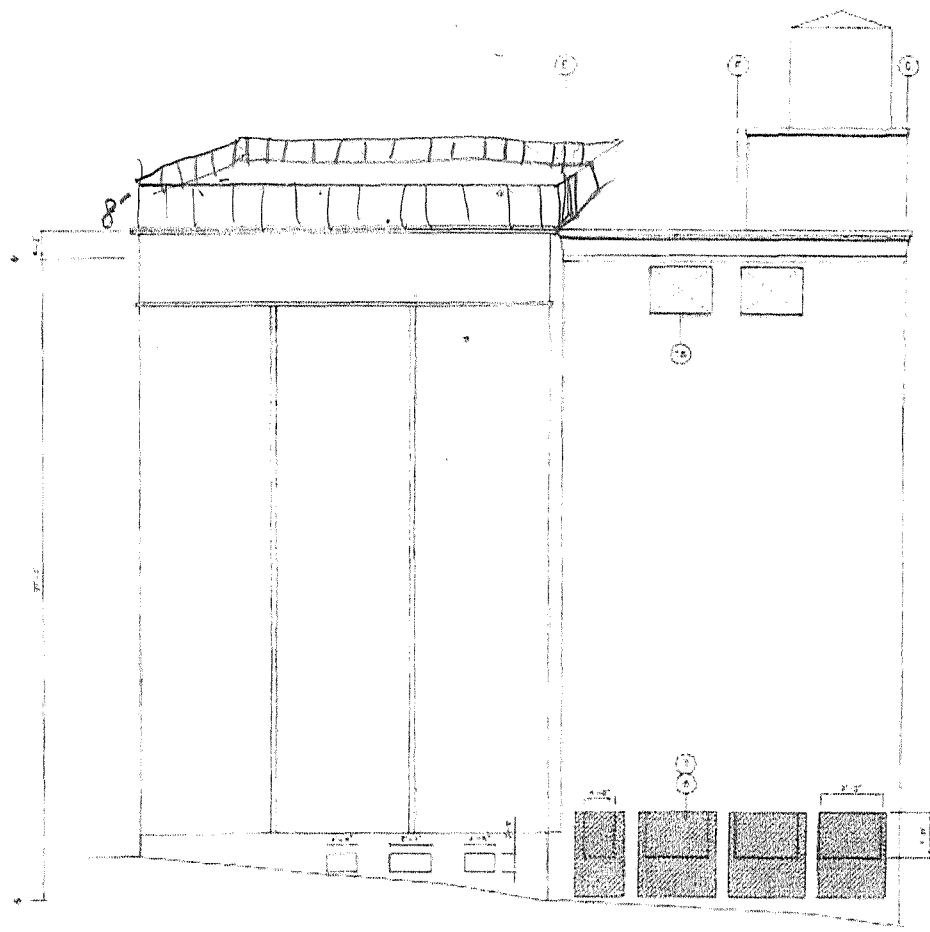
Year(s) Built

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Sunshine Biscuit Co. / Masco Warehouse
Milling Company

1969

Railing 8'
End Posts 12'



EAST ELEVATION

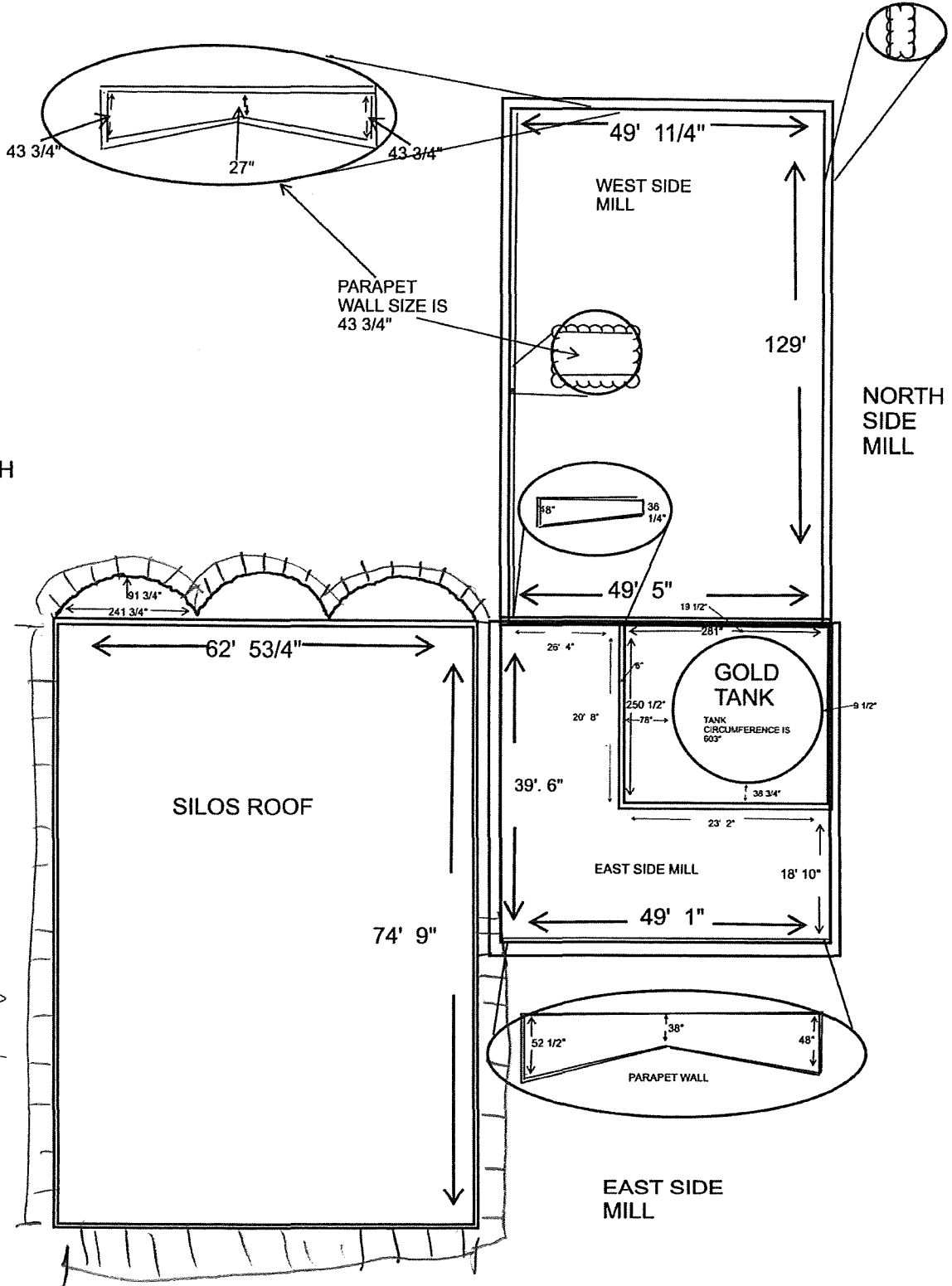
050149
MOD
03.25.0
REVISIONS
050149
S3.3

