

**AGENDA**

**HISTORIC LANDMARKS COMMISSION**

**SPECIAL MEETING**

December 15, 2021

4:00 p.m.

VIA ZOOM

<https://us06web.zoom.us/j/83854300640?pwd=U1NlclJUMm96RFFFTG5memtZRnRaUT09>

Meeting ID: **838 5430 0640** Passcode: **651942**

Dial by your location: 1-669-900-6833 or 1-253-215-8782

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES – July 28, 2021
6. PUBLIC COMMENT
7. STAFF COMMENTS
8. COMMISSIONER COMMENTS
9. PUBLIC HEARING
  - A. HLC 192-21, North Wasco County School District 21, 220 E. 10<sup>th</sup> Street  
Request: Approval to site and construct a covered pavilion between the High School and Kurtz Gymnasium.
  - B. HLC 193-21, Todd Carpenter and Carla McQuade, 213 E. Second Street  
Request: Approval to modify previously approved HLC Applications #164-19 and #177-20 for rear façade restoration of the Recreation building.
10. RESOLUTION
  - A. Resolution HLC 181-21: Approval of HLC 192-21, North Wasco County School District 21
  - B. Resolution HLC 182-21: Approval of HLC 193-21, Todd Carpenter and Carla McQuade

11. ADJOURNMENT

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This meeting conducted via Zoom.

Prepared by/  
Paula Webb, Secretary  
Community Development Department

**MINUTES**

**HISTORIC LANDMARKS COMMISSION MEETING**

July 28, 2021  
4:00 p.m.

VIA ZOOM

**PRESIDING:** Robert McNary, Chair

**COMMISSIONERS PRESENT:** Bev Eagy, Forust Ercole (arrived at 4:03), Doug Leash

**COMMISSIONERS ABSENT:** Eric Gleason

**OTHERS PRESENT:** City Councilor Scott Randall, Museum Commission Representative Julie Reynolds

**OTHERS ABSENT:**

**STAFF PRESENT:** Senior Planner Dawn Marie Hert, CDD Director Alice Cannon, City Attorney Jonathan Kara, Associate Planner Joshua Chandler, Secretary Paula Webb

**CALL TO ORDER**

The meeting was called to order by Chair McNary at 4:00 p.m.

**PLEDGE OF ALLEGIANCE**

Commissioner Leash led the Pledge of Allegiance.

**APPROVAL OF AGENDA**

It was moved by Leash and seconded by Eagy to approve the agenda as presented. The motion carried 4/0, Eagy, Ercole, Leash and McNary voting in favor, none opposed, Gleason absent.

**APPROVAL OF MINUTES**

It was moved by Ercole and seconded by Leash to approve the minutes of June 23 2021 as written. The motion carried 4/0, Eagy, Ercole, Leash and McNary voting in favor, none opposed, Gleason absent.

### **STAFF COMMENTS**

Senior Planner Hert provided updates:

- A final mural design was presented for HLC 187-21. The design includes a cherry tree with swing and oversized cherries. The tree is accompanied by a small set for wings for interaction with children or pets.
- Grant funds originally intended for a workshop, will now be used for a table book: “All Together The Dalles.”
- The Otocast Walking Tour will go live next week. Maps, photos and detailed information will be available in the app. Narrative is provided by Karl Vercoouteren, editing is provided by Carolyn Wood.

### **COMMISSIONER COMMENTS**

Commissioner Leash noted St. Peter’s Landmark is in need of docents.

Commissioner Eagy stated the Trevitt House Air BNB was included in the top 300 most hospitable Air BNBs.

Chair McNary stated there will be a Wasco County Fair.

Carolyn Wood, 1709 Liberty Way, The Dalles

Ms. Wood stated she was the docent on July 27, 2021, and had 19 visitors at St. Peter’s Landmark.

Museum Representative Reynolds said she is training to be a docent at the Fort Dalles Museum.

### **PUBLIC HEARING**

HLC 190-21, Mark Powell, 311 Union Street

Request: Approval to replace the entrance doors, remove exterior lights on second story, and restore the balcony railing above the doors on the façade facing W. Third Street, as well as add a porch roof and railing on the façade facing Union Street.

Chair McNary read the rules of a public hearing. He then asked if any Commissioner had ex parte contact, conflict of interest, or bias which would prevent an impartial decision. Hearing none, he opened the public hearing at 4:22 p.m.

Senior Planner Hert presented the staff report.

Proponent

Mark Powell, PO Box 896, The Dalles

Mr. Powell intends to restore the building’s historically correct appearance. The Third Street entrance will provide a view into a historically correct interior with a chandelier, leather couches and spittoons. The door will be replaced to improve weatherproofing. Existing anchor points will be used to replace the porch over the Union Street entrance. These items will benefit both the business and the building, so it can last another 120-140 years. Powell hopes to restore the

clock tower next spring or summer.

Commissioner Leash commented it was admirable that Mr. Powell would spend the time and money to restore the building. Commissioner Eagy thanked Powell for all he is doing for the community.

There was no testimony from opponents.

Chair McNary closed the public hearing at 4:35 p.m.

Commission consensus was in favor of the doors with scroll work.

It was moved by Leash and seconded by Eagy to approve HLC 190-21 with the conditions of approval. The motion carried 4/0, Eagy, Ercole, Leash and McNary voting in favor, none opposed, Gleason absent.

HLC 191-21, Columbia Gateway Urban Renewal Agency, 401-407 E. Second Street

Request: Approval to demolish a non-contributing historic building.

Chair McNary stated the rules of a public hearing were still in effect. He then asked if any Commissioner had ex parte contact, conflict of interest or bias which would prevent an impartial decision.

Chair McNary asked why demolition of this structure came before the Commission. Senior Planner Hert replied the structure is located in the National Historic District. Although considered “non-contributing historic,” it still must go before the Commission due to it’s location in the Historic District.

Chair McNary opened the public hearing at 4:48 p.m.

Senior Planner Hert presented the staff report.

Director Cannon represented the Columbia Gorge Urban Renewal Agency. She noted during a recent walk-through of the property there was evidence of new cracks and a portion of the ceiling had fallen. Winter maintenance was completed to ensure safety. It was decided a shovel ready site would have more value than restoration of the existing structure.

Chair Gary Grossman, Urban Renewal Agency Board, 1827 Quinton Street, The Dalles

Mr. Grossman stated two developers had determined redevelopment was cost prohibitive. This property could be a centerpiece of the downtown. He urged the Commission to approve demolition.

Todd Carpenter, 216 E. Fifth Street, The Dalles

Mr. Carpenter is in favor of demolition. We are losing service industry workers to metro areas; affordable housing downtown is important. The center of town is a great area to upgrade.

John Fredrick, Urban Renewal Agency Board, PO Box 318, The Dalles

Mr. Fredrick is in favor of demolition.

There was no testimony from opponents.

## MINUTES

Historic Landmarks Commission Meeting

July 28, 2021

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### Courtney Christianson, 300 Federal Street, #205, The Dalles

Ms. Christianson was not opposed to demolition. She shared her concerns regarding safety and potential contaminants. Christianson referred to her email submitted July 23, 2021, Exhibit 1.

Chair McNary noted Ms. Christianson's concerns were outside the scope of the Historic Landmarks Commission. Senior Planner Hert agreed with Chair McNary, but noted best practices would be followed during demolition.

Director Cannon stated the Urban Renewal Agency had not yet entered into a contract for demolition. Before an invitation to bid, an archeological investigation will be completed. After the invitation to bid, the first steps will be removal of the underground storage tank, asbestos and other hazards.

### Carolyn Wood, 1709 Liberty Way, The Dalles

Ms. Wood is not opposed to demolition. She registered her concern there is a plan to replace or redo the Lewis and Clark mural on the side of the building. Senior Planner Hert received an email from Scott Stephenson, Director, The Dalles Art Center. Stephenson, in conjunction with the Mural Society, completed assessments of all the murals. Their decision was to move forward with current art processes, not replicate the existing mural. Director Cannon stated her willingness to explore possibilities for relocation or replacement.

Chair McNary closed the public hearing at 5:21 p.m.

Commission consensus was in favor of demolition.

It was moved by Ercole and seconded by Leash to approve HLC 191-21 of the Columbia Gateway Urban Renewal Agency to demolish a non-contributing historic building located at 401-407 E. Second Street with two conditions of approval. The motion carried 4/0, Eagy, Ercole, Leash and McNary voting in favor, none opposed, Gleason absent.

## **RESOLUTION**

### Resolution HLC 179-21: Approval of HLC 190-21, Mark Powell

It was moved by Leash and seconded by Eagy to approve Resolution 179-21 approving Application HLC 190-21 with eight conditions of approval. The motion carried 4/0, Eagy, Ercole, Leash and McNary voting in favor, none opposed, Gleason absent.

### Resolution HLC 180-21: Approval of HLC 191-21, Columbia Gateway Urban Renewal Agency

It was moved by Leash and seconded by Ercole to approve Resolution 180-21 approving Application HLC 191-21 with two conditions of approval. The motion carried 4/0, Eagy, Ercole, Leash and McNary voting in favor, none opposed, Gleason absent.

## **ADDITIONAL COMMENTS**

Senior Planner Hert stated in-person meetings would not resume prior to September.

**ADJOURNMENT**

Being no further business, the meeting adjourned at 5:28 p.m.

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Submitted by/  
Paula Webb, Secretary  
Community Development Department

SIGNED:

\_\_\_\_\_  
Robert McNary, Chair

ATTEST:

\_\_\_\_\_  
Paula Webb, Secretary  
Community Development Department

DRAFT

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**From:** [Courtney Christenson](#)  
**To:** [Dawn Hert](#)  
**Subject:** Feedback from a downtown resident regarding Tony's demolition  
**Date:** Friday, July 23, 2021 4:09:27 PM

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Ms. Hert,

I'd like to contribute a few comments and concerns for the upcoming hearing regarding demolition of the Tony's Building downtown. Not certain how to approach this, but I have sent these remarks to every member of the Landmarks Commission, as well as the few folks I know on the Planning Commission and Urban Renewal.

My name is Courtney Christenson; I lease at the Federal Street Lofts in the Honald Building directly facing Tony's (photo of our vantage and close proximity attached). At this point, I am neither for or against this demolition — I don't have enough information yet to have a position on this. But I do have a number of concerns I'd like to share:

1. If demolition is to occur, what are the safety measures that will be taken for those of us in very close proximity? I am concerned about air quality, the possibility of asbestos, and airborne particulates in general. My 10 year old son has a seizure disorder, which increases his risk factors for all sorts of exposures.
2. What should we expect in terms of noise impact and livability during the demolition? What is the duration of a project like this? I work from a home office in the Honald.
3. Post-demolition and the future of the lot: as a resident of the downtown core, downtown renewal is very close to me, literally and figuratively. Prior to residing at the Honald, we also lived for years on 4th street between Laughlin and Federal in an 1890 Victorian. A thriving downtown which preserves its unique historic character and remains livable to residents are all important criteria to me. How can I get involved as a downtown resident to ensure that any new development on the site has a positive economic impact while also being mindful of existing downtown residents? Namely:
  - a. Building height: I understand there are currently no building height restrictions downtown. What can I do to advocate for protecting our Gorge view in the Honald? At the risk of NIMBY-ism, one of the things that makes this location so special is our glimpse of the hills and river. I would like any new development on the lot to consider the investment of the owners and renters in the Honald. Whenever new development obstructs views of the Gorge, we eliminate one of the single best qualities of living in The Dalles.
  - b. Parking impact: As it stands, I often need to park several blocks from my home. The current downtown parking ordinance has residents relocate our vehicles out of the downtown zone from 9-5. The city needs to be purposeful and thoughtful about parking impacts for any new development on the block, whether commercial or residential (or both, as may be the case). I appreciate the intent of



reserving parking downtown during the day for retail consumers, but if our downtown core is also meant to be livable for residential uses, planning for the lot must include parking solutions.

Thank you for reading. I am eager and willing to be an involved downtown resident on these matters and am interested in hearing about any opportunities to be useful on this.

Courtney Christenson  
Resident at 300 Federal St  
Mobile: (310) 403 - 8460

DRAFT

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**STAFF REPORT**  
**HISTORIC LANDMARKS REVIEW #192-21**

**TO:** The Dalles Historic Landmarks Commission

**FROM:** Dawn Marie Hert, Senior Planner  
Community Development Department

**HEARING DATE:** Wednesday, December 15, 2021

**ISSUE:** Request to site and construct a covered pavilion between The Dalles High School and the Kurtz Gymnasium.

**SYNOPSIS:**

|                 |  |
|-----------------|--|
| APPLICANT       | Kara Flath of North Wasco County School District #21 |
| PROPERTY OWNER  | North Wasco County School District #21               |
| LOCATION        | 220 East 10th Street                                 |
| ZONING          | RH/CFO   |
| EXISTING USE    | The Dalles High School                               |
| SURROUNDING USE | Residential  |
| HISTORIC STATUS | Locally Landmarked                                   |

**NOTIFICATION:** Published advertisement in local newspaper; notification to property owners within 100 feet, SHPO.

**RECOMMENDATION:** Approval, with conditions, based on the following findings of fact.

**BACKGROUND:** The historic name of this property is The Dalles High School. In 1915 the original The Dalles High School was constructed, the current building/campus was constructed in 1940 to replace the original structure that was destroyed by fire in February of that year. The campus has expanded over the years to provide for a larger student body and extra-curricular activities.

On May 26, 2021, the Historic Landmarks Commission approved seismic upgrades to the gymnasium through application HLC#186-21.

The location of the proposed pavilion has been used as outdoor seating/tables for students and is regularly used as a staging area for students using the school’s busing. The proposed structure will provide some shelter for these students. The design of the pavilion is similar to the rounded projection on the main school entrance.

**ANALYSIS:** The Historic Landmarks Commission is responsible for conducting hearings dealing with proposed alterations to historic buildings. The Dalles Municipal Code, Title 11 Planning, Chapter 11.12 – Historic Resources provides process as well as established design guidelines to assist the Commission in making these decisions. The purpose of the Historic Landmarks Commission, the Historic Code and the review criteria are to:

- *Protect historic and cultural resources from destruction, inappropriate alteration, and incompatible adjacent development;*
- *Stabilize and improve property values in historic districts and citywide;*
- *Enhance the city’s attractiveness to visitors and residents, and stimulate business, industry and tourism;*
- *Educate The Dalles’ citizens and visitors concerning the city’s heritage;*
- *Preserve the historic housing stock of The Dalles;*
- *Comply with The Dalles comprehensive Plan regarding historic resources under Statewide Planning Goal 5.*

**A. THE DALLES MUNICIPAL CODE – TITLE 11.12 – HISTORIC RESOURCES – CODE RELATING TO HISTORIC RESOURCES WITHIN THE CITY OF THE DALLES.**

Section 11.12.070, Subsection A. Review Criteria:

3. “Secretary’s Standards. Commission decisions shall be based on the Secretary of the Interior’s Guidelines for the Treatment of Historic Properties.” The following are pertinent standards from the “Guide”.

1. *A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

**FINDING A1:** There are no plans for modifications to the existing school use of this property. Criterion does not apply.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alterations to features and spaces that characterize a property shall be avoided.*

**FINDING A2:** The historic inventory does not specifically call out the landscaped area between the main building and the gymnasium. The proposed alteration to the landscaped space is minor and does not characterize the property. Criterion met.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

**FINDING A3:** This property is recognized as a physical record of its time. The proposed addition of a stand-alone pavilion will not create a false sense of historic development. Criterion met.

4. *Changes to a property that have acquired historic significance in their own right shall be retained and preserved.*

**FINDING A4:** No such changes are proposed with this application. Criterion does not apply.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

**FINDING A5:** This proposal does not seek to alter any of the above. Criterion does not apply.

6. *Deteriorating historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.*

**FINDING A6:** This proposal seeks to construct a pavilion that will not be attached to the historic buildings onsite. The colors and materials will match the historically landmarked buildings. The applicant is proposing a metal roof system which is similar to the 1970's addition of the west wing. Other freestanding accessory type buildings have either a flat roof with a parapet or a wood shake shingle. Criterion met.

7. *Chemical or physical treatments, such as sandblasting that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

**FINDING A7:** The applicant is not proposing any chemical or physical treatments to any of the historic buildings onsite. Criterion does not apply.

8. *Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

**FINDING A8:** There will be minimal excavation with the construction of the new pavilion. The location of the pavilion has been historically landscaped with grass and was recently covered with concrete. No archaeological resources are expected to be affected by this proposal. However, the applicant is responsible to notify the appropriate authorities if any archaeological resources are found. This will be addressed as a condition of approval.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

**FINDING A9:** The proposed pavilion will be separate from the historic structures and differentiated from the old. The size and architectural features are compatible with the existing historic resources. Criterion met.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

**FINDING A10:** The adjacent construction will not destroy historic materials that characterize the property as it will not be attached to the historic structures. The essential form and integrity of the historic property's environment will be unimpaired if removed in the future. The land between the two buildings could be returned to a landscaped area. Criterion met.

**CONCLUSIONS:** In all respects this application meets the standards of the Secretary of the Interior and The Dalles Municipal Code, Title 11-12 Historic Resources with the following conditions:

**Proposed Conditions of Approval:**

1. Work will be completed in substantial conformance to the proposals as submitted and reviewed.
2. In the event there are discovered archeological resources or materials during the project, the discovery shall be professionally evaluated prior to continued excavation at the site.