100% 11.2.2005
BY: [illegible]
100% 11.2.2005

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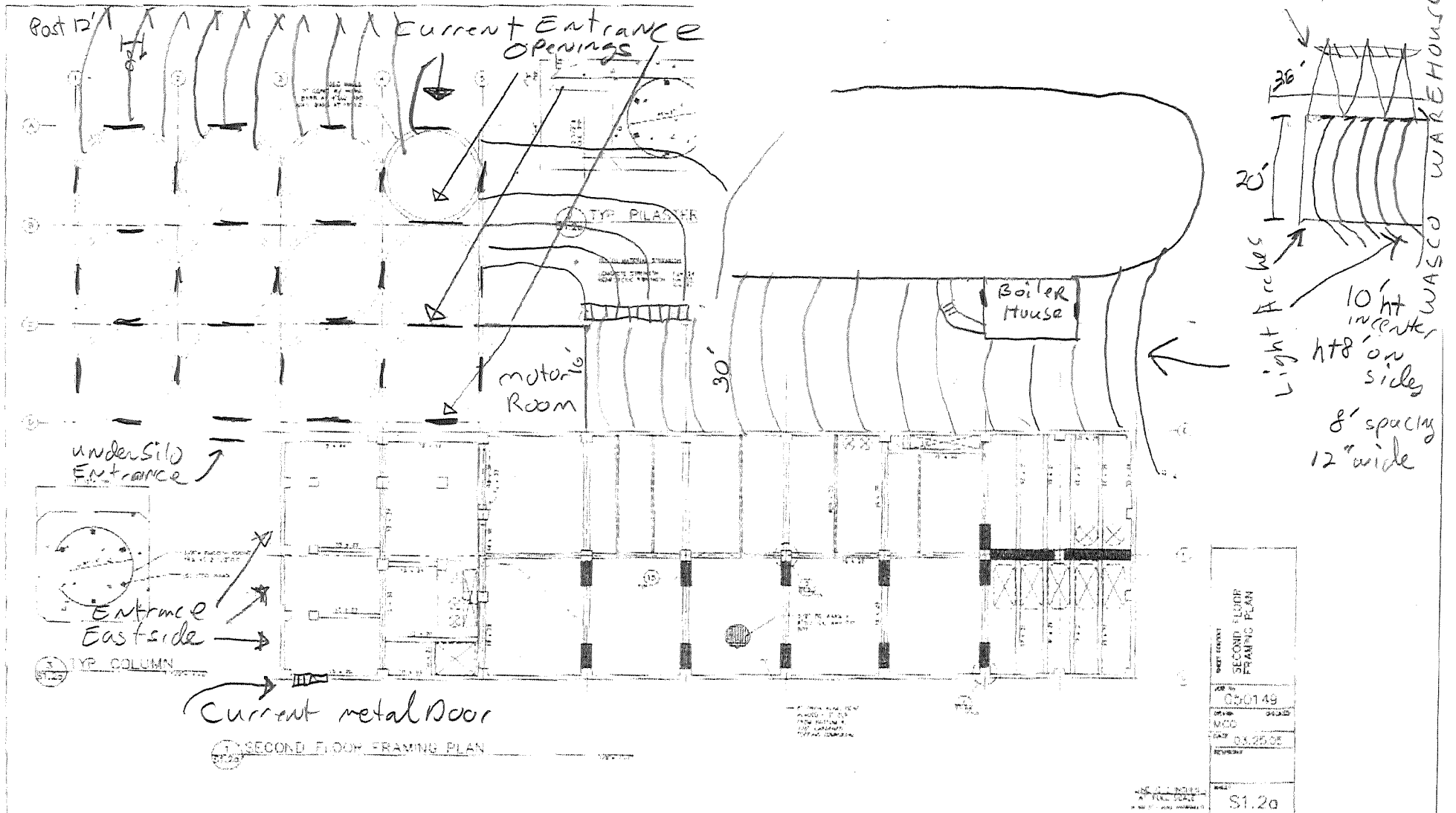
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THE CROWN SURFACE IS 15"

WEST SIDE MILL



Site Plan

Proposed Entrances/windows includes Lines
w/out ARROWS 8'x4'



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OF HISTORIC PROPERTIES
State Historic Preservation Office
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Please enclose map. Township 1 ^(N) _S 13 ^(E) _W Section 3DA

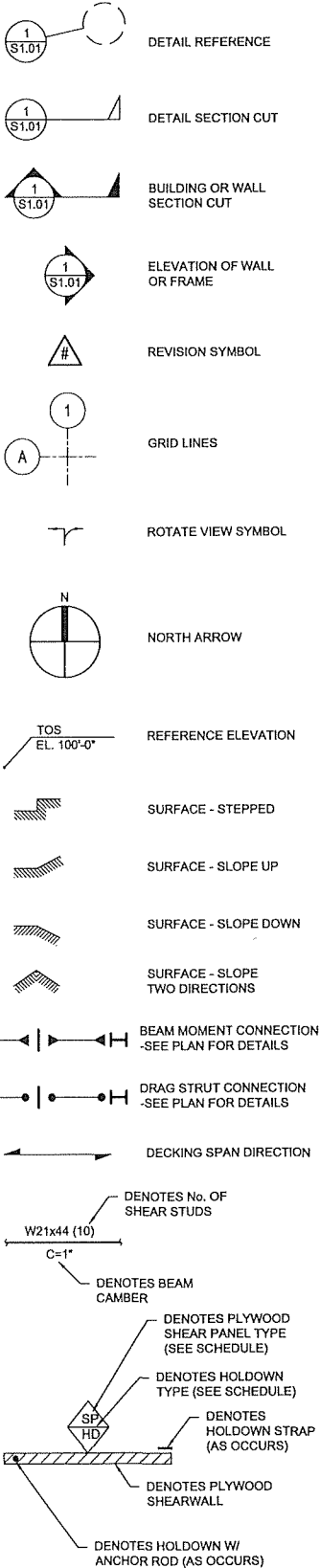
Roll 7, frame 8.

State Inventory No. 14

STRUCTURAL ABBREVIATIONS

AB	ANCHOR BOLT
ADDL	ADDITIONAL
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ARCH	ARCHITECTURAL
ATR	ALL THREAD ROD
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BN	BOUNDARY NAIL
BOF	BOTTOM OF FOOTING
BOT	BOTTOM
BRNG	BEARING
BSMT	BASEMENT
BTWN	BETWEEN
C	CAMBER
CIP	CAST IN PLACE
CJ	CONTROL OR CONSTRUCTION JOINT
CJP	COMPLETE JOINT PENETRATION
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
DBA	DEFORMED BAR ANCHOR
DBL	DOUBLE
DFL	DOUGLAS FIR-LARCH
DIA	DIAMETER
DIAG	DIAGONAL
DIST	DISTANCE
DL	DEAD LOAD
DN	DOWN
DTL	DETAIL
DWG	DRAWING
(E)	EXISTING
EA	EACH
EF	EACH FACE
EL	ELEVATION
EN	EDGE NAIL
EOR	ENGINEER OF RECORD
EQ	EQUAL
EW	EACH WAY
EXT	EXTERIOR
FF	FINISH FLOOR
FN	FIELD NAIL
FLR	FLOOR
FDN	FOUNDATION
FT	FEET
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED
GLB	GLUE LAMINATED BEAM
GWB	GYPSUM WALL BOARD
HDG	HOT-DIP GALVANIZED
HDR	HEADER
HF	HEM-FIR
HT	HEIGHT
HORIZ	HORIZONTAL
HSA	HEADED STUD ANCHOR
HSS	HOLLOW STRUCTURAL SECTION
ID	INSIDE DIAMETER
IN	INCH
INT	INTERIOR
JST	JOIST
JT	JOINT
K	KIP(S)
KSI	KIPS PER SQUARE INCH
L	ANGLE
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LONG	LONGITUDINAL
LVL	LAMINATED VENEER LUMBER
LWC	LIGHT WEIGHT CONCRETE
MAX	MAXIMUM
MIN	MINIMUM
MIR	MIRROR
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTE	NOT TO EXCEED
NTS	NOT TO SCALE
(N)	NEW
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPP	OPPOSITE
OWJ	OPEN WEB JOIST
PAF	POWDER ACTUATED FASTENER
PERP	PERPENDICULAR
PJP	PARTIAL JOINT PENETRATION
PL	PLATE
PSI	POUNDS PER SQUARE INCH
PSF	POUNDS PER SQUARE FOOT
PT	PRESSURE TREATED
QTY	QUANTITY
RAD	RADIUS
REF	REFERENCE
REINF	REINFORCING
REQD	REQUIRED
REV	REVISED, REVISION
SC	SLIP CRITICAL
SHT	SHEET
SHT'G	SHEATHING
SIM	SIMILAR
SMS	SHEET METAL SCREW
SOG	SLAB ON GRADE
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TOF	TOP OF FOOTING
TOW	TOP OF WALL
TYP	TYPICAL

STRUCTURAL DRAWING SYMBOLS



STRUCTURAL NOTES:

GENERAL

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND CORRELATION OF ALL ITEMS AND WORK NECESSARY FOR COMPLETION OF THE PROJECT AS INDICATED BY THE CONTRACT DOCUMENTS. SHOULD ANY QUESTION ARISE REGARDING THE CONTRACT DOCUMENTS OR SITE CONDITIONS, THE CONTRACTOR SHALL REQUEST INTERPRETATION AND CLARIFICATION FROM THE ENGINEER BEFORE BEGINNING THE PROJECT. THE ABSENCE OF SUCH REQUEST SHALL SIGNIFY THAT THE CONTRACTOR HAS REVIEWED AND FAMILIARIZED HIMSELF WITH ALL ASPECTS OF THE PROJECT AND HAS COMPLETE COMPREHENSION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL SAFETY REGULATIONS DURING CONSTRUCTION.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SPECIFICALLY NOTED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION OR CONSTRUCTION LOADS. ONLY THE CONTRACTOR SHALL PROVIDE ALL METHODS, DIRECTION AND RELATED EQUIPMENT NECESSARY TO PROTECT THE STRUCTURE, WORKMEN AND OTHER PERSONS AND PROPERTY DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT SAME IN THE FIELD. ANY MATERIAL NOT AS SPECIFIED OR IMPROPER MATERIAL INSTALLATION OR WORKMANSHIP SHALL BE REMOVED AND REPLACED WITH SPECIFIED MATERIAL IN A WORKMANLIKE MANNER AT THE CONTRACTOR'S EXPENSE.

THESE PLANS, SPECIFICATIONS, ENGINEERING AND DESIGN WORK ARE INTENDED SOLELY FOR THE PROJECT SPECIFIED HEREIN. MILLER CONSULTING ENGINEERS DISCLAIMS ALL LIABILITY IF THESE PLANS AND SPECIFICATIONS OR THE DESIGN, ADVICE AND INSTRUCTIONS ATTENDANT THERETO ARE USED ON ANY PROJECT OR AT ANY LOCATION OTHER THAN THE PROJECT AND LOCATION SPECIFIED HEREIN. OBSERVATION VISITS TO THE JOB SITE AND SPECIAL INSPECTIONS ARE NOT PART OF THE STRUCTURAL ENGINEER'S RESPONSIBILITY UNLESS THE CONTRACT DOCUMENTS SPECIFY OTHERWISE.

NON STRUCTURAL PORTIONS OF PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, FIRE SUPPRESSION, ELECTRICAL, MECHANICAL, LAND USE, SITE PLANNING, EROSION CONTROL FLASHING AND WATER-PROOFING ARE BEYOND THE SCOPE OF THESE DRAWINGS AND ARE PROVIDED BY OTHERS.

TEMPORARY SHORING

WHEREVER SHORING IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SHORING SYSTEM THAT PREVENTS SETTLEMENT AND/OR DAMAGE TO EXISTING FACILITIES AND PROTECTS PERSONNEL, THE PUBLIC, AND THE BUILDING, SUPPORTING STREETS, WALKWAYS, UTILITIES, IMPROVEMENTS AND EXCAVATION AGAINST LOSS OF GROUND OR CAVING OF EMBANKMENTS DURING CONSTRUCTION, AS REQUIRED. THE CONTRACTOR SHALL LOCATE THE SYSTEM CLEAR WITHOUT OBSTRUCTION OF THE PERMANENT STRUCTURE AND TO PERMIT CONSTRUCTION TO PROCEED.