**City of The Dalles**  
**Community Development Dept**  
 313 Court Street  
 The Dalles, OR 97058  
 (541) 296-5481, ext. 1125  
 www.thedalles.org

Application #: HLC 192-21  
 Filing Fee: \$85.00  
 Receipt #: 245352  
 Deemed Complete: \_\_\_\_\_  
 Ready to Issue: \_\_\_\_\_  
 Date Issued: \_\_\_\_\_

Received: 11-9-2021

## Historic Landmarks Application

This application is required for all new construction, modifications, and/or alterations to the exterior of certified historic structures and all structures within certified historic districts and reviewed by the City of The Dalles' Historic Landmarks Commission. The review criteria for each application are the Secretary of the Interior's Standards. These standards have been adopted by The Dalles Municipal Code Chapter 11.12 Historic Resources as local review criteria.

**Applicant**

Name: Kara Flath  
 Address: 3632 W 10th Street  
The Dalles, OR 97058  
 Phone #: 541-506-3424  
 Email: flathk@nwasco.k12.or.us

**Legal Owner** (if different than Applicant)

Name: North Wasco County SD #21  
 Address: The Dalles, OR 97058  
The Dalles, OR 97058  
 Phone #: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Property Information**

Address: 220 E 10th Street  
 Zone: RH

1N 13E 3 CB 10500  
 Map and Tax Lot: ~~1N 13E G CB 10500~~

Current Use: The "bullpen" has picnic tables and set up for recreational activities.

List any known archeological resources on site:

No known resources.

**Department Use Only**

Historic Name (if any): \_\_\_\_\_  
 Year(s) Built: \_\_\_\_\_ Historic Building/Site:  Yes  No  
 Historic Classification: \_\_\_\_\_  
 Historic District:  Trevitt's Addition  Downtown Commercial

**Project Information**

- New Construction    
  Expansion/Alteration    
  Demolition    
  Landmark Designation

Briefly describe the proposed project:

The district has begun work to level the ground, concrete the setting, add a guard rail for safety. This change would add a covered pavilion area for students to have alternative locations to stay on campus and eat. In addition, the district is working on obtaining a food truck to make it easier for students to access meals quickly and encourage students to eat meals on campus.

Will the use change as a result of this application?      Yes      No

**Please submit the following information with this application:**

- Narrative #1: Description of the project consistent with the Secretary of Interior’s Standards for Rehabilitation (page ?)
- Narrative #2: Explanation of the project consistent with the associated project type (pages ?):
  - Landmark Designation (#2-A)
  - Alterations/New Construction/Relocation (#2-B)
  - Demolition (#2-C)
- Narrative #3: Description of the project consistent with the associated district design standards: New Construction and Alteration (page ?)
  - The Dalles Commercial Historic District (#3-A)
  - Trevitt’s Addition (#3-B)
- Narrative #4, Signs (if applicable): Description of the project consistent with the associated historic sign guideline criteria (page ?)
- Elevation drawings (existing vs. proposed)
- Current color photographs of the structure and/or site
- List of all proposed materials/colors (product brochures recommended)
- Site Plan (drawn to scale)
- Historic photographs/documentation of the structure and/or site (encouraged)
- Copy of all associated Historic Inventory information

Signature of Applicant

*Kara Flath*

11/9/21

Signature of Property Owner

*Kara Flath*

11/9/21

Date  
2/11

Date



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**LW-A-HEX30-04**  
THE DALLES HIGH SCHOOL  
THE DALLES, OR

**RCP SHELTERS, INC.**  
PO BOX 25, STUART, FL 34995-0025  
2100 SE RAYS WAY, STUART, FL 34994  
SHELTERS ■ FAVILONS ■ CONCESSIONS ■ FABRIC SHADES  
RESTROOMS ■ BANDSHELLS ■ MINI-SHELTERS ■ DUGOUTS ■ FABRIC SAIL  
Phone 772-288-3600 Fax 772-288-0207  
E-mail - info@rcpselters.com  
www.rcpselters.com



PROJ. NO. 21-260-A  
DRAWN TJE 10-15-21  
CHKD:  
REV.1  
REV.2  
REV.3  
REV.4  
SHOP DWG NO. 12991 R1  
EFC JOB NO. 14113 R  
SHEET NO.

**CONTRACT NOTE:**  
Reference accepted proposal and/or executed contract for identification of items furnished. Any item not specifically included shall be provided by owner, installer or others. Some items are specifically noted as N.I.C. (not in contract).

**LAMINATED WOOD SPECIFICATIONS:**  
SPECIES SOUTHERN PINE  
LAMINATION THICKNESS 1" NOMINAL @ A-1, 2" NOMINAL @ B-1, B-2 & O-L-1  
STRESS COMBINATION SEE MEMBER DETAILS  
ADHESIVE RESORCINOL  
APPEARANCE GRADE ARCHITECTURAL  
FINISH SEAL & STAIN, COLOR =  
PROTECTION INDIVIDUAL WRAP  
PRESERVATIVE TREATMENT CCA 0.4 PCF (MIN) RETENTION @ A-1 & O-L-1, TREATED PRIOR TO GLUING  
HARDWARE PER DETAILS & LIST

**SOLID TIMBER SPECIFICATIONS:**  
2 x 4 Nailer #1 SYP, S4S, KD, Seal & Stain, color =  
2 x 6 Fasia #1 AYC, S4S, KD, Seal & Stain, color =  
2 x 8 Roof Deck #1 SYP, T&G, S/L, CM, EVIS, KD, Seal & Stain, color =  
Deck furnished in specified lengths (SL), not precision end trimmed (PMT), field joint required.

**ROOF UNDERLAYMENT SPECIFICATIONS:**  
ONE LAYER OF SYNTHETIC UNDERLAYMENT  
SYNTHETIC UNDERLAYMENT TO CONFORM TO ASTM D226 TYPE II OR ASTM D4869 TYPE IV.  
ATTACH UNDERLAYMENT PER MANUFACTURER'S RECOMMENDATIONS  
OR BUILDING CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.

**WOOD SHOP NOTES:**  
1. Materials, Manufacture and Quality Control of glulam shall be in conformance with "American National Standard for Wood Products-Structural Glued Laminated Timber ANSI A190.1, 2017".  
2. Members shall be marked (in an unseen location) with an ATC or APA/EAWS Quality Mark and, in addition, an ATC or APA/EAWS Certificate of Conformance shall be provided to indicate conformance with "ANSI A190.1-2017".  
3. All holes in wood to be 1/8" unless noted otherwise.  
4. All countenances to be 2" 1/4" unless noted otherwise.  
5. A denotes edges to be chamfered for welds.

**STEEL & HARDWARE SHOP NOTES:**  
1. All steel plate to be ASTM A572 Grade 50.  
2. All welding is to be done in accordance with latest AWS standards. If welds are not specified, all welds are to develop full strength of all component parts.  
3. All bolts to be ASTM A307A. Exception: Anchor bolts as noted.  
4. All nuts to be ASTM A307A.  
5. All holes in steel to be 1/8" unless noted otherwise.  
6. All fabricated steel to be powder coated, color selected by owner. Exception: Base shoe (BK-1) to be hot-dipped galvanized (HDG).  
7. Hardware (bolts, nuts, washers, etc) to be hot-dipped galvanized (HDG). Shop to verify hole tolerances and tolerances of threaded parts for compatibility of the galvanized parts only.  
8. All shear plates are to meet manufacturing standards as specified in the 2005 edition of the National Design Specifications for Wood Construction.  
9. Shear plates to be shop attached.

**CONCRETE NOTES:**  
1. Footings are to be on undisturbed, natural soil or engineered fill and to be compacted to 95% Proctor density.  
2. Concrete foundation, re-bar, leveling nuts, groud & anchor bolts (if required) are N.I.C.  
3. All concrete reinforcing steel to be grade 60, deformed bars.  
4. F<sub>c</sub> of concrete to be 3000 psi @ 28 days.  
5. All concrete work to be in accordance with latest ACI code.  
6. Assumed allowable soil bearing pressures: 1500 psf vertical bearing, 150 psf passive lateral bearing. It is the Owner's responsibility to verify that the allowable soil bearing values at the site meet or exceed these assumed values. If the actual values are lower than the assumed values, the foundations must be redesigned (N.I.C.).  
7. Leveling nuts have been shown under column base plate. Adjust leveling nuts as required to ensure all column bases are at the same elevation. Fill void between column base plate and top of foundation with non-shrink grout.  
8. Grout shall be non-shrink, non-metallic, factory pre-mixed grout in accordance with ASTM C1107 with F<sub>c</sub> of not less than 9,000 psi.  
9. Reinforcement shall be securely held in place while placing concrete. If required, additional bars, stirrups or chairs shall be provided to furnish support for bars.

**ERECTION NOTES:**  
All wood members must be properly braced until the complete structural system has been constructed. Correction of minor misfits and a reasonable amount of reworking or alignment with drift pins will be considered a legitimate expense of erection.  
In the event of error, defect in materials, and/or workmanship of shop work which prevents proper assembling and fitting up of parts by the moderate use of drift pins, or reaming, immediately report to the seller and obtain seller's approval of the method of correction.  
Pre-drill wood for screws and nails if necessary to avoid splitting.  
Bolts are to be snug tight. Torque measurement is not required.

**NOTE:** This building has been designed as a free standing, open structure. If walls are to be added, or if the building is to adjoin another structure, or if other modifications are to be made, the structure must be re-engineered prior to these modifications (by others).

**DESIGN CRITERIA:**  
2018 Oregon Structural Specialty Code w/ 2018 IRC  
Type of Construction: Type V-B  
Occupancy Classification: Assembly A-3  
Building Risk Category II  
Mean Roof Height = 10'-0"  
Building Volume = 5,850 ft<sup>3</sup>  
No. of occupants = 39 (15 ft<sup>2</sup> per person)

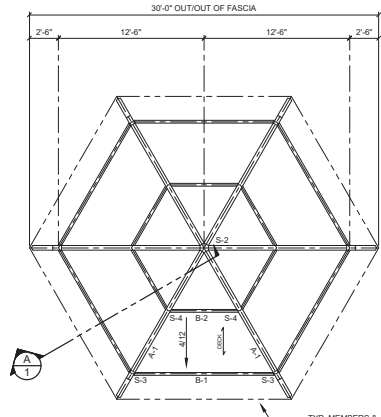
**ROOF DL**  
Metal Roofing 0.9 psf  
Underlayment 0.2 psf  
2" Nom. T&G Deck 4.4 psf  
Misc. 5.5 psf  
Total = 7.0 psf + weight of framing

**FLOOR LL**  
L = 100 psf  
**ROOF LL**  
L = 20 psf

**ROOF SL**  
P<sub>s</sub> = 22 psf (Ground Snow)  
P<sub>f</sub> = 0.7 \* P<sub>s</sub> \* C<sub>e</sub> \* C<sub>t</sub> \* C<sub>s</sub>  
C<sub>e</sub> = 1.0, C<sub>t</sub> = 1.2, L<sub>s</sub> = 1.0  
P<sub>f</sub> = 18.5 psf  
R = P<sub>s</sub> \* P<sub>f</sub> \* C<sub>e</sub>  
4:12 pitch, C<sub>e</sub> = 1.0, P<sub>s</sub> = 20 psf on roof

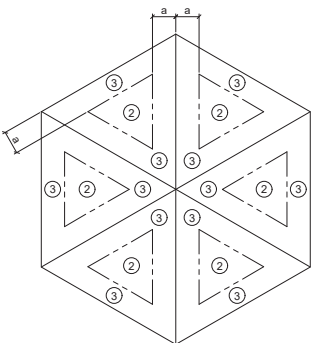
**WIND LOAD**  
V<sub>w</sub> = 59 mph, V<sub>ult</sub> = 77 mph  
Exposure 'C', Open Building w/ G<sub>wf</sub> = 0  
Component & Cladding Ultimate Wind Pressures: See 'ROOF PLAN' this Sheet

**SEISMIC:**  
I = 1.0  
S<sub>s</sub> = 0.457, S<sub>i</sub> = 0.211  
Site Class D (assumed)  
S<sub>DC</sub> = 0.437, S<sub>DS</sub> = 0.306  
Seismic Design Category D  
Equivalent Lateral Force Procedure  
Timber Arches  
R = 1.5, C<sub>e</sub> = 0.291, p = 1.3, V = 1,900#



**ROOF FRAMING PLAN**  
SCALE: 3/16" = 1'-0"

**ERECTOR NOTE:**  
SEE METAL BECK DETAILS FOR ATTACHMENT OF CAP/TRIM PIECES.



**ROOF PLAN**  
a = 3'-0"

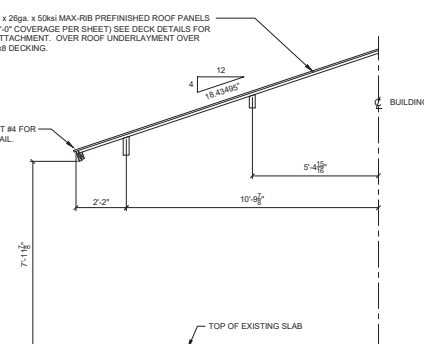
ULTIMATE PRESSURES FOR COMPONENTS & CLADDING

| ZONE | PRESSURE | SUCTION  |
|------|----------|----------|
| 2    | 27.3 PSF | 25.1 PSF |
| 3    | 35.3 PSF | 32.5 PSF |

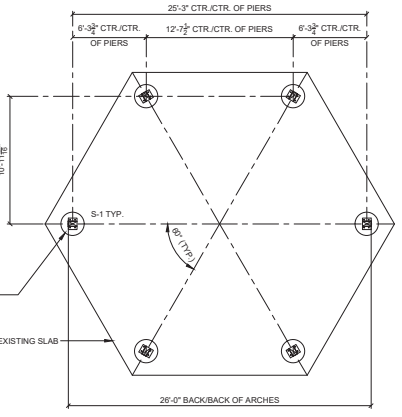
**METAL ROOFING NOTES:**  
CLEAR PROTECTIVE FILM MUST BE REMOVED FROM ALL METAL PRIOR TO INSTALLATION.  
METAL ROOFING SHOULD BE STORED INDOORS OR WHEN STORED OUTSIDE IT SHOULD BE STORED UP ON BLOCKS WITH FINISHED FACE UP AND SLOPED TO DRAIN.

DURING INSTALLATION, ALL METAL SHAVINGS MUST BE REMOVED IMMEDIATELY TO AVOID RUSTING OF PANELS.

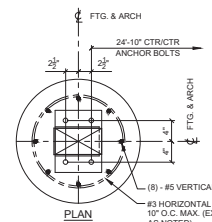
**SECTION A**  
SCALE: 3/8" = 1'-0"



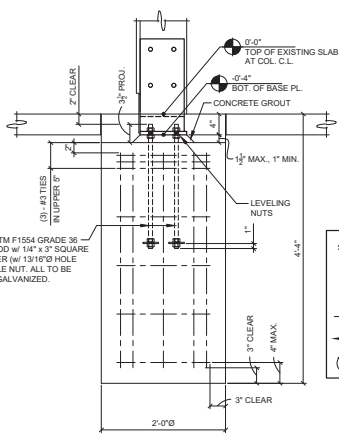
**ARCH BASE REACTIONS:**  
V<sub>COL,UB</sub> = 3,100#  
V<sub>BE,TL-OVERHUNG,UP,RT</sub> = -120#  
H<sub>BE,TL-OVERHUNG,RT</sub> = 700#  
H<sub>BE,TL-OVERHUNG,LT</sub> = 370#  
M<sub>3,T,DL-OVERHUNG</sub> = 1,030#-ft



**FOUNDATION PLAN**  
SCALE: 3/16" = 1'-0"



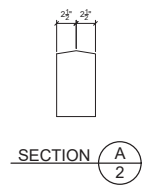
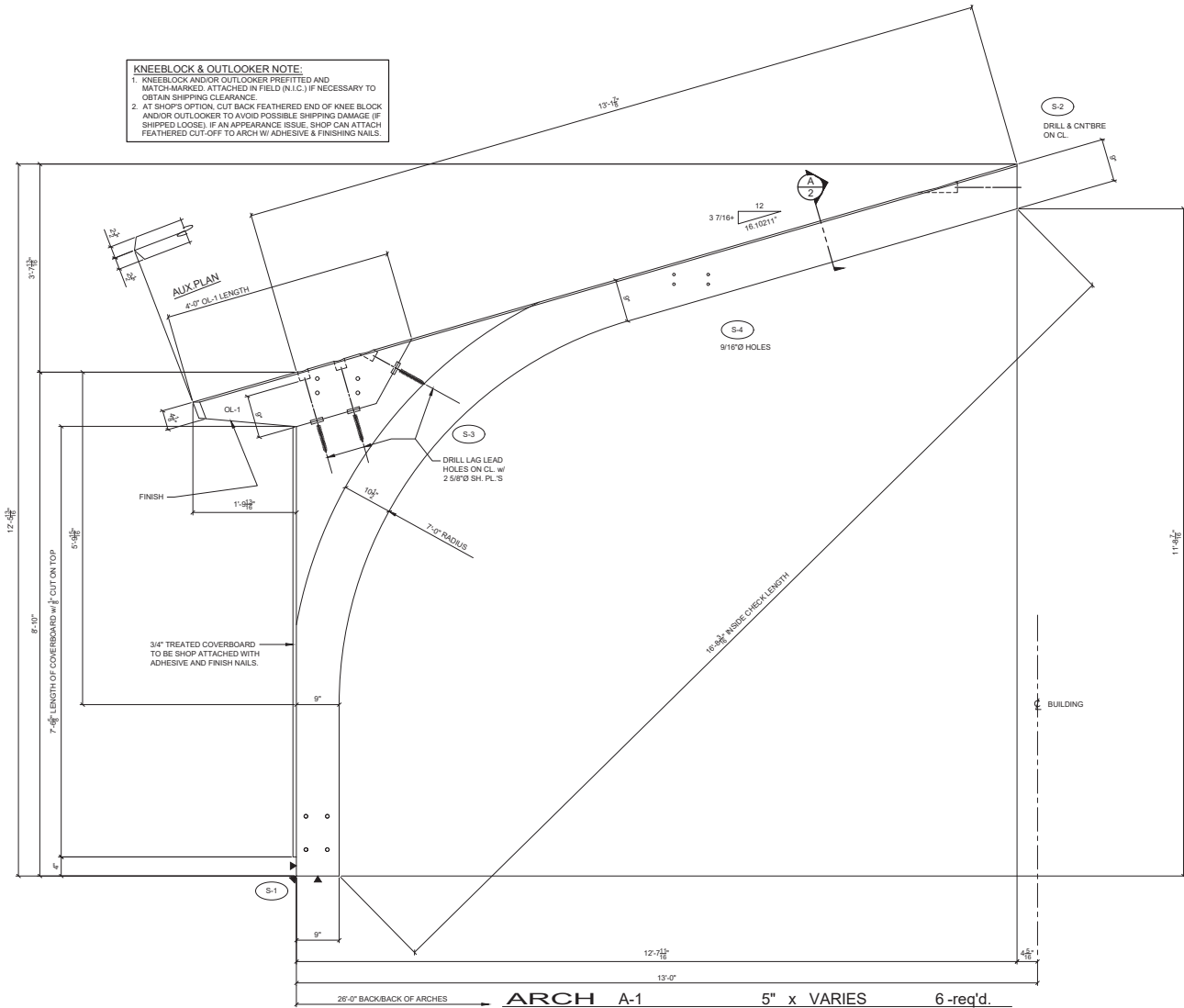
**PLAN**



**FOUNDATION DETAIL**

SEE FOUNDATION DETAIL ON THIS SHEET.