BUILDING CODE

ALL PHASES OF THE WORK SHALL CONFORM TO THE 2010 OREGON STRUCTURAL SPECIALTY CODE, EFFECTIVE DATE JULY 1, 2010, BASED ON THE 2009 INTERNATIONAL BUILDING CODE, INCLUDING ALL REFERENCE STANDARDS, UNLESS NOTED OTHERWISE.

SPECIAL INSPECTION / STRUCTURAL OBSERVATION

SPECIAL INSPECTION AND/OR TESTING IS REQUIRED IN ACCORDANCE WITH IBC SECTION 1704. THE CONTRACTOR SHALL PROVIDE SUFFICIENT NOTICE TO ALLOW SCHEDULING OF SPECIAL INSPECTION. IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE SPECIAL INSPECTION AND TESTING BY A QUALIFIED THIRD PARTY, SUCH AS A TESTING AGENCY REVIEWED BY THE ENGINEER.

REFERENCE THE SPECIAL INSPECTION TABLE ON SHEET 0.01 FOR ITEMS REQUIRING SPECIAL INSPECTION, TESTING, AND STRUCTURAL OBSERVATION.

DESIGN LOADS

LIVE LOAD REDUCTION FOR BEAMS AND COLUMNS WAS NOT USED. DESIGN FOR MECHANICAL LOADS INCLUDES ONLY THOSE INDICATED ON STRUCTURAL DRAWINGS. THE FOLLOWING ARE THE DESIGN REQUIREMENTS:

STRUCTURAL DESIGN CRITERIA	
OCCUPANCY CATEGORY	II
DESIGN DEAD LOADS	
PENTHOUSE ROOF	122 PSF
PENTHOUSE FLOOR	100 PSF
PENTHOUSE WALLS	75 PSF
SILO WALLS	94 PSF
LIVE LOAD	
PENTHOUSE FLOOR	100 PSF
ROOF LIVE LOAD	SNOW LOAD CONTROLS DESIGN
ROOF SNOW LOAD	
DESIGN ROOF SNOW LOAD	25 PSF
SNOW DRIFTING	AS NOTED ON PLANS (IF OCCURS)
IMPORTANCE FACTOR	Is = 1.0
GROUND SNOW LOAD	Pg = 21 PSF
EXPOSURE FACTOR	Ce = 0.9
THERMAL FACTOR	Ct = 1.2
FLAT ROOF SNOW LOAD	Pf = 16 PSF
WIND DESIGN DATA	
BASIC WIND SPEED (3 SEC GUST)	95 MPH
IMPORTANCE FACTOR	Iw = 1.0
EXPOSURE	D
MAIN FORCE RESISTING SYSTEM	
WINDWARD	18.73 PSF TO 23.90 PSF
LEEWARD	-6.77 PSF
SEISMIC DESIGN DATA	
IMPORTANCE FACTOR	IE = 1.0
SPECTRAL RESPONSE ACCELERATIONS	SS = 0.474, S1 = 0.172
SITE CLASS	D
SPECTRAL RESPONSE COEFFICIENTS	SDS = 0.45, SD1 = 0.24
SEISMIC DESIGN CATEGORY	D
BASIC SEISMIC FORCE RESISTING SYSTEM	ORDINARY CONCRETE SHEAR WALLS
DESIGN BASE SHEAR	395 KIPS
SEISMIC RESPONSE COEFFICIENT	CS = 0.112
RESPONSE MODIFICATION FACTOR	R = 4
ANALYSIS PROCEDURE USED	ASCE 7-05 EQUIVALENT LATERAL FORCE

CONCRETE

CONCRETE ANCHORS

POST INSTALLED CONCRETE ANCHORS SHALL CONSIST OF THE FOLLOWING UNLESS NOTED OTHERWISE:
SCREW ANCHORS: HILTI KWIK HUS-EZ
ADHESIVE ANCHORS: HILTI HIT-HY 200

ALL POST INSTALLED CONCRETE ANCHORS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S INSTALLATION CRITERIA AND PER THE CURRENT ICC EVALUATION REPORT.

CONCRETE CUTTING

CONCRETE CUTTING SHALL PERFORMED TO NOT CUT BEYOND OPENINGS. NOTIFY ENGINEER OF ANY CRACKS WITHIN 15 FEET OF A NEW OPENING. PRIOR TO CUTTING CONCRETE ARCH OPENINGS, CONTRACTOR TO VERIFY THAT CONCRETE AT SILO TANGENT POINTS CONTAIN SOLID CONCRETE FOR A LENGTH OF 3 FEET. PRIOR TO CUTTING ARCHES SHORING AS DETAILED BELOW SILO SHALL BE IN PLACE. SHORES SHALL BE PLUMB AND INSTALLED TIGHT TO EXISTING CONCRETE SURFACES.

NON-SHRINK GROUT

ALL NON-SHRINK GROUT SHALL BE NON-METALLIC GROUT CONFORMING TO ASTM C1107, AND SHALL HAVE A SPECIFIED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 5000 PSI. PRE-GROUTING OF BASE PLATES IS NOT PERMITTED.

STRUCTURAL STEEL

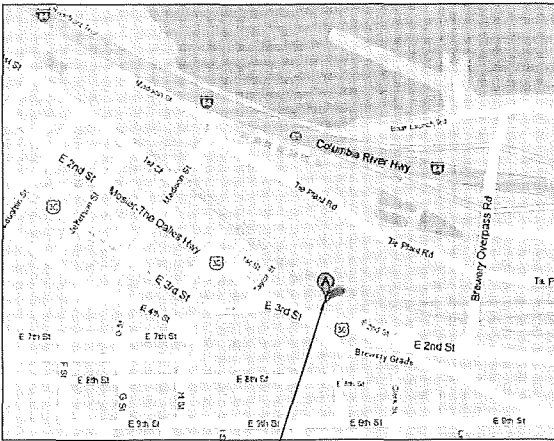
DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS (AISC 360-05).