**KNEEBLOCK & OUTLOOKER NOTE:**  
 1. KNEEBLOCK AND/OR OUTLOOKER PREFITTED AND MATCH-MARKED. ATTACHED IN FIELD (N.I.C.) IF NECESSARY TO OBTAIN SHIPPING CLEARANCE.  
 2. AT SHOP'S OPTION, CUT BACK FEATHERED END OF KNEE BLOCK AND/OR OUTLOOKER TO AVOID POSSIBLE SHIPPING DAMAGE (IF SHIPPED LOOSE). IF AN APPEARANCE ISSUE, SHOP CAN ATTACH FEATHERED CUT-OFF TO ARCH W/ ADHESIVE & FINISHING NAILS.



|                           |                       |             |          |
|---------------------------|-----------------------|-------------|----------|
| 26'-0" BACKBACK OF ARCHES | <b>ARCH A-1</b>       | 5" x VARIES | 6-req'd. |
|                           | 24F-V5                | TREATED     |          |
|                           | <b>OUTLOOKER OL-1</b> | 5" x 11"    | 6-req'd. |
|                           | 47(1:8)               | TREATED     |          |

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 Phone 772-288-3600 Fax 772-288-0207  
 www.rcpselters.com E-mail: info@rcpselters.com



|              |              |
|--------------|--------------|
| PROD. NO.    | 21-260-A     |
| DRAWN        | TJE 10-15-21 |
| CHKD:        |              |
| REV 1:       |              |
| REV 2:       |              |
| REV 3:       |              |
| REV 4:       |              |
| SHOP DWG NO. | 12991 R2     |
| ESC. JOB NO. | 14113 R      |
| SHEET NO.    |              |

2 OF 4

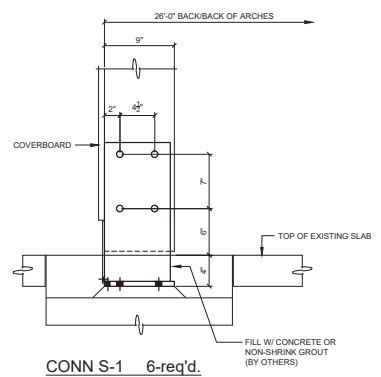
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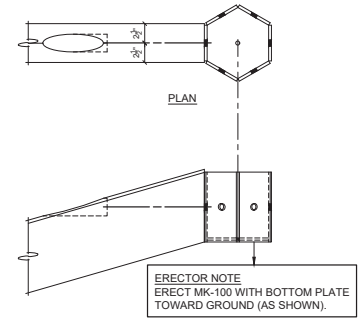


PROJ. NO. 21-260-A  
DRAWN TJE 10-15-21  
CHKD:  
REV 1:  
REV 2:  
REV 3:  
REV 4:  
SHOP DWG NO. 12991 R3  
ESC. JOB NO. 14113 R  
SHEET NO.



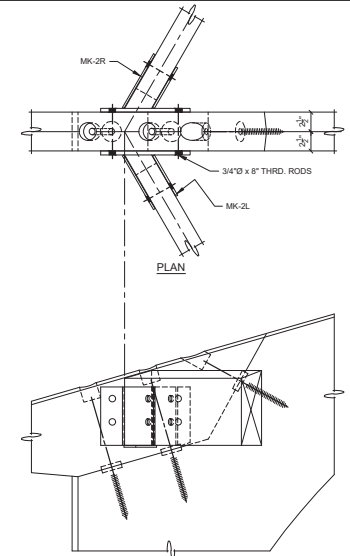
**CONN S-1 6-req'd.**

- 1- MK-1 WELDED ASSEMBLY
- 4- 3/4"Ø x 1/2" BOLT
- 4- 3/4"Ø HEX NUT



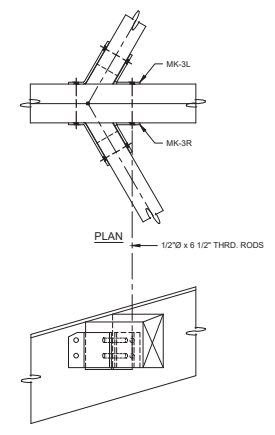
**CONN S-2 1-req'd.**

- 1- MK-100 WELDED COMPRESSION RING
- 6- 3/4"Ø x 1" BOLT
- 6- 3/4"Ø WASHER
- 6- 3/4"Ø HEX NUT



**CONN S-3 6-req'd.**

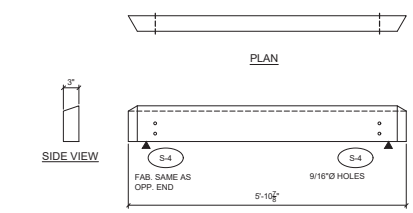
- 1- MK-2R WELDED ASSEMBLY
- 1- MK-2L WELDED ASSEMBLY
- 2- 3/4"Ø x 7" BOLT
- 4- 3/4"Ø x 4 1/2" BOLT
- 2- 3/4"Ø x 8" THREADED ROD
- 10- 3/4"Ø HEX NUT
- 1- 3/4"Ø x 12" LAG
- 2- 3/4"Ø x 16" LAG
- 3- 3/4"Ø WASHER
- 6- 2 5/8"Ø SHEAR PLATE



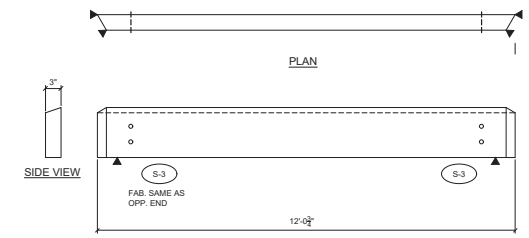
**CONN S-4 6-req'd.**

- 1- MK-3R WELDED ASSEMBLY
- 1- MK-3L WELDED ASSEMBLY
- 2- 1/2"Ø x 6 1/2" BOLT
- 4- 1/2"Ø x 4 1/2" BOLT
- 2- 1/2"Ø x 6 1/2" THREADED ROD
- 10- 1/2"Ø HEX NUT

| HARDWARE PARTS LIST |       |  |                  |
|---------------------|-------|--|------------------|
| Quantity            | Notes | HARDWARE DESCRIPTION                       | PART NO. REMARKS |
| 24                  | L     | 1/2"Ø x 4 1/2" BOLT                        | H307G 050 0450   |
| 12                  | L     | 1/2"Ø x 6 1/2" BOLT                        | H307G 050 0650   |
| 12                  | L     | 1/2"Ø x 6 1/2" THREADED ROD                | TR307G 050 0650  |
| 60                  | L     | 1/2"Ø HEX NUT                              | HN307G 050-13    |
| 24                  | L     | 3/4"Ø x 4 1/2" BOLT                        | H307G 075 0450   |
| 24                  | L     | 3/4"Ø x 6 1/2" BOLT                        | H307G 075 0650   |
| 12                  | L     | 3/4"Ø x 7" BOLT                            | H307G 075 0700   |
| 6                   | L     | 3/4"Ø x 1 1/4" BOLT                        | H307G 075 1400   |
| 6                   | L     | 3/4"Ø x 12" LAG                            | HLG 075 1200     |
| 12                  | L     | 3/4"Ø x 16" LAG                            | HLG 075 1600     |
| 12                  | L     | 3/4"Ø x 8" THREADED ROD                    | TR307G 075 0800  |
| 24                  | L     | 3/4"Ø WASHER                               | FWG 075          |
| 90                  | L     | 3/4"Ø HEX NUT                              | HN307G 075-10    |
| 36                  | A     | 2 5/8"Ø SHEAR PLATE                        | SPG-2.625        |
| -                   | L     | 16d HDG CASING NAIL (0.148"Ø x 3")         | - N.I.C. HDG     |
| -                   | L     | 16d COMMON NAIL (0.162"Ø x 3 1/2")         | - N.I.C.         |
| -                   | L     | 16d SINKER NAIL (0.148"Ø x 3 1/4")         | - N.I.C.         |
| 24                  | L     | 3/4"Ø x 2 1/2" (F1554 GR. 36) THREADED ROD | - HDG            |
| 24                  | L     | 1 1/4" x 7" SD. WASHER                     | - HDG            |
| 96                  | L     | 3/4"Ø HEX NUT A563A (ANCHOR & LEVELING)    | - HDG            |



**BEAM B-2 3" x 6 7/8" 6-req'd.**  
16F-V3



**BEAM B-1 3" x 9 5/8" 6-req'd.**  
24F-V3

**UNLOADING, HANDLING, & STORAGE OF GLU-LAM & DECKING**

LAMINATED MEMBERS ARE WRAPPED FOR PROTECTION IN TRANSIT. THE ERECTOR IS RESPONSIBLE FOR PROTECTION OF MATERIALS AT ALL TIMES AFTER ARRIVAL AT DESTINATION. MEMBERS SHOULD BE PLACED ON BLOCKS & LEVELED, WELL OFF OF THE GROUND & SEPARATED WITH WOOD STRIPS SO THAT AIR CAN CIRCULATE AROUND EACH MEMBER. COVER THE TOP & SIDES WITH MOISTURE RESISTANT PAPER OR CRUIQUE PLASTIC. USE NON-MARRING SLINGS WHEN HANDLING. ROOF COVERING SHOULD BE APPLIED SOON AFTER ERECTION. PROTECTIVE WRAPPING SHOULD REMAIN ON THE MEMBERS UNTIL DECK HAS BEEN INSTALLED & ROOFING APPLIED. HOWEVER, IF THE PAPER HAS BEEN TORN OR PARTIALLY REMOVED DURING STORAGE OR ERECTION, IT SHOULD BE REPLACED OR ENTIRELY REMOVED TO PREVENT DISCOLORATION OF LAM MEMBERS BY SUNLIGHT.

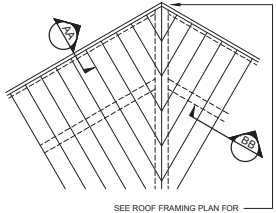
LAMINATED MEMBERS RECEIVE ONE FACTORY APPLIED COAT OF CLEAR WOOD SEALER. (FACTORY STAIN IS OPTIONAL AT EXTRA COST). IF THEY SHOULD BECOME WET DURING SHIPMENT OR INSTALLATION, OR IF THEY ARE CLEANED IN ANY WAY, THESE LAMINATED MEMBERS SHOULD BE UNIFORMLY RESEALED BEFORE ADDITIONAL STAINING OR FINISHING IS DONE IN THE FIELD.

DECKING WILL BE DELIVERED IN BANDED BUNDLES, WEIGHING APPROXIMATELY ONE TON. BUNDLES SHOULD REMAIN BANDED UNTIL DECK IS TO BE INSTALLED. A FORKLIFT OR SMALL CRANE WILL BE REQUIRED FOR UNLOADING. BE SURE TO USE NON-MARRING SLINGS. IF STORED TEMPORARILY, DECK SHOULD BE PLACED ON BLOCKS & LEVELED, WELL OFF OF THE GROUND. IF WOOD DECKING IS WET &/OR STAINED, CONTACT RCP SHELTERS AND DO NOT INSTALL DECK.

IT IS THE ERECTOR'S RESPONSIBILITY TO TALLY THE DECKING UPON ARRIVAL. NOTIFY "RCP SHELTERS" AT ONCE OF ANY SHORTAGES.

**TYPICAL DECK LAY-UP**

1. START LAYING DECK AT CORNER W/ TONGUES OUTWARD IN DIRECTION OF LAYING.
2. DRIVE COURSES TIGHT W/ BLOCKING.
3. TOE NAIL & FACE NAIL AT EACH SUPPORT (BEAMS) USING 16d COMMON NAILS.



SEE ROOF FRAMING PLAN FOR ROOF SIZE. FASCIA RUNS PAST HIP BEAM TO CORNER. NAILER RUNS INTO FACE OF HIP BEAM.

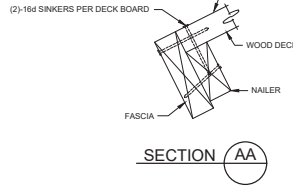
**DECK PLAN AT CORNERS**

**FASCIA NOTES:**

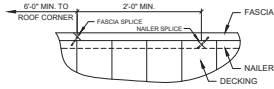
1. ALL FASCIA CORNERS AND SIDES ARE TO BE MITERED.
2. SEE DETAIL A FOR SPLICE DETAIL.
3. ATTACH FASCIA WITH 10d HDG CASING NAILS:
  - a. TO 2x4 NAILER - 24" O.C.
  - b. TO BEAM ENDS - 3 NAILS PER FASCIA
  - c. TO ENDS OF ROOF DECKING - 1 NAIL PER DECK BOARD
  - d. AT CORNERS - 2 NAILS EACH DIRECTION
  - e. OTHER LOCATIONS - 24" O.C. TO ROOF DECKING

**2 x 4 NAILER**

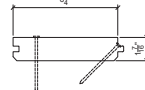
- A. MITER ALL SPLICES
- B. NAIL SPLICES TOGETHER WITH (2) 10d HDG CASING NAILS, DRIVE NAILS AT AN ANGLE TO AVOID PUNCHING THRU FASCIA.



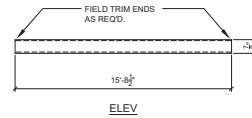
**SECTION AA**



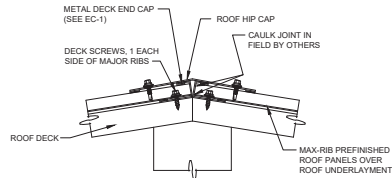
**DETAIL A**



**SECTION BB**



**METAL DECK END CAP EC-1**  
12 REQ'D

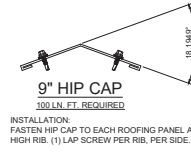


**DECK DETAIL @ HIP BEAM**  
SECTION LOOKING UP HIP BEAM

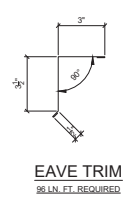
**SELF-DRILLING SCREW SPECIFICATIONS:**  
LAP SCREW = 1/4-14x7/8 IMPAX LAP, 516° HEX HEAD  
DECK SCREW = 9-15x1 WOODGRIP HWH SHARP POINT

**METAL ROOFING NOTES:**

- CLEAR PROTECTIVE FILM MUST BE REMOVED FROM ALL METAL PRIOR TO INSTALLATION.
- METAL ROOFING SHOULD BE STORED INDOORS OR WHEN STORED OUTSIDE IT SHOULD BE STORED UP ON BLOCKS WITH FINISHED FACE UP AND SLOPED TO DRAIN.
- DURING INSTALLATION, ALL METAL SHAVINGS MUST BE REMOVED IMMEDIATELY TO AVOID RUSTING OF PANELS.

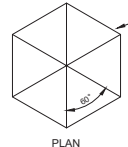


THE ACTUAL ROOF RITCH MAY VARY FROM THESE GENERAL DETAILS.



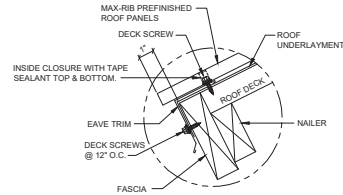
**EAVE TRIM**  
96 L.N. FT. REQUIRED

ERECTOR TO FASTEN PEAK CAP @ SEAM W/ 2 LAP SCREWS. APPLY MASTIC TAPE OR CAULK FOR FULL LENGTH OF SEAM TO ACHIEVE WATER TIGHT SEAL.

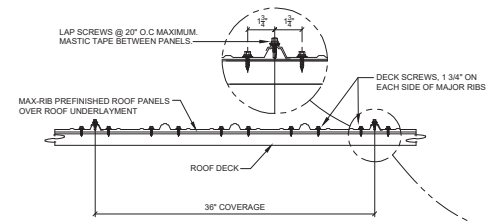


**ROOF PEAK CAP HP4L**  
1 REQ'D.

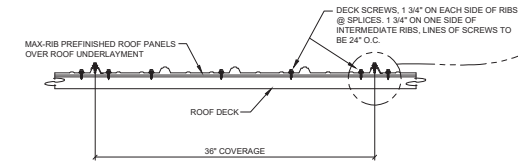
ERECTOR NOTE:  
CAULK AND ATTACH TO ROOF PEAK WITH LAP SCREWS.