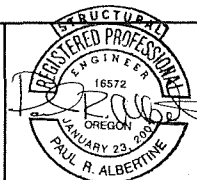
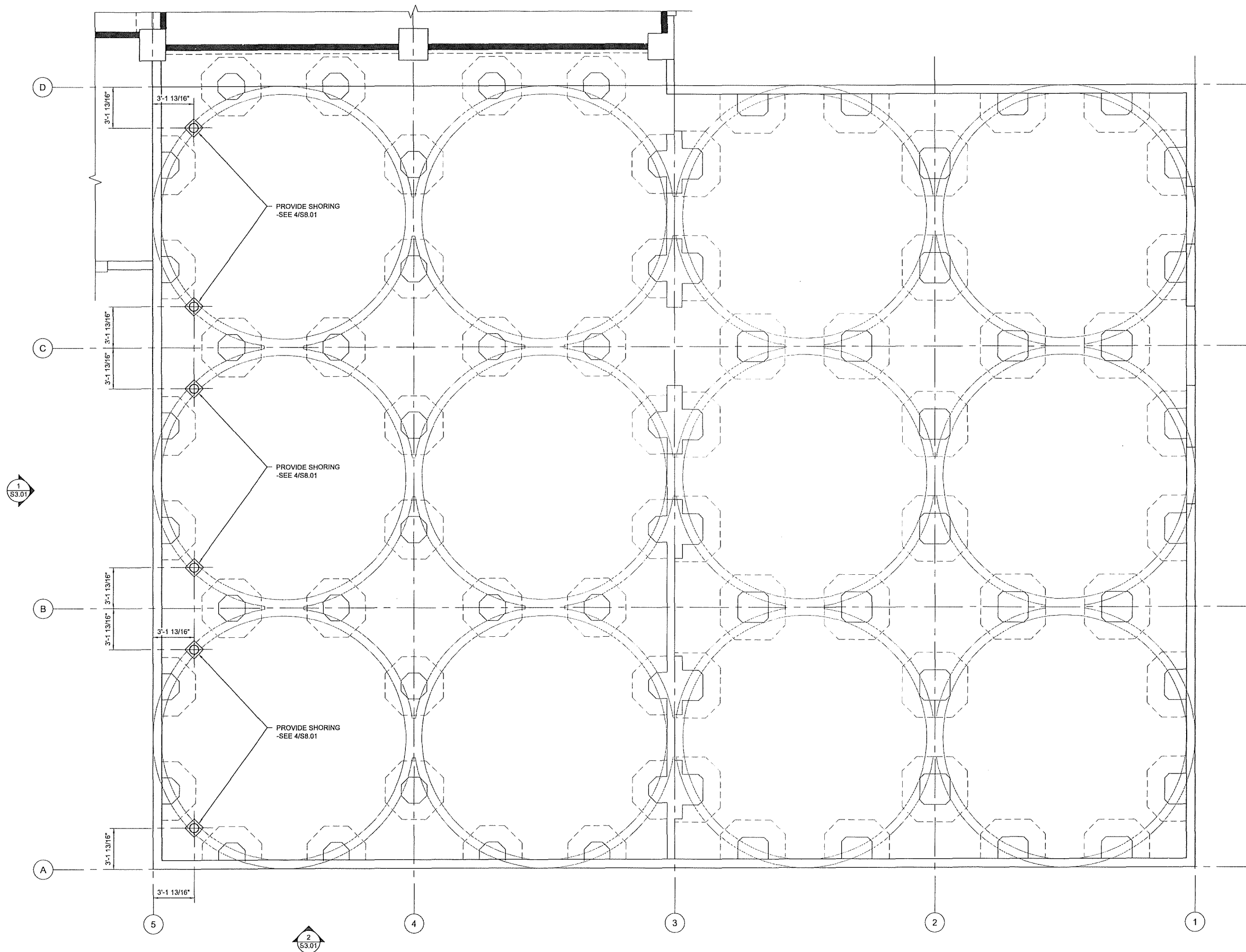
ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO THE FOLLOWING MATERIAL STANDARDS:

PIPE: ASTM A53, GRADE B, TYPE E OR S, Fy=35 KSI
ALL OTHER SECTIONS AND PLATES: ASTM A36

ALL STRUCTURAL STEEL SHALL HAVE ONE SHOP COAT OF PRIMER, EXCEPT SURFACES TO BE EMBEDDED IN CONCRETE OR MASONRY, OR STEEL TO BE GALVANIZED. EMBEDDED SURFACES SHALL BE FREE OF CONTAMINANTS. ALL EXPOSED STRUCTURAL STEEL TO HAVE ONE FINISH COAT OF RUST INHIBITING PAINT, COLOR BY OWNER.

ALL WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY (AWS) D1.1 USING E70XX ELECTRODES. WELD LENGTHS SHOWN ARE EFFECTIVE AS SPECIFIED PER THE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC). WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS FOR WELD TYPES SPECIFIED. WHERE WELD LENGTHS ARE NOT SHOWN, THE WELD SHALL BE FULL LENGTH OF MEMBERS BEING JOINED. ALL BUTT WELDS SHALL BE FULL PENETRATION WELDS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. ALL WELDS SHALL RECEIVE THE SAME FINISH COAT AS THE MEMBER BEING WELDED.