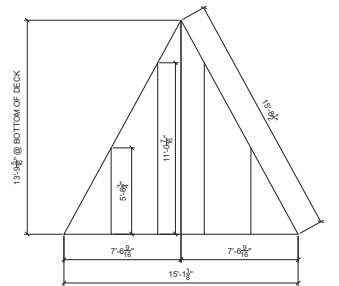
**EAVE DETAIL**



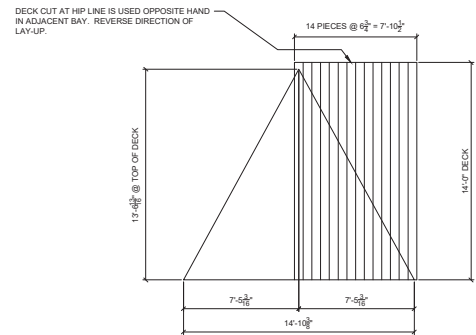
**SECTION THRU ROOFING PANEL @ EAVE**  
(METAL DECK ATTACHMENT ALONG HIP LINE IS SAME AS AT THIS SECTION)



**SECTION THRU ROOFING PANEL @ INTERIOR**



**TRUE METAL ROOF DECK PLAN 6-REQ'D**  
SCALE: 1/4" = 1'-0"



**TRUE WOOD ROOF DECK PLAN 6-REQ'D**  
SCALE: 1/4" = 1'-0"

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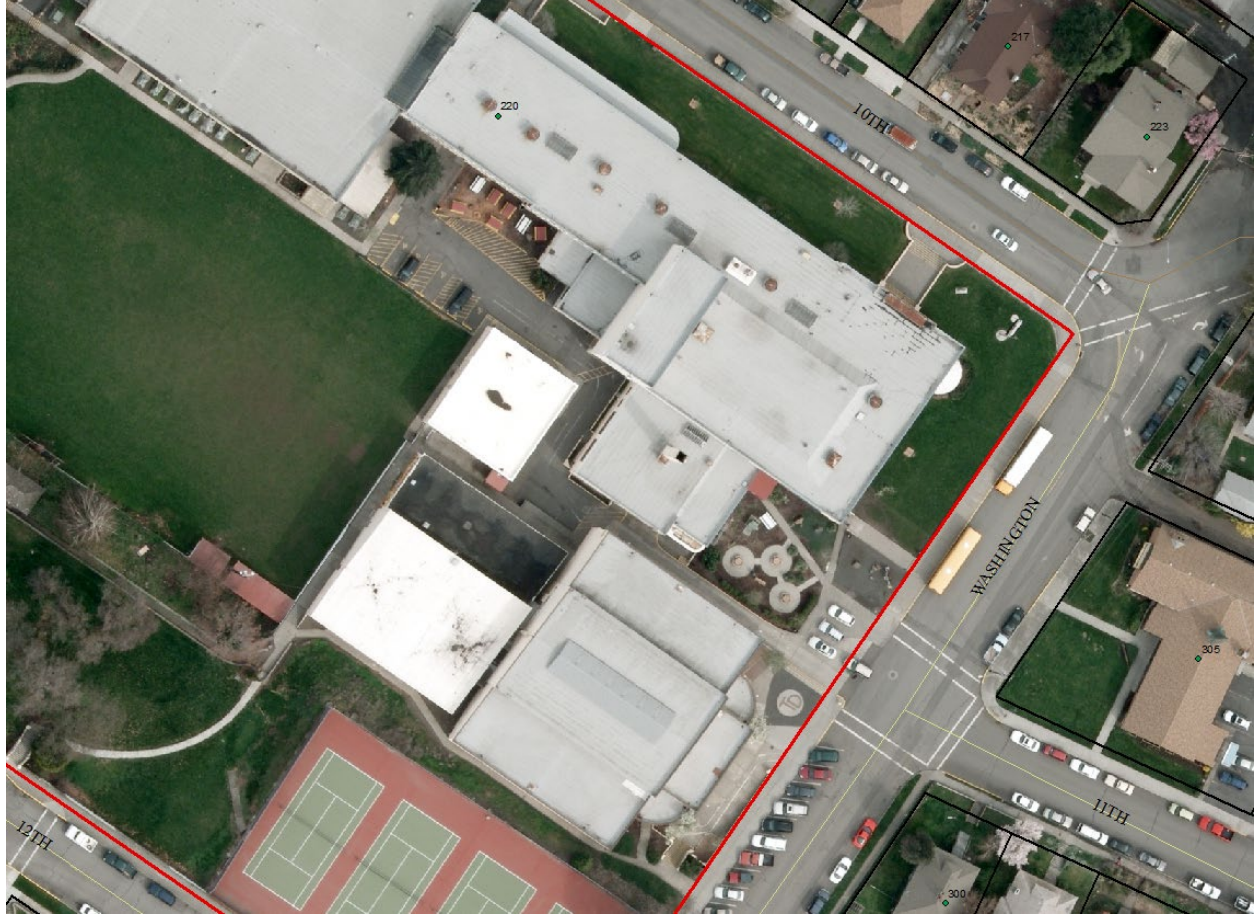
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|              |              |
|--------------|--------------|
| PROJ. NO.    | 21-260-A     |
| DRAWN        | TJE 10-15-21 |
| CHKD:        |              |
| REV 1:       |              |
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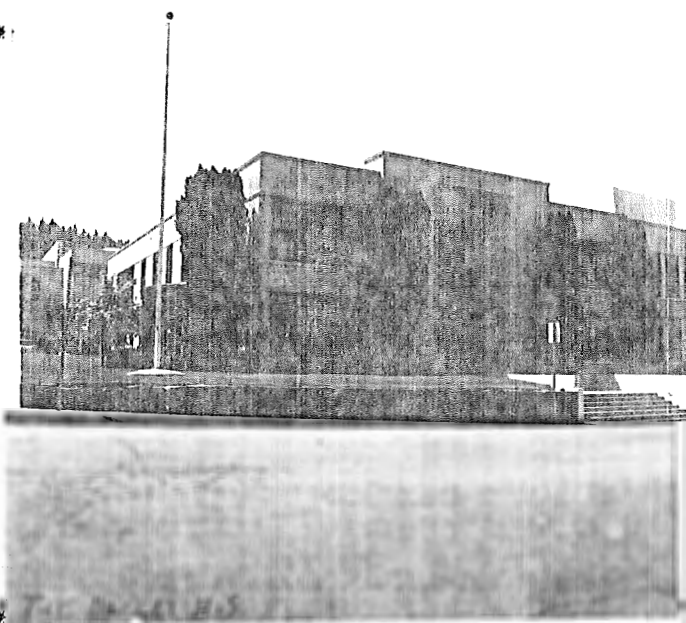






OREGON INVENTORY OF HISTORIC PROPERTIES  
HISTORIC RESOURCE SURVEY SHEET

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\*\*\*\*\*



\*\*\*\*\* Historic Name: The Dalles High School  
\* School  
\*  
\* Common Name: The Dalles High School  
\*  
\*  
\* Address: 220 E. Tenth Street  
\* The Dalles, OR 97058  
\*  
\* Owner: The Dalles School District  
\* No. 12  
\*  
\* Address: 200 E. Tenth Street  
\* The Dalles, OR 97058  
\*  
\* Lot      Block 28, 29, 32, 33  
\* Addition Gates  
\* Flat       
\*\*\*\*\* Tax Lot 7600, 1N-13-3CB

Date of Construction 1940-41  
Present use/function High School Original use/function: High School  
Area of significance/study theme: Architecture, Education  
Architectural style: Moderne Arch./Bldr., if known John W. Maloney

Plan type/shape: Ell No. of stories: Two  
Foundation material: Concrete Basement (y/n): Yes  
Roof form & materials: Flat BUR behind parapet  
Wall construction: Architectural concrete Structural frame: Concrete and wood framing  
Primary window type: 9/9 DH in sets.  
Primary exterior surfacing materials: Painted architectural concrete  
Outstanding decorative features: Cast trim moldings and streamline ornament, strong masses, sculptured bronze entrance tympaniums.  
Condition:  Excellent  Good  Fair  Deteriorated  Moved  (date)

Associated Structures: Matching gym building on south side, new wing to west. Associated athletic field construction, Pulpit Rock Park developments.  
Exterior alterations/additions (dated): West classroom addition. Others not noted.

Known archeological features of site:     

Noteworthy landscape features: Random rubble basalt masonry yard retaining walls around site. Severe moderne landscaping at building. Adjoining park area on same block.

Recorded by: Al Staehli and Daniel Meader Date: 10/84 and 4/85  
Negative No.: Roll 13, frame 8 Slide No.:     

State Inventory No. 173



OREGON INVENTORY OF HISTORIC PROPERTIES  
HISTORIC RESOURCE SURVEY SHEET-TWO

Describe geographic location & immediate setting. A site of major importance which was the campground for immigrant pioneers and indians in the Territorial period. Natural springs on site. Pulpit Rock monument at south side, Twelfth Street. The block is at the toe of the steeply rising hill with Sorosis Park at the summit.

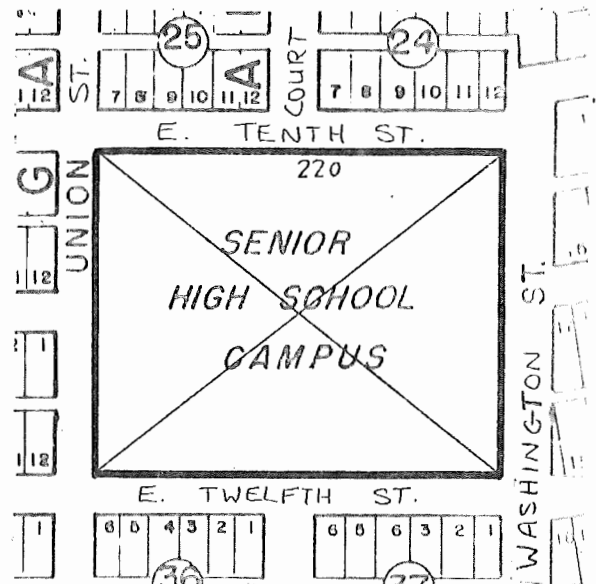
Statement of Significance (Historical and/or architectural importance, dates, events, persons, contexts): A major building done in the Moderne Style, sometimes called Streamline Modern or a variation of Art Deco. Design influence of the 1933 Chicago Century of Progress Exhibition and the 1939 New York City Worlds Fair. Very fine sculptured bronze entrance panels and doors.

The building was erected to replace a 25 year old structure destroyed by fire in February, 1940. The 1941 yearbook offered the following description: "All stairways, vestibules and foyers are floored with beautiful and durable terrazzo. Drinking fountains are placed in tiled recesses. Banisters and balustrades are of wrought iron, intricate in design. Marking the main entrance and featuring the history of this spot hallowed to education are bronze doorcases and limestone trim."

Quadrangle name: \_\_\_\_\_  
Township 1N Range 13 Section 3CB

PLEASE PLACE HERE:

Site map schematic drawing showing inventoried bldg.(s) and including outbuildings, structures, roads, and historic landscaping, if appropriate. Indicate north by an arrow.



Sources:

The Dalles High School Yearbook, "Steelhead", 1941.

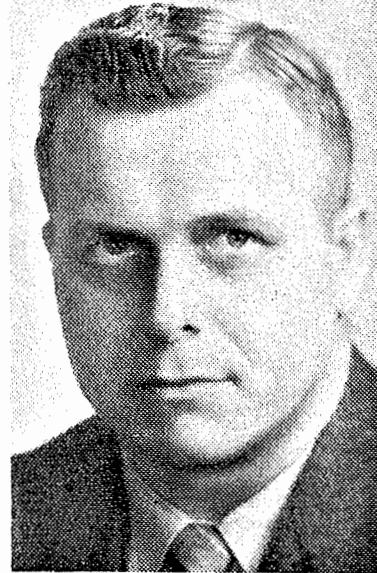
## The New School Building

Located on a spot that has been dedicated to learning since 1838 stands the new senior high school, said by many to be one of the most modern in the Pacific Northwest. This new building, erected to replace one destroyed by fire in February, 1940, has cost nearly \$300,000 and, during the past months, has been visited by hundreds of local school patrons and educators from all parts of our state. Much credit is due to the taxpayers of this community who, always interested in education and the public schools, voted by an overwhelming majority the bond issue that made possible this high school, built for generations to come. It was not until after months of preliminary work and planning on the part of John W. Maloney, Architect, and Paul R. McCulloch, Superintendent, that actual construction was begun in October, 1940.

This building was designed specially for this community and this school system. The building is of concrete and steel throughout with all classroom floors and hallways covered with linoleum—about 28 tons. All stairways, vestibules and foyers are floored with beautiful and durable terrazzo. Drinking fountains are placed in tiled recesses. Banisters and balustrades are of wrought iron, intricate in design. Marking the main entrance and featuring the history of this spot hallowed to education are bronze door-cases and limestone trim.

While all of the new building is worthy of comment, to most of us there seem to be certain highlights: the library with its mahogany woodwork and specially designed furniture; the auditorium, beautiful in its simplicity, complete in its air-conditioning system, and comfortably seating nearly 1,000 persons. Always drawing words of praise from visitors is the Home Economics suite with its color scheme, modern design and equipment. Other rooms built with definite purpose are the art and mechanical drawing room; a physical science department; special rooms for both instrumental and vocal music including six sound-proof practice rooms, and a suite for the school nurse and girls' advisor has also been included in the plans. Provision was made for ample facilities in every department in the way of regular classrooms, and also for offices and storage.

During the year, students and faculty have shown pride in this fine new structure and in its appearance and upkeep. Adequate provision also was made in the planning that additions conveniently may be made, if necessary, as years go on and with coming generations of students giving proper care, our new D. H. S. will remain new in appearance and utility for years to come. Truly, the students are deeply grateful to the directors and citizens for such a privilege as we now enjoy.



H. H. CLONINGER  
Principal

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## Dedication

### THE DALLES HIGH SCHOOL

"Erected by the people of this district and dedicated to the principle of education for all. It is an expression of the will of the people to provide full opportunity to all who enter its halls for the development of ability and character—that they may become sturdy, righteous citizens inspired by the ideal of unselfish service."

(At Right) THE BUILDING AT NIGHT



**STAFF REPORT**  
**HISTORIC LANDMARKS REVIEW # 193-21**

**TO:** The Dalles Historic Landmarks Commission

**FROM:** Dawn Marie Hert, Senior Planner

**HEARING DATE:** Wednesday, December 15, 2021

**ISSUE:** Todd Carpenter and Carla McQuade are applying to modify their approval of application HLC#188-21 to include modifications to the rear façade of the Recreation that will include an enclosure and roll-up doors.

**SYNOPSIS:**

|                 |  |
|-----------------|--|
| APPLICANTS      | Todd Carpenter and Carla McQuade   |
| PROPERTY OWNER  | Columbia Gateway Urban Renewal Agency  |
| LOCATION        | 213 E. 2 <sup>nd</sup> Street, The Dalles, OR 97058  |
| ZONING          | “CBC-1” – Central Business Commercial, Commercial Historic District                        |
| EXISTING USE    | Vacant – Previously a Bowling Alley  |
| SURROUNDING USE | Commercial   |
| HISTORIC STATUS | Classified as Non-Compatible, Non-Contributing in The Dalles Commercial Historic District. |

**NOTIFICATION:** Published advertisement in local newspaper; notification to property owners within 100 feet, SHPO.

**RECOMMENDATION:** Approval, with conditions, based on the following findings of fact.

**BACKGROUND:** There is no historic name of this building; it is commonly known as the Recreation Café. The buildings were constructed in two stages. The first portion was built in 1946 and the addition was constructed in 1958. The later addition replaced the Grand Theater which was the top showplace at one time in the Mid-Columbia area.

The building is non-compatible, non-historic for The Dalles Commercial Historic district. Some could argue the building should now be re-evaluated and included as a historic structure in the

district because it is older than 50 years. However, according to the inventory sheets, major alterations to the building over the years may disqualify it as a historic structure.

In 2012, the buildings were earmarked for demolition to allow construction of a hotel on that site. Those plans changed and the buildings have remained vacant.

On February 27, 2019, the Historic Landmarks Commission approved application HLC 164-19 for façade restoration to follow the late 1800s/early 1900s era style. Soon after, the applicants were awarded an Oregon Main Street grant in the amount of \$200,000. With approved plans, a grant from Main Street, and an approved purchase from Columbia Gateway Urban Renewal Agency, the applicants started their restoration project.

Unfortunately, in August 2019 The Dalles had a major storm event that damaged the buildings. The Urban Renewal Agency learned that an estimated 11.6 tons of water weight fell on the Recreation Building's roof during the storm. The viability of the structure was unknown due to the failing roof. A structural engineer was retained to assist in plans to stabilize the buildings as well as provide plans for reconstruction and reuse of the historic buildings.

With the buildings stabilized, the applicants sought direction from the Commission on May 27, 2020, and were approved through application HLC 177-20, to make modifications to their building façade. The approved modifications included altering the existing façade windows and doors to be more open to the street/sidewalk and compatible with the late 1800s/early 1900s era architecture. Approval was gained in the early stages of the COVID-19 pandemic; work was not completed due to state mandated shut downs of businesses and restaurants.

The owners have sought options to open the business to capacity and provide open air seating which has fewer restrictions while reducing the spread of COVID-19. The option was reviewed and approved to provide open-air seating while maintaining a historic street façade. This open-air concept allowed for some protection from the elements, and allowed for an open floor plan for events, small concerts, bands and restaurant seating for The Last Stop Saloon.