EXPIRES: 12-31-2012

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SILO MODIFICATIONS

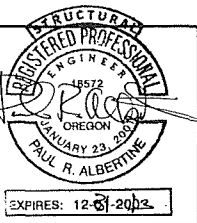
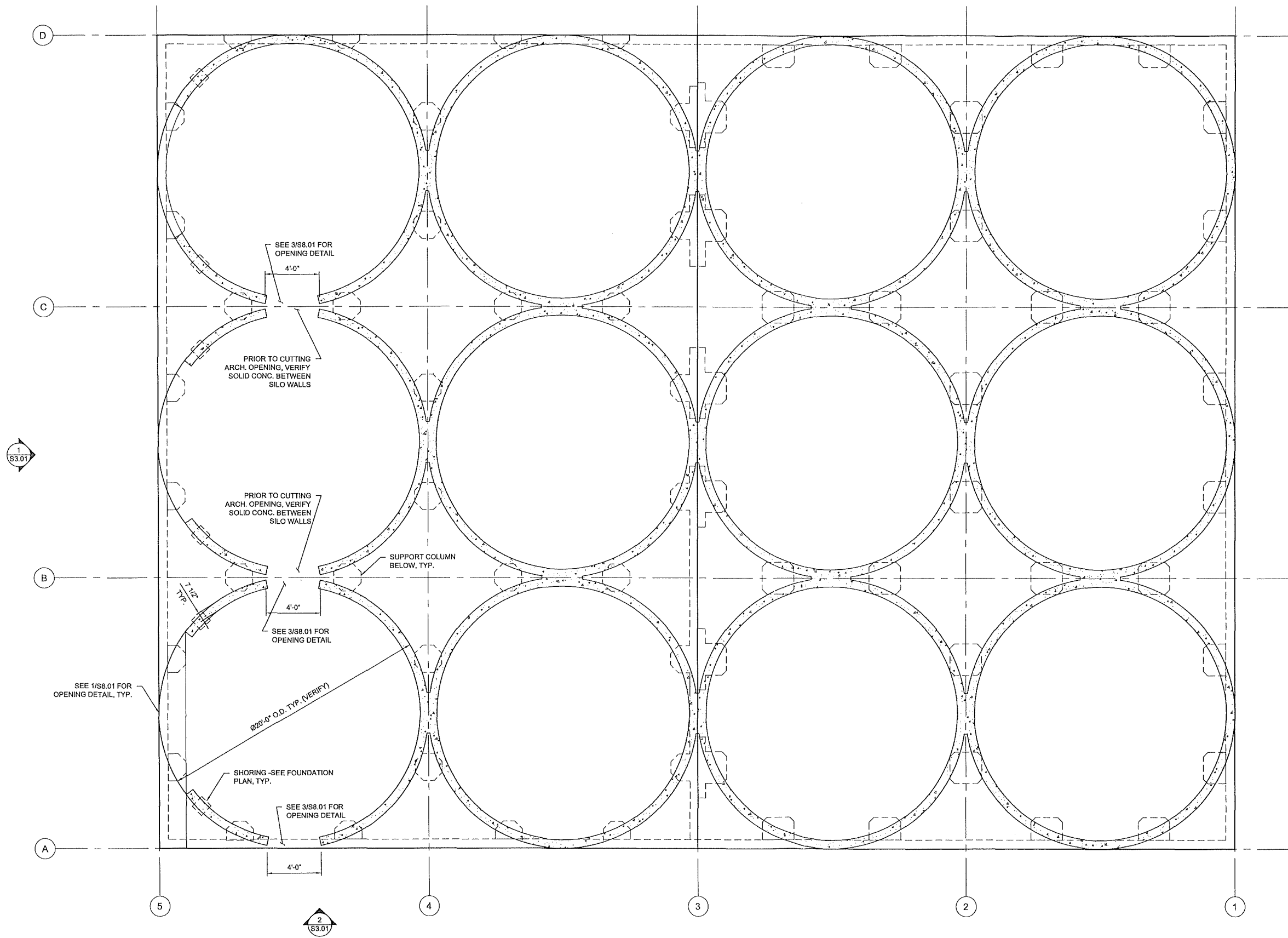
SUNSHINE MILL