After the approval of the façade with HLC #188-21 on June 23, 2021, the applicants worked with their architect and decided to enclose the front portion of the building to enable year round use and provide protection for the bar area. The new plans show rolling doors, similar to doors approved on the Mint Building a few years ago. These roll up doors will be set back approximately 85 feet from the rear wall railing and allow for the area to be opened during business, provide a climate controlled area, allow a permanent bar area, and allow the area to be secured while the business is closed.

**ANALYSIS:** The Historic Landmarks Commission is responsible for conducting hearings dealing with proposed alterations to historic buildings. City of The Dalles Municipal Code, Title 11-Planning, Chapter 11.12 – Historic Resources provides process as well as established design guidelines to assist the Commission in making these decisions. The purpose of the Historic Landmarks Commission, the Historic Code and the review criteria are to:

- *Protect historic and cultural resources from destruction, inappropriate alteration, and incompatible adjacent development;*
- *Stabilize and improve property values in historic districts and citywide;*
- *Enhance the city's attractiveness to visitors and residents, and stimulate business, industry and tourism;*

- *Educate The Dalles’ citizens and visitors concerning the city’s heritage;*
- *Preserve the historic housing stock of The Dalles;*
- *Comply with The Dalles Comprehensive Plan.*

**A. THE DALLES MUNICIPAL CODE – TITLE 11.12 – HISTORIC RESOURCES – CODE RELATING TO HISTORIC RESOURCES WITHIN THE CITY OF THE DALLES.**

Section 11.12.070, Subsection A. Review Criteria:

3. “Secretary’s Standards. Commission decisions shall be based on the Secretary of the Interior’s Guidelines for the Treatment of Historic Properties.” The following are pertinent standards from the “Guide”.

1. *“A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships”.*

**FINDING A1:** This site has been used as a bowling alley, restaurant and bar for many years. It has remained vacant over the past eleven years. The uses for the buildings have been discussed and will follow similar type uses such as a bar, indoor recreation and restaurant uses. The property is located in the Central Business Commercial district. There is no change of use requested at this time, any proposed uses must be permitted uses for the subject zone. Criterion met.

2. *“The historic character of a property shall be retained and preserved. The removal of historic materials or alterations to features and spaces that characterize a property shall be avoided.”*

**FINDING A2:** The applicant proposes to follow the previously approved façade option that would utilize the existing historic building exteriors and remove all non-original materials from the buildings. Criterion met.

3. *“Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.”*

**FINDING A3:** The plan to enclose the front portion of the building will not create a false sense of historical development. With the wall set in approximately 85 feet, it will be minimally visible from the right-of-way and will be obscured with the rear railing installation. The addition of a semi-interior wall will be compatible to the existing building exteriors. These modifications will be differentiated from the original features and will not create a false sense of historical development. Criterion met.

4. *“Changes to a property that have acquired historic significance in their own right shall be retained and preserved.”*

**FINDING A4:** All 1950s era portions of the building were removed following the previous approval by the Commission. No historic materials exist where the applicant is proposing the new recessed rear wall and roll up doors. Criterion does not apply.

5. *“Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.”*

**FINDING A5:** There are no plans for removal of any original historic features. Criterion met.

6. *“Deteriorating historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.”*

**FINDING A6:** Unfortunately, there are very limited existing historical features that remain on the buildings. All non-historic materials were removed when the applicant gained previous approvals from the Historic Landmarks Commission. The plan for the new rear recessed wall will include new materials that will complement the existing and previously approved materials. Criterion met.

7. *“Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.”*

**FINDING A7:** Applicants plan to surface clean the buildings. However, no details were provided with the application submittal. On the remaining historic portions of the buildings, cleaning will be required to be gentle without sandblasting or chemicals involved. Criterion will be addressed as a condition of approval.

8. *“Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.”*

**FINDING A8:** No excavation is planned with this request. Criterion does not apply.

9. *“New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”*

**FINDING A9:** All non-historic materials have been removed. New plans include modification to the rear façade. The addition will not destroy historic materials and will be differentiated from the original as well as compatible in massing and scale to the adjacent buildings. Criterion met.

10. *“New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”*

**FINDING A10:** Addition of a new rear façade will not alter the essential form and integrity of the historic building. Utmost care will be taken with construction of the proposed rear façade to ensure addition of the new enclosed area will not compromise the building exterior walls. Reinforcements shall be incorporated in the design from the interior to minimize the visual impact on the exterior. Criterion will be addressed as a condition of approval.

**B. THE DALLES MUNICIPAL CODE – TITLE 11.12.095 – HISTORIC RESOURCES – CODE RELATING TO DESIGN GUIDELINES FOR HISTORIC RESOURCES.**

***SUBSECTION (M) - COMMERCIAL FRONT***

*The continuous commercial fronts of downtown The Dalles make a consistent, pedestrian friendly backdrop for a wide variety of businesses. The storefront is predominantly made up of glazing with only structure and decoration revealed. The upper stories consist mostly of wall with discreet window openings. New construction and rehabilitation should maintain the continuity of the multi-story buildings and the clear distinction between storefront and upper floor office or residences through facade treatment and articulation.*

***GUIDELINES:***

- a. Primary entrances should be recessed, glazed and oriented to the street rather than to a rear or interior alley.*
- b. Tiled floors are highly effective in marking the recessed entrance.*
- c. The use of large, clear plate glass for display windows incorporated with transom windows is recommended.*
- d. The use of vertical, double-hung windows; either singly or in groups is recommended on the upper levels.*
- e. Window bulkheads of the historic type are recommended.*
- f. Identify and retain fragments such as earlier window systems and no longer used door locations which evoke a sense of the building's history.*
- g. The use of historic photographs for reference is recommended.*
- h. Development and adoption of a Facade Improvement Plan is recommended.*

**FINDING B 1:** The primary entrance will remain on the front of the buildings.

This request is for the entire rear façade, which will be recessed approximately 85 feet and include clear glass for the windows and rollup doors. The new rear façade will be complementary to the railing that will be installed at the end of the building, adjacent to the alleyway. Criterion met.

***SUBSECTION (K) - MATERIALS***

*The sense of cohesiveness and continuity of The Dalles' commercial area derives in part from the consistent use of building materials in building facades. New construction and rehabilitation should use appropriate materials that provide scale making a more pedestrian friendly environment.*

***GUIDELINES:***

- a. For building renovations, original materials should be restored wherever possible.*
- b. When materials need to be replaced for restoration they should be compatible in quality, color, texture, finish and dimension to the original materials (see page 2, Secretary of the Interior's Standards for Rehabilitation).*
- c. New construction should use materials compatible with the historic buildings in quality, color, texture, finish and dimension. Predominant materials of the commercial historic district are:  
Brick, stone, cast iron, glazed terra cotta, cement plaster (stucco).*
- d. The use of wood for windows is recommended.*
- e. The use of reflective and smoked glass is prohibited.*
- f. Whenever possible, the natural color of the materials should be retained.*
- g. An ordinance prohibiting the painting of brick, unless it is damaged or has already been sandblasted, should be adopted.*

- h. Sandblasting of brick is prohibited as it severely damages the brick.*
- i. When painting a building the following color scheme is recommended:  
darkest-window sash; medium-building; lightest-trim, detail.*

**FINDING B 2:** Materials lists were not provided with the submittal. As recommended, the materials should be wood, glass and steel and be compatible with the historic materials that exist on the buildings. Criterion will be addressed as a condition of approval.

As stated above the materials will be required to be compatible. The doors/windows will be required to have an exterior finish compatible with the building and meeting Oregon State Building Codes requirements. Criterion will be addressed as a condition of approval.

The application does not include reflective or smoke glass as it is prohibited. Criterion met.

No cleaning of the buildings is planned. No sandblasting is permitted on any remaining historic features. This will be addressed as a condition of approval

**CONCLUSIONS:** Proposed improvements to the rear façade will provide additional commercial space that can be used year round. The restoration will complement and enhance the minimally visible rear street façade. These proposed modifications will allow for the continued use of the resource located in The Dalles Commercial Historic District. In all respects this application meets the standards of the Secretary of the Interior and the City of The Dalles Municipal Code, Title 11-Planning, Chapter 11.12 – Historic Resources, with the following conditions:

**Recommended Conditions of Approval:**

1. Work shall be completed in substantial conformance to the pictures and proposals as submitted, reviewed and modified.
2. The use of reflective and smoked glass is prohibited.
3. Whenever possible, the natural color of the materials should be retained.
4. The modification to the rear façade shall not alter the essential form and integrity of the historic property. Utmost care will be taken with new construction.
5. The applicants shall submit plans for a building permit to City of The Dalles and then Wasco County Building Codes.
6. Cleaning of the historic structure requires the applicants to use the gentlest means possible. No harsh chemical or sandblasting will be allowed.
7. Replacement materials necessary for restoration should be compatible in quality, color, texture, finish and dimension to the original materials.
8. The applicants are required to notify the Community Development Department of any alteration of the approved plans.





**City of The Dalles**  
**Community Development Dept**  
 313 Court Street  
 The Dalles, OR 97058  
 (541) 296-5481, ext. 1125  
 www.thedalles.org

Application #: HLC 193-21  
 Filing Fee: \$85.00  
 Receipt #: 245366  
 Deemed Complete: \_\_\_\_\_  
 Ready to Issue: \_\_\_\_\_  
 Date Issued: \_\_\_\_\_

Received: \_\_\_\_\_

## Historic Landmarks Application

This application is required for all new construction, modifications, and/or alterations to the exterior of certified historic structures and all structures within certified historic districts and reviewed by the City of The Dalles' Historic Landmarks Commission. The review criteria for each application are the Secretary of the Interior's Standards. These standards have been adopted by The Dalles Municipal Code Chapter 11.12 Historic Resources as local review criteria.

**Applicant**

Name: Todd Carpenter & Carla McQuade  
 Address: 216 E 5th Street  
The Dalles, OR 97058  
 Phone #: 503-705-2889  
 Email: toddecarpenter@gmail.com

**Legal Owner** (if different than Applicant)

Name: Columbia Gorge Urban Renewal Agency  
 Address: 313 Court Street  
The Dalles, OR 97058  
 Phone #: 541-296-5481 x1151  
 Email: acannon@ci.the-dalles.or.us

**Property Information**

Address: 213 e 2nd street, The Dalles OR  
 Zone: \_\_\_\_\_  
 Current Use: Bowling Alley vacated recreation

Map and Tax Lot: 10N13 E03 BD03600 00

List any known archeological resources on site:  
 none

**Department Use Only**

Historic Name (if any): \_\_\_\_\_  
 Year(s) Built: \_\_\_\_\_ Historic Building/Site:  Yes  No  
 Historic Classification: \_\_\_\_\_  
 Historic District:  Trevitt's Addition  Downtown Commercial

**Project Information**

- New Construction    
  Expansion/Alteration    
  Demolition    
  Landmark Designation

Briefly describe the proposed project:

Per building packet submittal and elevations, remove North facing CMU and partial west facing brick work. Build new front wall as previously discussed and use roll up doors approximately 30' foot from 2nd street on rear of new indoor area leaving approx 75 feet or more of open space to the alley on the 2nd street level.

basement area will be altered for structural integrity.


Will the use change as a result of this application?      Yes      No

**Please submit the following information with this application:**

- Narrative #1: Description of the project consistent with the Secretary of Interior’s Standards for Rehabilitation (page ?)
- Narrative #2: Explanation of the project consistent with the associated project type (pages ?):
  - Landmark Designation (#2-A)
  - Alterations/New Construction/Relocation (#2-B)
  - Demolition (#2-C)
- Narrative #3: Description of the project consistent with the associated district design standards: New Construction and Alteration (page ?)
  - The Dalles Commercial Historic District (#3-A)
  - Trevitt’s Addition (#3-B)
- Narrative #4, Signs (if applicable): Description of the project consistent with the associated historic sign guideline criteria (page ?)
- Elevation drawings (existing vs. proposed)
- Current color photographs of the structure and/or site
- List of all proposed materials/colors (product brochures recommended)
- Site Plan (drawn to scale)
- Historic photographs/documentation of the structure and/or site (encouraged)
- Copy of all associated Historic Inventory information

Signature of Applicant

Signature of Property Owner



11/23/2021



Date  
2/11

Date

# REC BLDG THE DALLES

213 EAST 2ND STREET  
THE DALLES, OR 97058  
PERMIT REVIEW SET - 10/28/21



REC BLDG THE DALLES

213 EAST 2ND STREET  
THE DALLES, OR 97058

DRAWN BY: BGR  
DATE ISSUED: 10.28.21

SHEET:  
**CS**  
PERMIT REVIEW SET  
10/28/21  
LRS Architects, Inc. ©2021



RENDERED VIEW FOR REFERENCE ONLY

## PROJECT DIRECTORY

### OWNER

**CONTACT PERSON:**  
TODD CARPENTER  
TODDCARPENTER@GMAIL.COM  
209 E 2ND ST  
THE DALLES, OR 97058  
T: 503.705.2889  
F: 000.000.0000

### ARCHITECT

**LRS ARCHITECTS**  
720 NW DAVIS ST, STE 300  
PORTLAND, OR 97209  
**CONTACT PERSON:**  
BENJAMIN RIEMER  
BRIEMER@LRSARCHITECTS.COM  
LRSARCHITECTS.COM  
T: 503.265.1508  
F: 503.221.2077  
**ADDITIONAL LRS CONTACT:**  
BYRON BALOGH  
ABBALOGH@LRSARCHITECTS.COM  
T: 503.265.1503

### STRUCTURAL

**BK ENGINEERS, INC.**  
2700 SE HARRISON ST, STE B  
MILWAUKIE, OR 97222  
**CONTACT PERSON:**  
BILL BERRY  
BILL@BKENGINEERS.COM  
BKENGINEERS.COM  
T: 503.607.0481  
F: 503.607.0486

## PROJECT SUMMARY

**STREET ADDRESS:** 213 E 2ND ST, THE DALLES, OR 97058  
**PROJECT DESCRIPTION:** RENOVATION OF EXISTING BOWLING ALLEY BUILDING TO A GROUND FLOOR RESTAURANT AND BAR WITH OUTDOOR DINING AND MUSIC VENUE DECK, AND ADD NEW EXIT STAIR. LOWER LEVEL RENOVATION TO RENOVATE RESTROOMS, OFFICE & PORTION OF STORAGE SPACES.  
**TAX LOT NUMBER:** 1N 13E 3 BD 3600  
**BUILDING USE:** RESTAURANT AND BAR  
**BUILDING OCCUPANCY:** A-2 / ASSEMBLY, S-1 / STORAGE, B/ BUSINESS

## ZONING INFORMATION

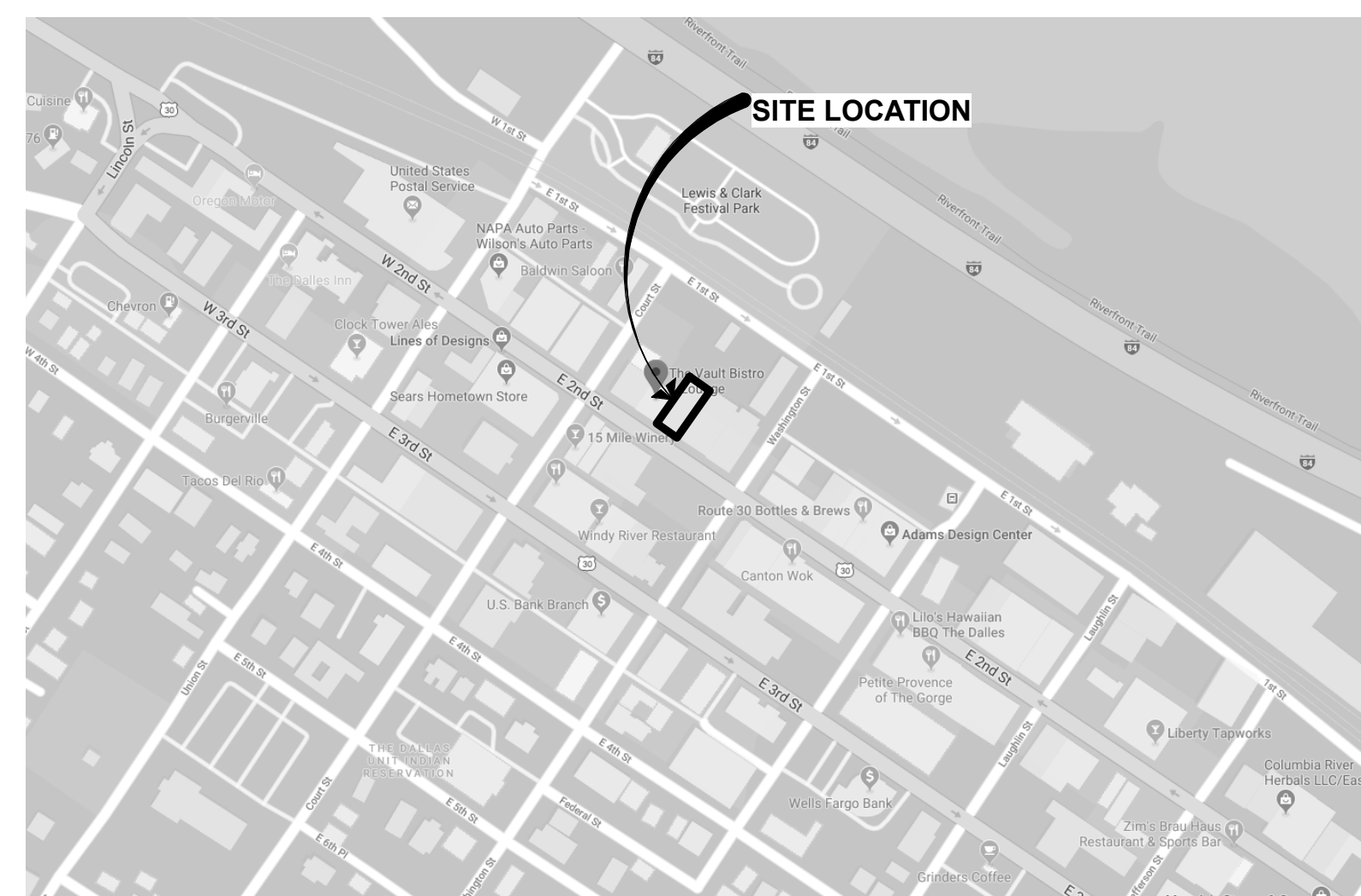
**ZONE:** CBC-2 (CENTRAL BUSINESS COMMERCIAL) ENTERPRISE ZONE OVERLAY & THE DALLES COMMERCIAL HISTORIC DISTRICT  
**SITE AREA:** 0.16 ACRES

## DEFERRED SUBMITTALS & SEPARATE PERMITS

- |                    |                            |
|--------------------|----------------------------|
| SEPARATE PERMITS   | DEFERRED SUBMITTAL         |
| 1. ELECTRICAL      | 1. METAL RAILING SYSTEMS   |
| 2. PLUMBING        | 2. EXTERIOR FABRIC AWNINGS |
| 3. MECHANICAL      |                            |
| 4. FIRE SPRINKLERS |                            |

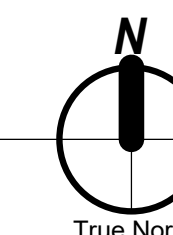
| DRAWING INDEX LEGEND |   |                          |                           |
|----------------------|---|--------------------------|---------------------------|
| ■                    | ISSUED                                    | /                        | DELETED                   |
| ●                    | REVISED                                   | Ⓢ                        | ISSUED FOR REFERENCE ONLY |
| SHEET NUMBER         | SHEET NAME                                | PERMIT REVIEW (10.28.21) |                           |
| 1. GENERAL           |   |                          |                           |
| CS                   | COVER SHEET                               | ■                        |                           |
| Ai                   | ARCHITECTURAL DRAWING INFORMATION         | ■                        |                           |
| 2. ARCHITECTURAL     |   |                          |                           |
| A100i                | MISC/ CODE INFORMATION                    | ■                        |                           |
| A101                 | CODE ANALYSIS PLAN                        | ■                        |                           |
| A150                 | ASSEMBLIES                                |                          |                           |
| AD201                | DEMO PLANS                                | ■                        |                           |
| A201                 | FLOOR PLANS                               | ■                        |                           |
| A210                 | ENLARGED FLOOR PLANS                      | ■                        |                           |
| A301                 | ROOF PLANS                                | ■                        |                           |
| A401                 | REFLECTED CEILING PLANS                   | ■                        |                           |
| AD501                | EXISTING-DEMO EXTERIOR ELEVATIONS         | ■                        |                           |
| A501                 | EXTERIOR ELEVATIONS                       | ■                        |                           |
| A601                 | BUILDING SECTIONS                         | ■                        |                           |
| A602                 | WALL SECTIONS                             | ■                        |                           |
| A603                 | WALL SECTIONS                             | ■                        |                           |
| A610                 | STAIR PLANS & SECTIONS                    | ■                        |                           |
| A611                 | STAIR PLANS & SECTIONS                    | ■                        |                           |
| A701                 | DOOR & WINDOW TYPES & SCHEDULES           | ■                        |                           |
| A801                 | INTERIOR FINISH SCHEDULES                 | ■                        |                           |
| A802                 | INTERIOR ELEVATIONS                       | ■                        |                           |
| A930                 | ROOF DETAILS                              | ■                        |                           |
| A931                 | ROOF DETAILS                              | ■                        |                           |
| A950                 | EXTERIOR DETAILS                          | ■                        |                           |
| A960                 | TYPICAL WOOD STAIR DETAILS                | ■                        |                           |
| A961                 | STAIR, RAMP & RAILING DETAILS             | ■                        |                           |
| A970                 | WDW INSTALL SEQUENCE - NON-FLANGED WINDOW | ■                        |                           |
| A970.1               | WDW INSTALL SEQUENCE - NON-FLANGED WINDOW | ■                        |                           |
| A971                 | EXTERIOR DOOR AND WINDOW DETAILS          | ■                        |                           |
| A972                 | EXTERIOR DOOR AND WINDOW DETAILS          | ■                        |                           |
| A973                 | INTERIOR DOOR DETAILS - WOOD              | ■                        |                           |

| SHEET NUMBER  | SHEET NAME               | PERMIT REVIEW (10.28.21) |
|---------------|--------------------------|--------------------------|
| 3. STRUCTURAL |                          |                          |
| S0            | STRUCTURAL NOTES         | ■                        |
| S1            | FOUNDATION PLAN          | ■                        |
| S2            | FIRST FLOOR FRAMING PLAN | ■                        |
| S3            | ROOF FRAMING PLAN        | ■                        |
| S4            | DETAILS                  | ■                        |
| S5            | DETAILS                  | ■                        |
| S6            | DETAILS                  | ■                        |
| S7            | DETAILS                  | ■                        |
| S8            | DETAILS                  | ■                        |
| S9            | DETAILS                  | ■                        |
| S10           | DETAILS                  | ■                        |
| S11           | DETAILS                  | ■                        |
| S12           | DETAILS                  | ■                        |
| S13           | DETAILS                  | ■                        |



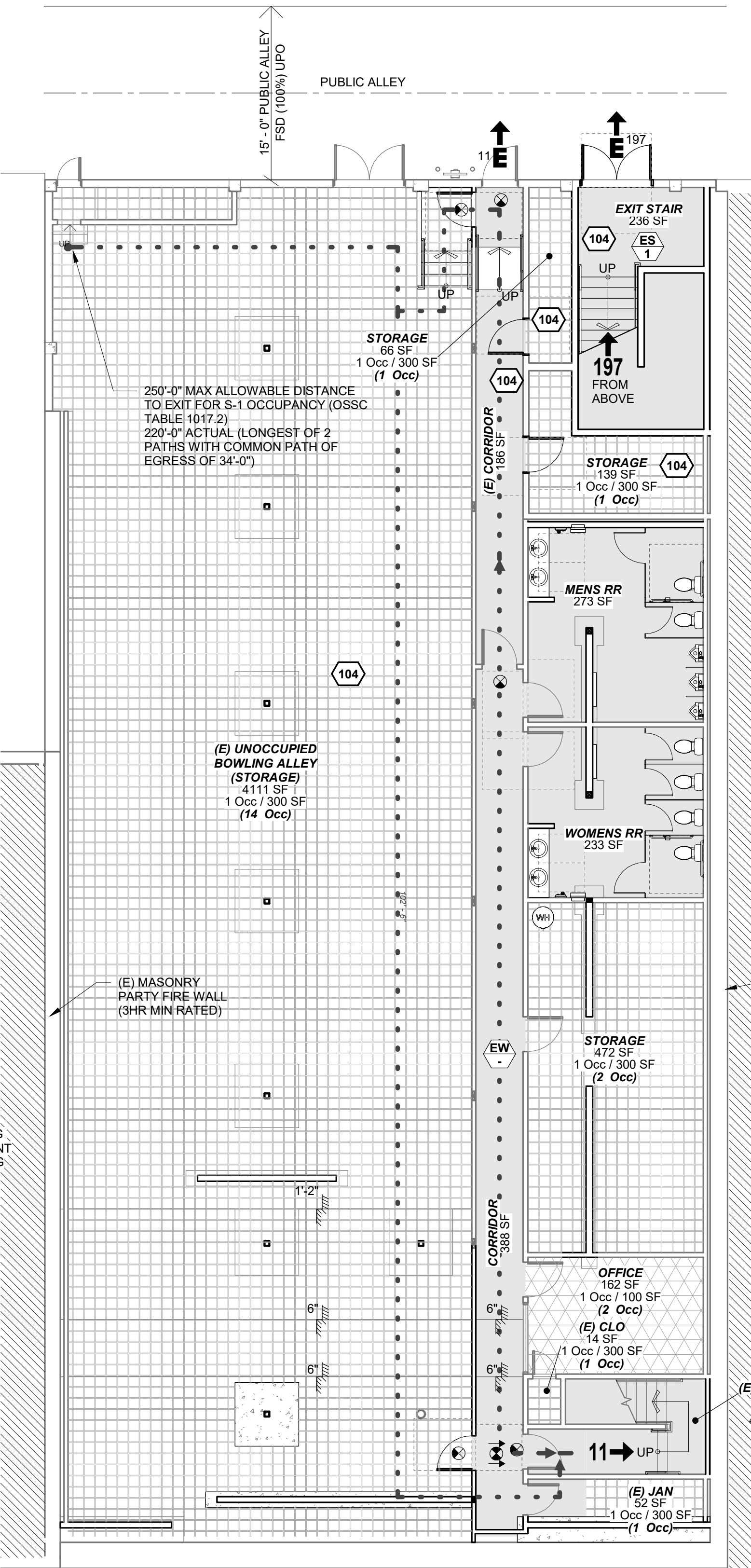
## VICINITY MAP

NOT TO SCALE



**KEYNOTES**

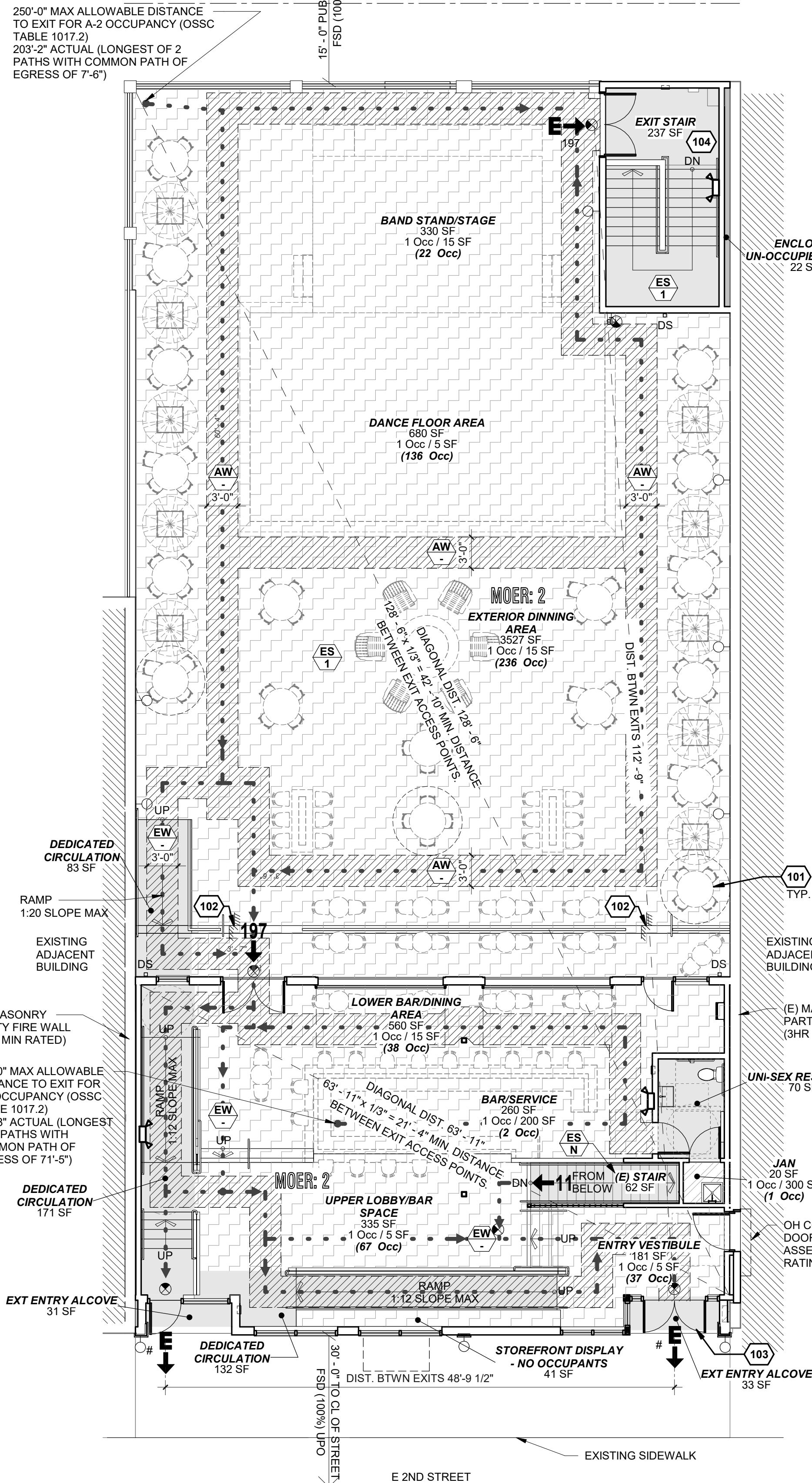
|     |   |     |   |
|-----|---|-----|---|
| 101 | OWNER FURNISHED TABLES PROVIDE SEATING CLEARANCE - 19" MIN CLEAR FROM EDGE OF TABLES TO ADJACENT AISLES, WALLS OR OTHER SEATING CLEARANCES PER OSSC 1029.13.1 | 103 | ASSEMBLY OCCUPANCY MAIN EXIT - BUILDING OCCUPANT LOAD GREATER THAN 300, MAIN EXIT DOORS SIZED TO ACCOMMODATE NOT LESS THAN HALF THE BUILDING OCCUPANCY PER OSSC 1029.2, (281 OCC. * 15"/OCC. = 42" MIN. CLEAR EXIT WIDTH) |
| 102 | ELEVATION CHANGE WITH SINGLE RISER WITH HANDRAIL ONE SIDE ONLY PER OSSC 1003.5 EXCEPTION 2  | 104 | SPACE IS A SEMI-HEATED SPACE PER ASHRAE-90.1-2019 (MAX HEATING ONLY CAPACITY OF 3.4 BTU/H/FT <sup>2</sup> OF FLOOR AREA)  |



**1. BASEMENT CODE PLAN**

SCALE: 1/8" = 1'-0"

C:\300 Revit Local Files\221147\_REC BLDG THE DALLES\_ARCH\_R20\_briemer.rvt 10/27/2021 5:22:56 PM



**2. GROUND FLOOR CODE PLAN**

SCALE: 1/8" = 1'-0"

**MEANS OF EGRESS**

- FE-X FIRE EXTINGUISHER (EXACT LOCATION TO BE DETERMINED BY FIRE MARSHALL)
- ABC
- (X Occ) ROOM OCCUPANT LOAD (OR TOTAL FLOOR OCCUPANT LOAD) PER SECTION 1004.
- EXIT SIGN W/ INTEGRATED DIRECTIONAL ARROW WHERE OCCURS AT ALL EXITS, EVERY 100' IN CORRIDORS, AND IN SPACES WHERE 2 MORE ARE REQUIRED PER SECTION 1011. SEE ELECTRICAL DRAWINGS. (W/ POCHÉ INDICATING "EXIT" TEXT SIDE OF SIGN.) SIGNS SHOWN IN CORRIDORS ARE CEILING HUNG. SIGNS SHOWN ON WALL ARE WALL HUNG.
- E REQUIRED EXIT AND EXIT EGRESS DIRECTION WITH ACCUMULATIVE NUMBER OF OCCUPANTS SERVED WITH EXIT.

MOER: 2 ARROW LOCATION, (DESIGNATED WHERE (2) MEANS OF EGRESS ARE REQUIRED PER TABLE 1004.1.1)

MEANS OF EGRESS REQUIRED (QUANTITY) (ONLY DESIGNATED WHERE (2) MEANS OF EGRESS ARE REQUIRED)

START

END

CLEAR ACCESSIBLE ROUTE OF EGRESS WITH MINIMUM CLEAR WIDTH OF 3'-0" AND COMPLYING WITH CHAPTER 4 (ICC A117.1-2009)

**OCCUPANCY LEGEND**

- A-2 DEDICATED MEANS OF EGRESS CIRCULATION & NON-SPECIFIC USE AREAS
  - B
  - S-1
- OCCUPANCY LEGEND NOTE:** MEANS OF EGRESS AREAS SUCH AS CORRIDORS, STAIRS, ETC., AND OTHER NON-SPECIFIC USE AREAS SUCH AS EXTERIOR COVERED ENTRY ALCOVES AND RESTROOMS ARE ASSIGNED THE ADJACENT OCCUPANCY DESIGNATION FOR CHAPTER 5 FLOOR & BUILDING AREA LIMITATIONS ONLY.

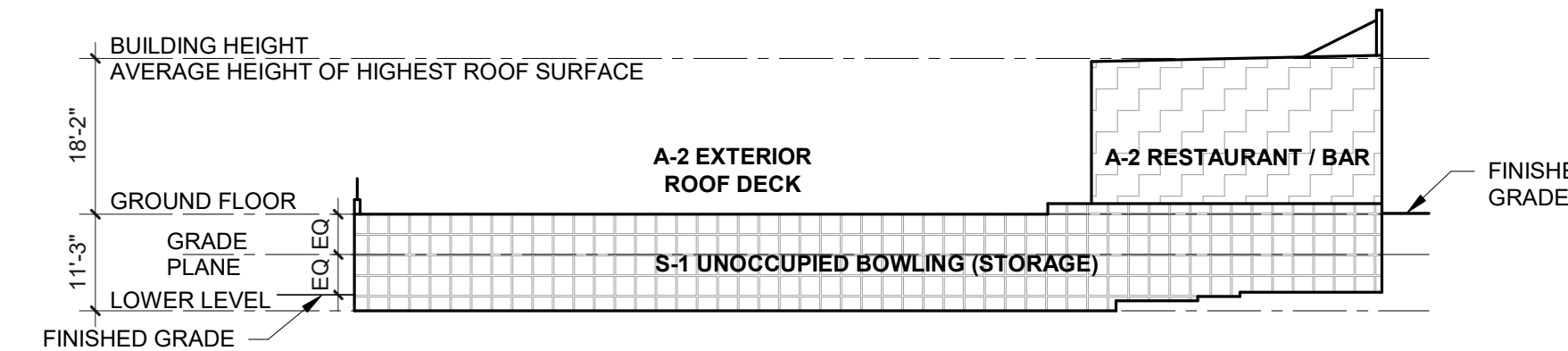
**GENERAL NOTES**

- A. THIS CODE ANALYSIS PLAN IS FOR REFERENCE ONLY. SEE ALL OTHER PLAN SHEETS FOR CONTRACT DOCUMENT INFORMATION. THIS CODE ANALYSIS IDENTIFIES SOME SPECIFIC BUILDING CODE REQUIREMENTS BUT IS NOT INTENDED TO LIST ALL BUILDING CODE REQUIREMENTS.
- B. SEE A100 FOR CODE SUMMARY AND AREA CALCULATIONS BOTH ALLOWABLE AND ACTUAL BUILDING AREA CALCULATIONS.
- C. SEE A100, AND OTHER PLAN AND DETAIL SHEETS FOR ACCESSIBILITY CONFORMANCE.
- D. ALL ENCLOSED SPACE ARE TO BE FULLY CONDITIONED SPACES, UNO.