901 E SECOND STREET
THE DALLES, OREGON

DRAWN BY: BCH
CHECKED BY:
PROJECT NO: 130351
ISSUE DATE: 05.17.2013

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SHEET CONTENT
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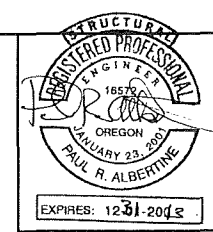
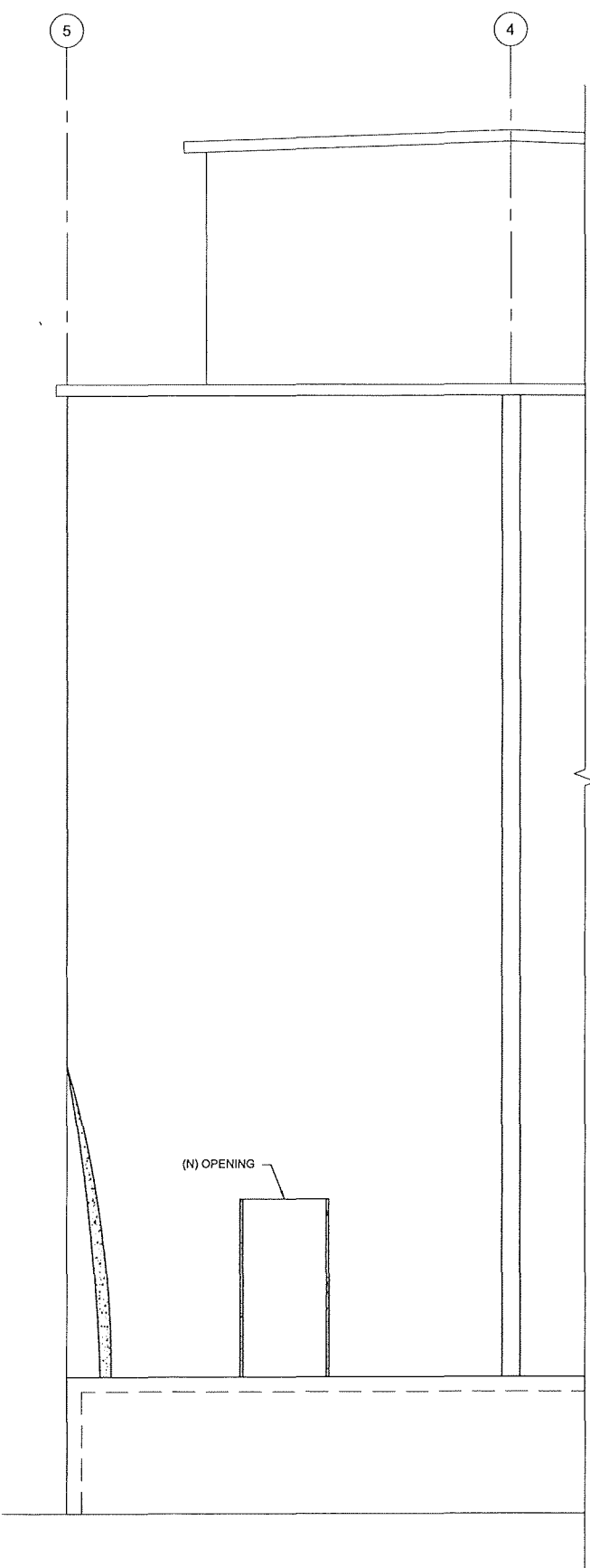
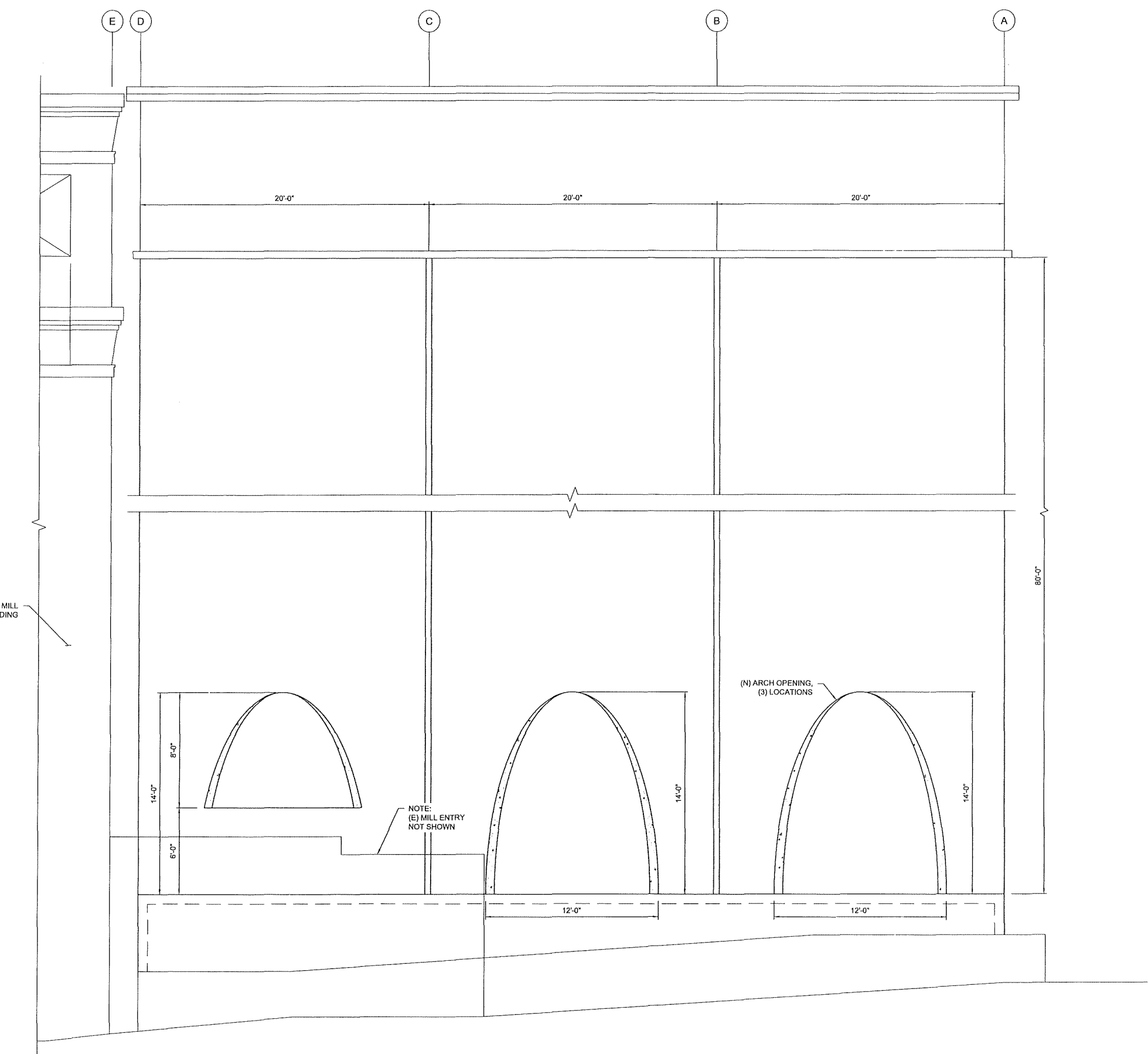
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901 E SECOND STREET
THE DALLES, OREGON