**CODE PLAN KEYNOTES**

- AW ASSEMBLY AISLE WIDTH (AW) - PROHIBIT AISLE WITH ACCESS TO EXITS WITH 36" MINIMUM CLEAR WIDTH WITH SEATING ON BOTH SIDES AND 30" MINIMUM CLEAR WIDTH WITH SEATING ON ONLY ONE SIDE PER OSSC SECTION 1028.9.1.4 EXCEPTION 1 & 1028.9.1.5 EXCEPTION 1.
- ES EXIT STAIRWAY (ES) UNENCLOSED EXIT ACCESS STAIR CONNECTING ONLY 2 STORIES PER OSSC SECTION 1019.3 ITEM 1. EGRESS ILLUMINATION MINIMUM OF 1FOOT CANDLE AT FLOOR LEVEL ALONG PATH OF EGRESS PER 1008(OSSC)
- ES EXIT STAIRWAY (ES) WALLS & ENCLOSURE WITH FIRE BARRIER WALLS PER 1023(OSSC) 60 MINUTE DOORS AT 1 HOUR WALLS PER TABLE 716.1(2)(OSSC) EGRESS ILLUMINATION MINIMUM OF 1FOOT CANDLE AT FLOOR LEVEL ALONG PATH OF EGRESS PER 1008(OSSC)
- EW MEANS OF EGRESS ROUTE WIDTH (EW) EGRESS ROUTE INCLUDES AISLES (WIDTH OF 0.2" PER OCCUPANT WITH 36" MIN. WIDTH PER OSSC 1028.6 & 1028.4 EXCEPTION 1), STAIRS (WIDTH OF 0.2" PER OCCUPANT WITH 44" MIN. WIDTH PER OSSC 1005.2.1 EXCEPTION 1 & 1011.2), OTHER COMPONENTS (WIDTH 0.15" PER OCCUPANT WITH 32" MIN. CLR. PER OSSC 1005.3.2 EXCEPTION 4 & 1010.1.1) EGRESS ILLUMINATION MINIMUM OF 1FOOT CANDLE AT FLOOR LEVEL ALONG PATH OF EGRESS PER 1008(OSSC)

| Occupant Load Schedule                 |             |            |              |                      |               |               |
|--|-------------|------------|--------------|----------------------|---------------|---------------|
| Name                                   | Actual Area | Group Type | Net or Gross | Occupant Load Factor | Accessory Use | Occupant Load |
| OFFICE                                 | 162 SF      | B          | Gross        | 100 SF               |               | 2             |
| (E) CLO                                | 14 SF       | S-1        | Gross        | 300 SF               |               | 1             |
| (E) JAN                                | 52 SF       | S-1        | Gross        | 300 SF               |               | 1             |
| (E) UNOCCUPIED BOWLING ALLEY (STORAGE) | 4111 SF     | S-1        | Gross        | 300 SF               |               | 14            |
| STORAGE                                | 472 SF      | S-1        | Gross        | 300 SF               |               | 2             |
| STORAGE                                | 139 SF      | S-1        | Gross        | 300 SF               |               | 1             |
| STORAGE                                | 66 SF       | S-1        | Gross        | 300 SF               |               | 1             |
| LOWER LEVEL                            |             |            |              |                      |               | 22            |
| BAND STAND/STAGE                       | 330 SF      | A-2        | Net          | 15 SF                | No            | 22            |
| BAR/SERVICE                            | 260 SF      | A-2        | Gross        | 200 SF               | No            | 2             |
| DANCE FLOOR AREA                       | 880 SF      | A-2        | Net          | 5 SF                 | No            | 136           |
| ENTRY VESTIBULE                        | 181 SF      | A-2        | Net          | 5 SF                 | No            | 37            |
| EXTERIOR DINNING AREA                  | 3527 SF     | A-2        | Net          | 15 SF                | No            | 236           |
| LOWER BAR/DINING AREA                  | 560 SF      | A-2        | Net          | 15 SF                | No            | 38            |
| UPPER LOBBY/BAR SPACE                  | 335 SF      | A-2        | Net          | 5 SF                 | No            | 67            |
| JAN                                    | 20 SF       | S-2        | Gross        | 300 SF               | Yes           | 1             |
| GROUND FLOOR                           |             |            |              |                      |               | 539           |
| TOTAL BUILDING OCCUPANTS               |             |            |              |                      |               | 561           |



**Code Plan - Building Section Diagram**



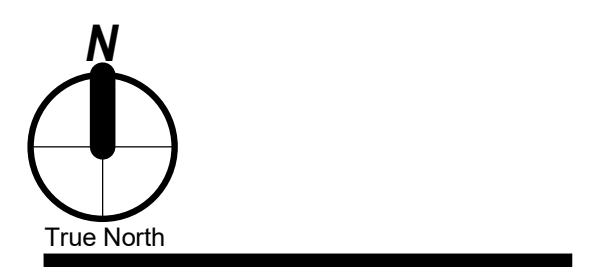
CONSULTANT:

PROJECT NUMBER: 221147

**REC BLDG THE DALLES**

213 EAST 2ND STREET  
THE DALLES, OR 97058

KEY PLAN:



**CODE ANALYSIS PLAN**

DRAWN BY: BGR  
DATE ISSUED: 10.28.21

SHEET TITLE:  
**A101**  
PERMIT REVIEW SET  
10/28/21  
LRS Architects, Inc. ©2021

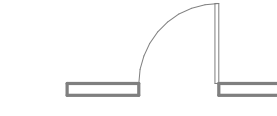
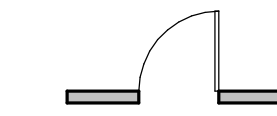
**GENERAL NOTES:**

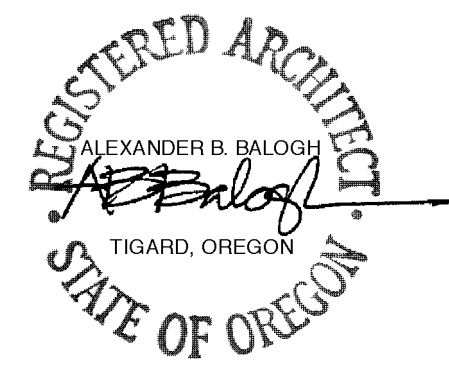
- A. ALL DIMENSIONS ARE TO FACE OF STUD UNO OR CENTER OF WINDOW OPENING, COLUMN, OR GRID. EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION/FACE OF FRAMING. DIMENSIONS INDICATED AS "CLR MIN" ARE TO FACE OF FINISH. COORDINATE ALL REQUIRED ACCESS PANELS SIZE AND LOCATION WITH ALL TRADES.
- B. CEILING FIXTURES TO BE CENTERED OR EQUALLY SPACED AND ALIGNED IN ROOM UNO.
- C. SPRAY PAINT ALL METAL ACCESS PANELS AND DIFFUSERS TO MATCH ADJACENT CEILING FINISHES UNO.
- D. FIELD VERIFY ALL COLUMN LOCATIONS. FURNITURE, ELECTRICAL, & PLUMBING INFORMATION ON SHEETS A850 & A202.
- E. ALL LIGHTING FIXTURES TO BE LED.

**KEYNOTES**

- 202 EXTERIOR ROOF PAVER SYSTEM OVER NEW ROOFING SYSTEM WITH RIGID INSULATION ON EXISTING FLOOR FRAMING. SEE BUILDING SECTION FOR ROOF ASSEMBLY (ALTERNATE SYSTEM - PANELIZED WOOD DECKING SYSTEM)
- 203 BAR COUNTER NIC
- 204 LINE OF ROOF ABOVE
- 205 CONCRETE RAMP
- 206 CONCRETE STAIR TREAD/FLOOR TRANSITION
- 210 WOOD SUPPORT BEAM BELOW FLOOR FRAMING - SEE STRUCTURAL
- 211 WOOD & METAL GUARD RAIL SYSTEM
- 212 WOOD & METAL RAILING SYSTEM
- 213 1 1/2" OD STEEL HANDRAIL - PAINTED
- 214 PRECAST CONCRETE COLUMN CAP
- 216 PAINTED STEEL COLUMN - SEE STRUCTURAL
- 220 ROOF ACCESS LADDER WITH SECURITY PANEL
- 222 METAL ROOF DRAIN INSPECTION COVER - CENTERED ON ROOF DRAIN PER PLUMBER - COORDINATE LOCATION WITH ROOF PAVER SYSTEM
- 223 PRECAST CONCRETE WALL CAP - COORDINATE WITH EXISTING WALL THICKNESS.
- 224 AREA OF NEW OVER BUILT FLOOR - SEE SECTIONS AND STRUCTURAL
- 226 LOAD BEARING WALL BELOW - SEE BASEMENT PLAN AND STRUCTURAL
- 227 EXTERIOR FURNITURE AND PLANTER POTS (NIC)
- 228 CONCRETE FOOTING PER STRUCTURAL - ALIGN TOP OF FOOTING WITH TOP EXISTING CONCRETE SLAB.
- 230 WOOD POST - SEE STRUCTURAL
- 235 COMMERCIAL DISH WASHING SINK - TBD PER PLUMBING COORDINATE WITH BAR CASEWORK (NIC)
- 236 COMMERCIAL BAR SINK - TBD PER PLUMBING COORDINATE WITH BAR CASEWORK (NIC)
- 237 COMMERCIAL DISHWASHER - (NIC) COORDINATE PLUMBING CONNECTIONS WITH OWNER.
- 289 EXISTING CONCRETE SIDEWALK AND CURB - REMOVE PORTIONS OF SIDEWALK AS REQUIRED TO INSTALL NEW WORK AND PATCH AND REPLACE TO MEET CITY OF THE DALLES SIDEWALK STANDARDS.
- 291 EXISTING WOOD SUPPORT BEAM BELOW FLOOR FRAMING - SEE STRUCTURAL
- 292 EXISTING LOAD-BEARING WALL BELOW - SEE BASEMENT PLAN AND STRUCTURAL
- 295 EXISTING 8" DIA STEEL PIPE COLUMN - FIELD VERIFY EXISTING CONDITION REMOVE PORTION ABOVE GROUND FLOOR SUPPORT BEAM.
- 296 EXISTING GAS METER & CONNECTION
- 297 EXISTING ELECTRICAL METER - COORDINATE WITH ELECTRICAL FOR RELOCATION OF ELECTRICAL CONNECTIONS

**LEGEND**

-  EXISTING TO REMAIN (REFER TO KEYED NOTES FOR MORE INFORMATION)
-  NEW SCOPE OF WORK (REFER TO KEYED NOTES FOR MORE INFORMATION)



CONSULTANT:

PROJECT NUMBER: 221147

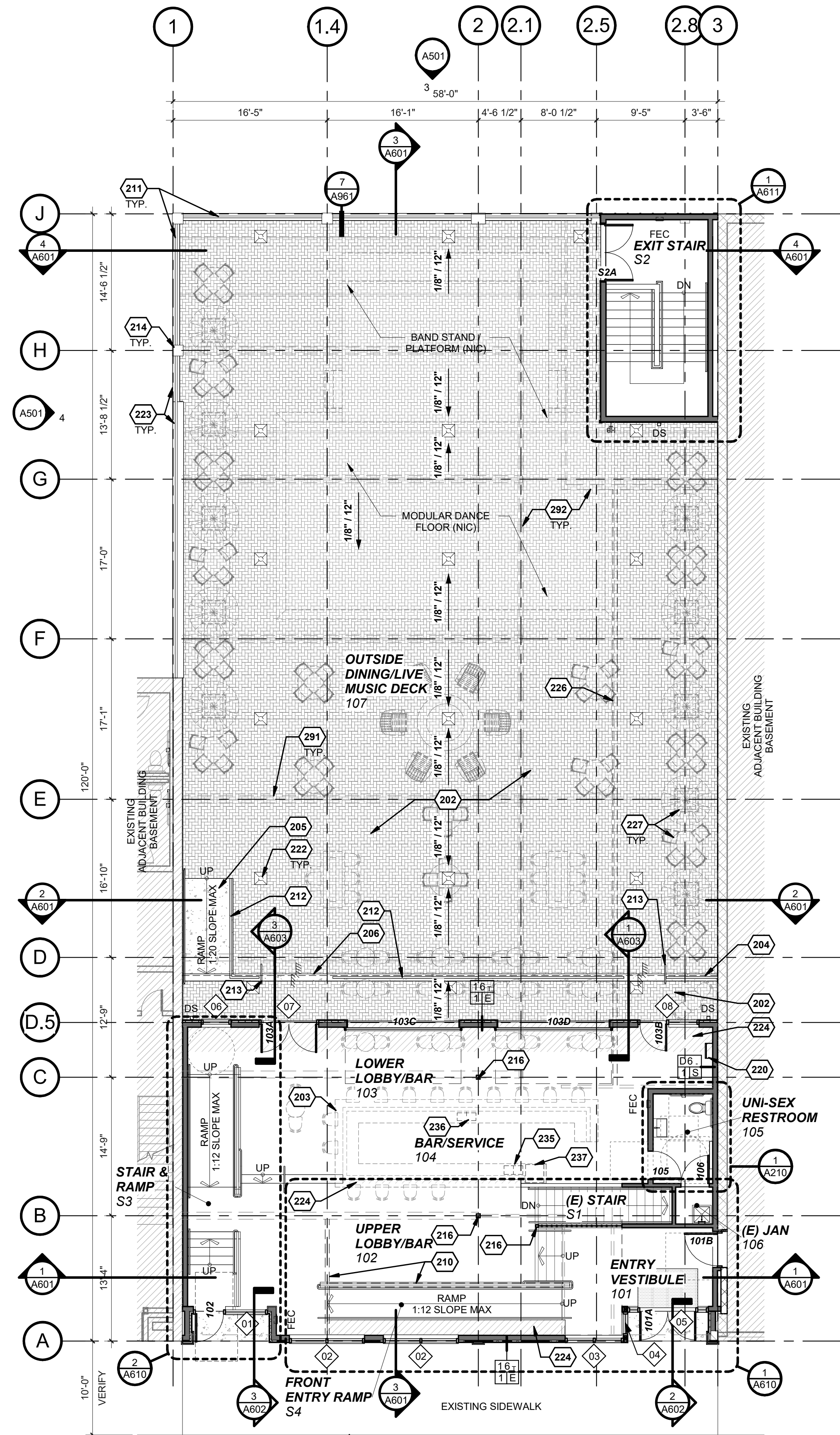
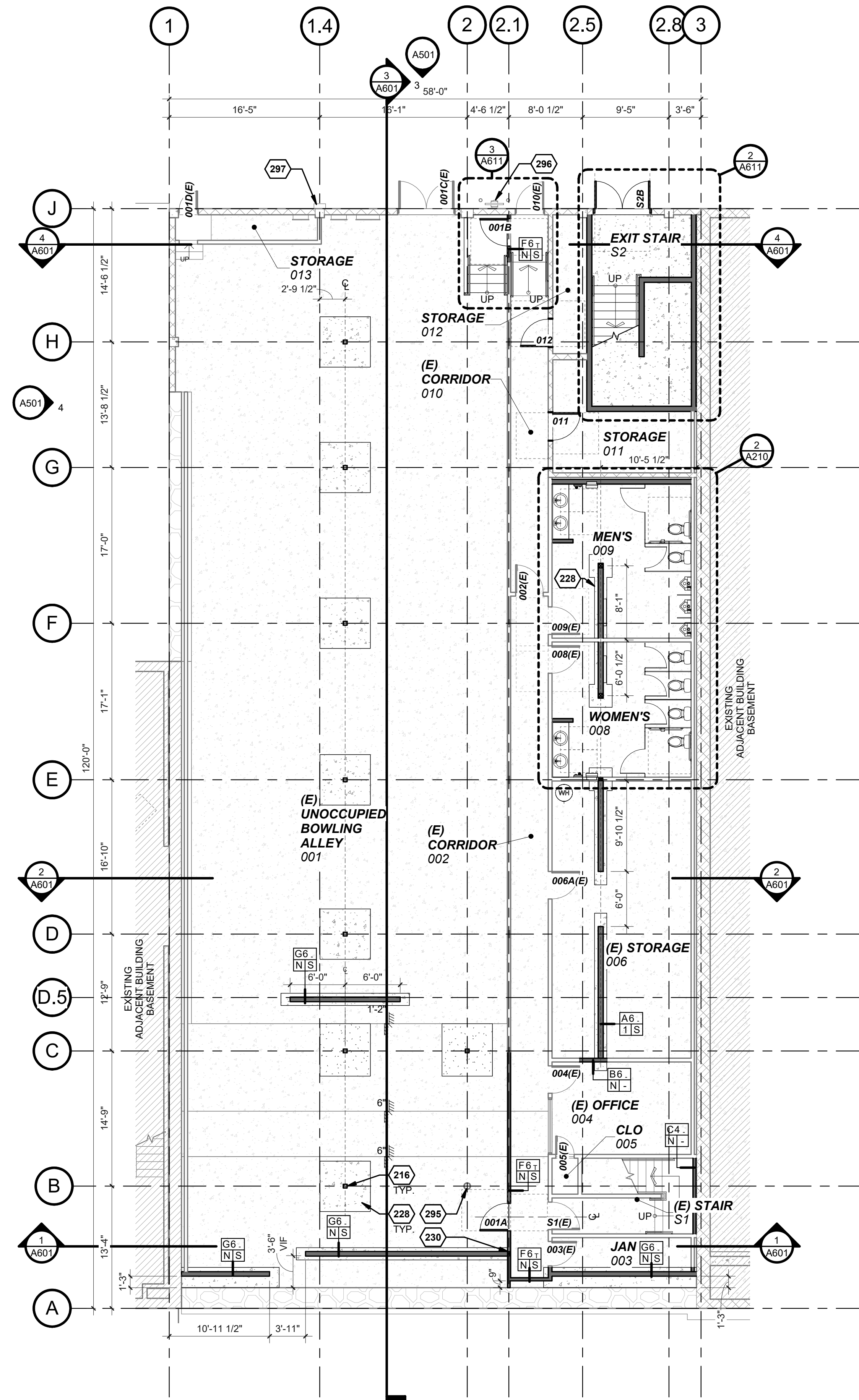
**REC BLDG THE DALLES**