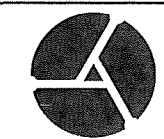
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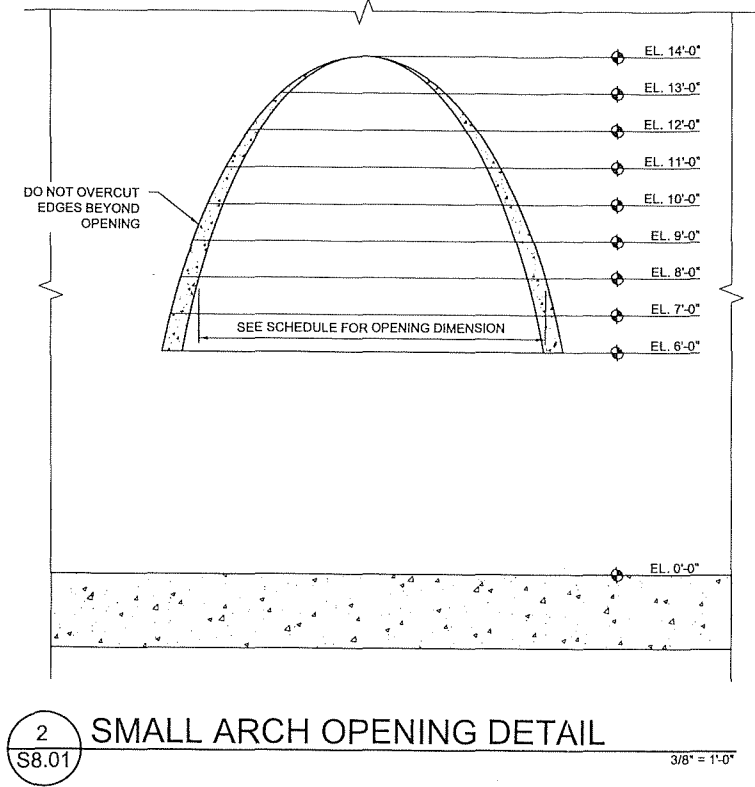
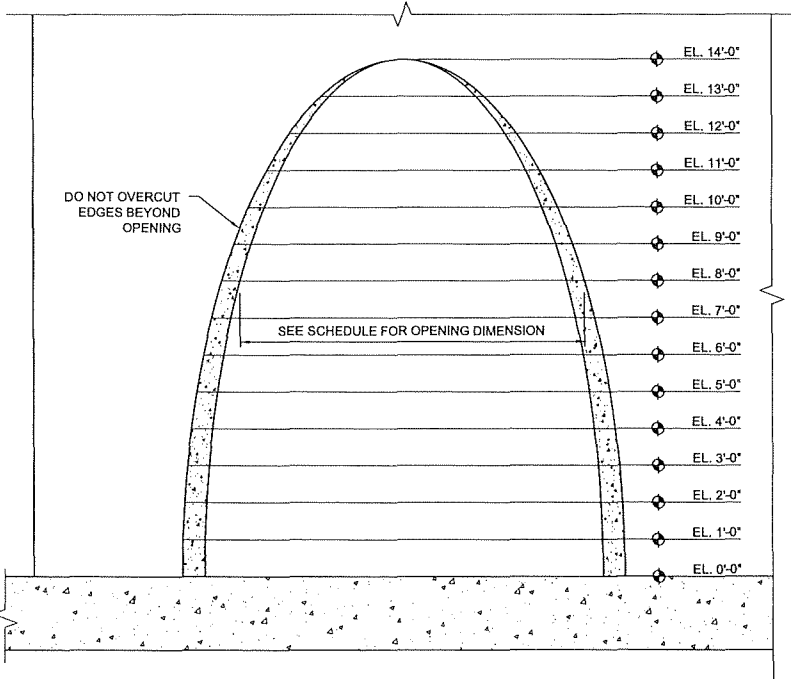
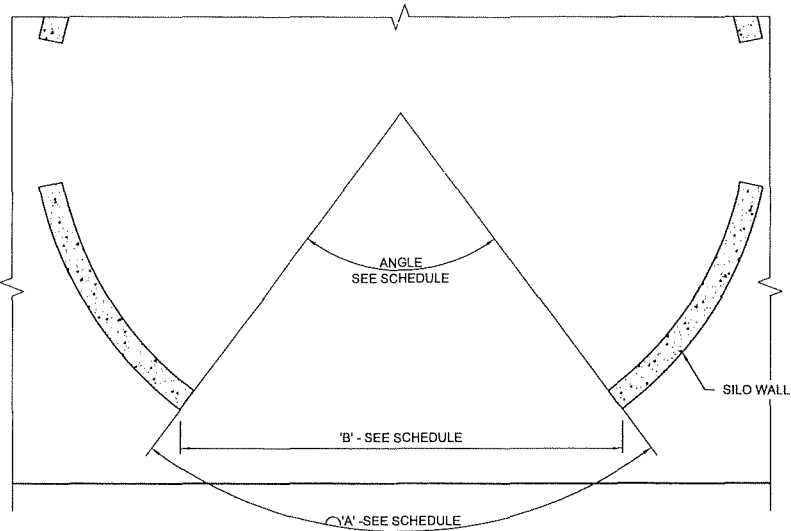
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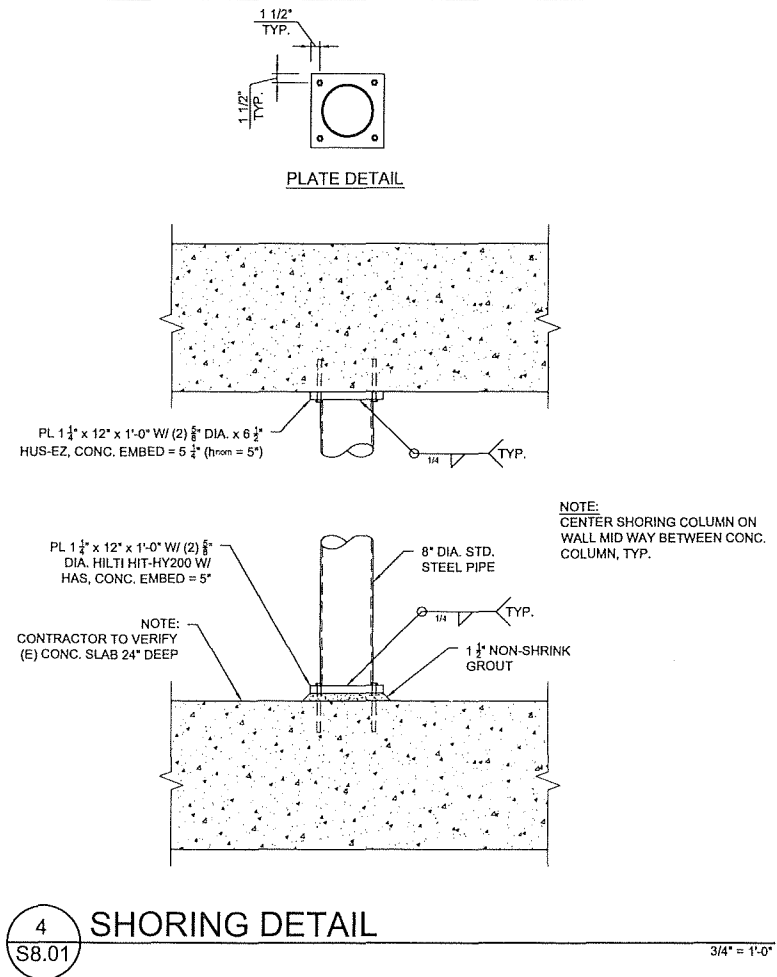
REV.	DATE	DESCRIPTION

SHEET CONTENT
ELEVATION

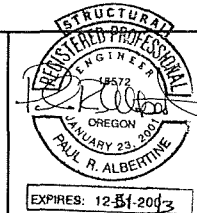
SILO OPENING SCHEDULE			
Elev. (Ft.)	Angle (Deg)	A (ArcLength)	B (Chord)
0.00	73.7398	12'-10.4"	12'-0"
1.00	73.5161	12'-10.0"	12'-11.625"
2.00	72.8471	12'-8.6"	12'-10.5"
3.00	71.7385	12'-6.2"	12'-8.625"
4.00	70.1993	12'-3.0"	12'-6"
5.00	68.1692	11'-10.8"	11'-2.5"
6.00	65.6654	11'-5.5"	11'-10.125"
7.00	62.6016	10'-11.1"	10'-4.6875"
8.00	59.0032	10'-3.6"	10'-10.1875"
9.00	54.7272	9'-6.6"	9'-2.3125"
10.00	49.8429	8'-8.0"	8'-4.75"
11.00	43.5662	7'-7.2"	7'-5.0625"
12.00	36.0118	6'-3.4"	6'-2.1875"
13.00	25.7302	4'-5.9"	4'-5.4375"
14.00	0.0000	0'-0.0"	0'-0"



2 SMALL ARCH OPENING DETAIL



4 SHORING DETAIL



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SILO MODIFICATIONS

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REV.	DATE	DESCRIPTION

SHEET CONTENT
DETAILS