213 EAST 2ND STREET  
 THE DALLES, OR  
 97058

SHEET TITLE:  
**FLOOR PLANS**

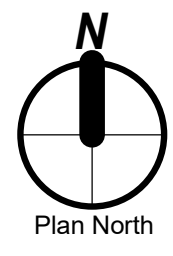
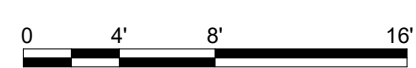
DRAWN BY: RCC  
 DATE ISSUED: 10.28.21

SHEET:  
**A201**  
 PERMIT REVIEW SET  
 10/28/21  
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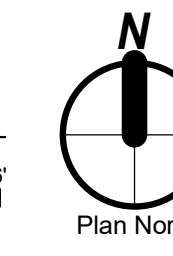
**1. BASEMENT - FLOOR PLAN**

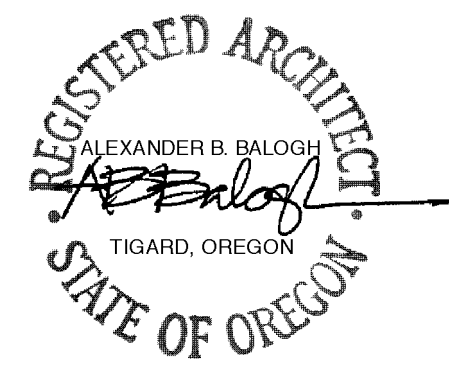
SCALE: 1/8" = 1'-0"



**2. GROUND LEVEL - FLOOR PLAN**

SCALE: 1/8" = 1'-0"





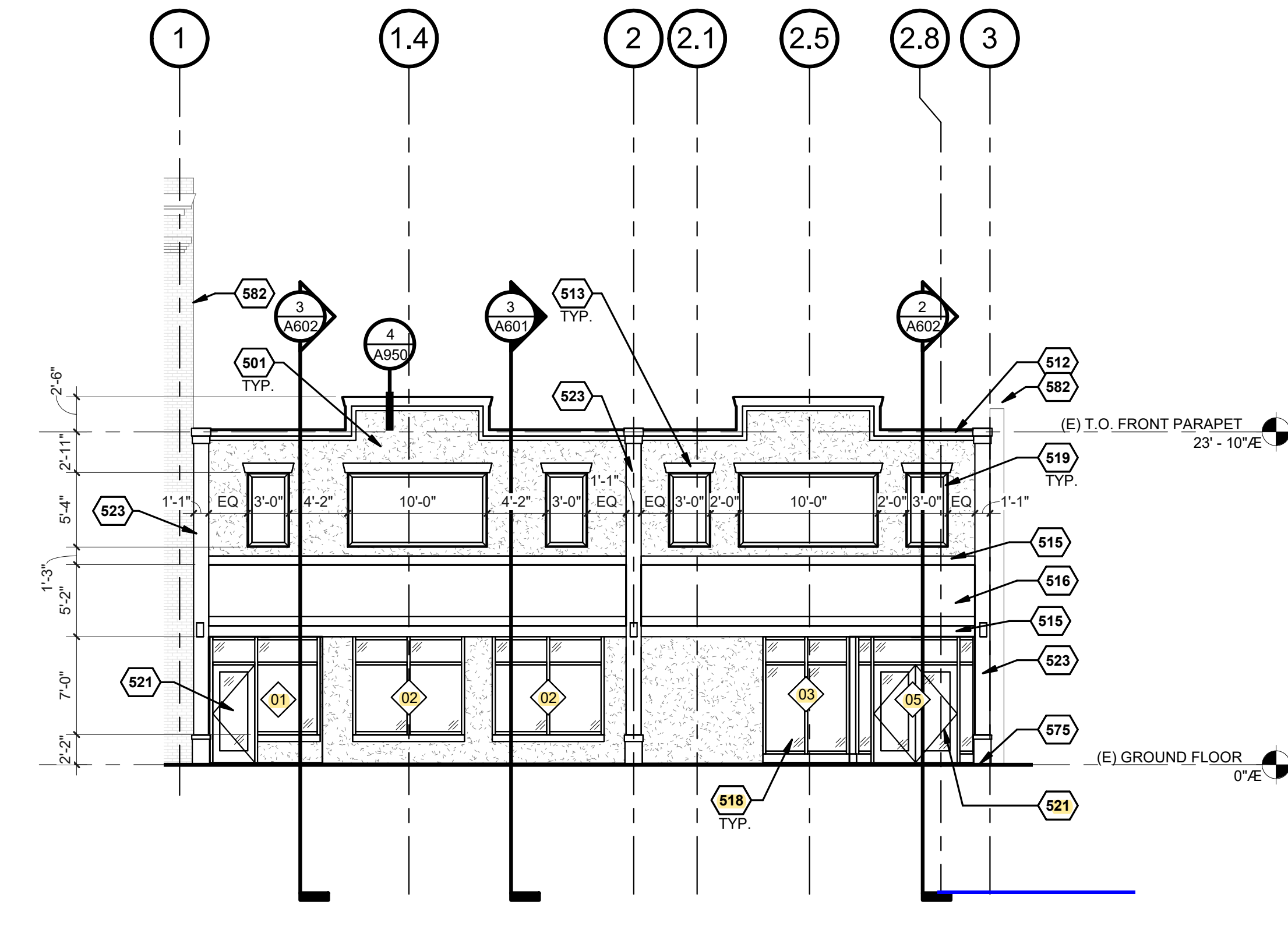
CONSULTANT:  
 PROJECT NUMBER: 221147  
**REC BLDG THE DALLES**  
 213 EAST 2ND STREET  
 THE DALLES, OR 97058

**GENERAL NOTES:**

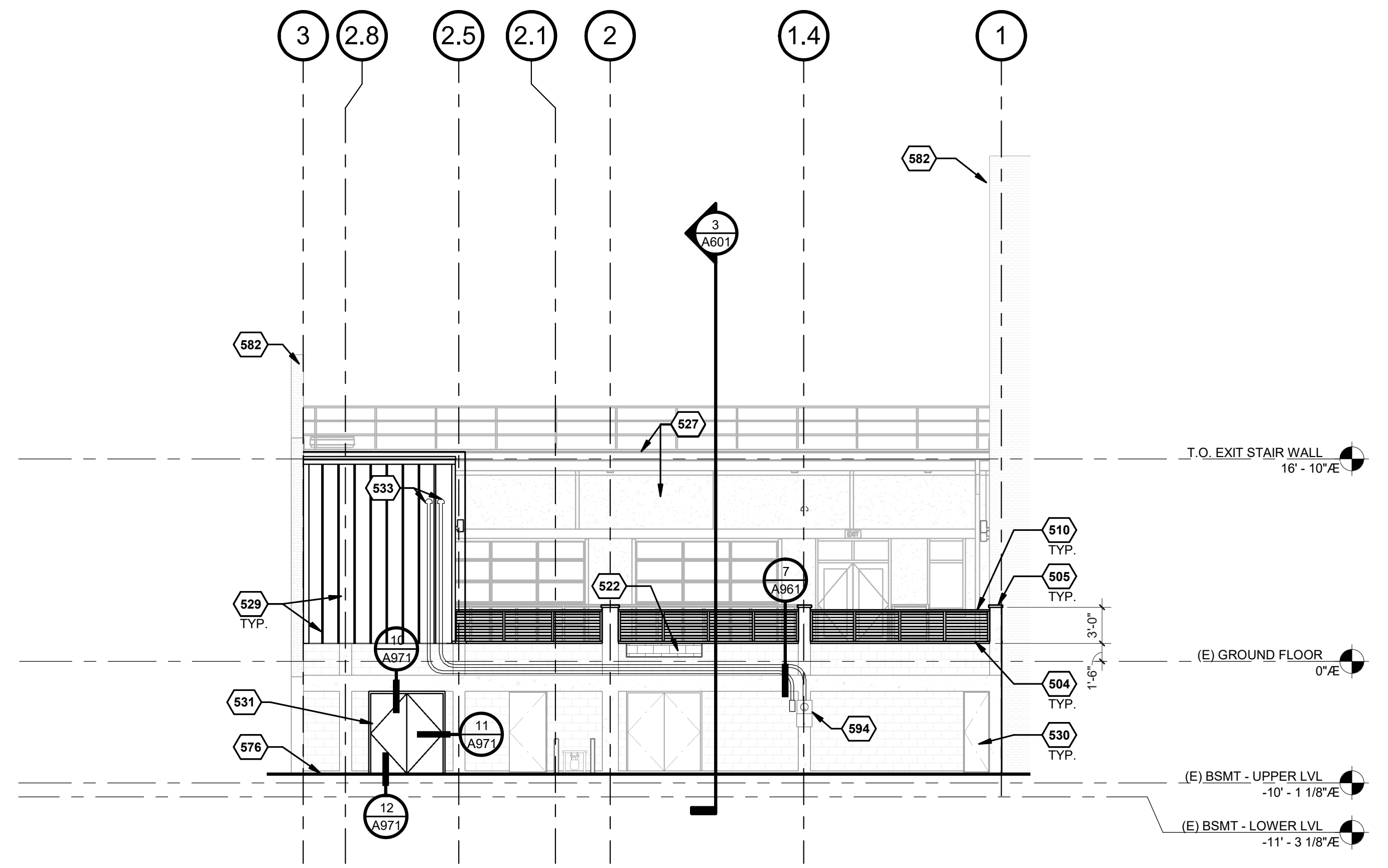
- A. SEE WALL SECTIONS FOR PARTIAL ELEVATIONS NOT SHOWN.
- B. SEE DOOR AND WINDOW TYPES / SCHEDULES FOR ADDITIONAL INFORMATION.
- C. REFER TO RCP'S FOR FINISH MATERIALS OF SOFFIT AREAS.
- D. CLEANING OF HISTORIC STRUCTURE REQUIRES THE APPLICANTS TO USE THE GENTLEST MEANS POSSIBLE. NO HARSH CHEMICAL OR SANDBLASTING WILL BE ALLOWED.
- E. REFER TO A501 FOR EXISTING CONDITIONS AND EXTENT OF DEMOLITION FOR NEW WORK.

**KEYNOTES**

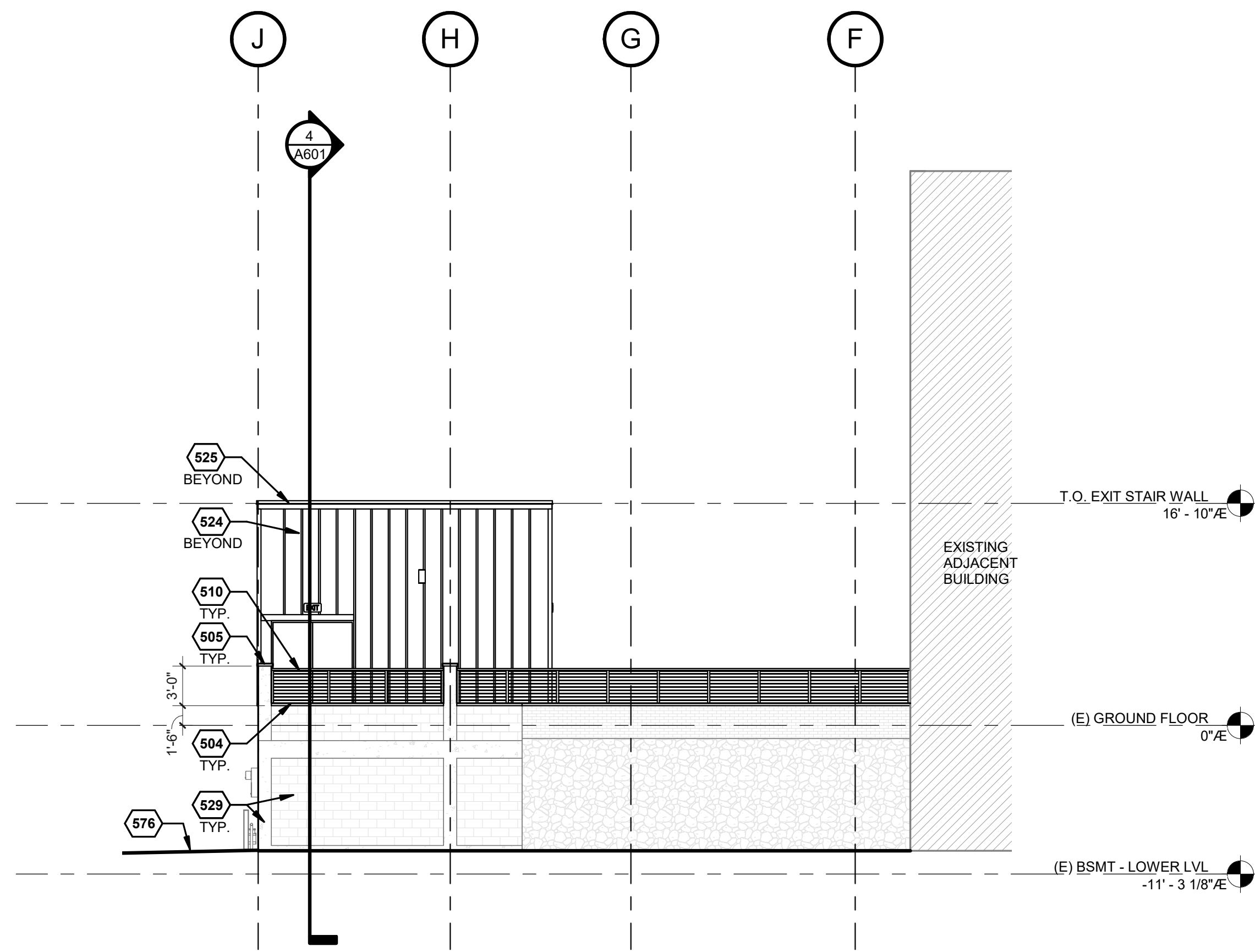
- 501 PAINTED CEMENT PLASTER WALL FINISH - SEE WALL ASSEMBLY FOR ADDITIONAL INFORMATION
- 504 PRECAST CONCRETE WALL CAP
- 505 PRECAST CONCRETE COLUMN CAP
- 510 WOOD AND METAL GUARD RAIL SYSTEM
- 512 PAINTED WOOD BUILT UP CORNICE WITH PFM COPING
- 513 PAINTED 2X8 LINTEL TRIM
- 515 PAINTED WOOD TRIM
- 516 FABRIC AWNING SYSTEM
- 518 MTL CLAD WOOD WINDOW/STOREFRONT SYSTEM**
- 519 PAINTED RAISED PANELS WITH WOOD FRAME AND SMOOTH FINISH FIBER CEMENT INFILL PANEL.
- 521 METAL CLAD WOOD STOREFRONT ENTRANCE DOOR - SEE DOOR SCHEDULE**
- 522 CMU INFILL - MATCH EXISTING CMU WALL.
- 523 PAINTED CEMENT PLASTER PILASTER
- 524 PAINTED BOARD & BATTEN SIDING - SEE WALL ASSEMBLY FOR ADDITIONAL INFORMATION
- 525 PFM COPING & WOOD TRIM AT TOP OF WALL
- 527 WALL & ROOF BEYOND - SEE BUILDING SECTION FOR COMPLETE ELEVATION
- 529 PAINT EXISTING CMU & CONCRETE
- 530 CONCRETE PAINT EXISTING DOOR & FRAME
- 531 PAINTED HM DOOR & FRAME - SEE DOOR SCHEDULE
- 533 EXTERIOR CONDUIT FOR NEW CONNECTION TO ELECTRICAL SERVICES PER ELECTRICAL
- 575 EXISTING SIDEWALK GRADE
- 576 EXISTING PAVEMENT GRADE
- 582 EXISTING ADJACENT BUILDING
- 594 EXISTING ELECTRICAL METER AND CONDUITS - COORDINATE WITH ELECTRICAL FOR RELOCATION OF ELECTRICAL CONNECTIONS



**2. EXTERIOR ELEVATION SOUTH**  
 SCALE: 1/8" = 1'-0"



**3. EXTERIOR ELEVATION NORTH**  
 SCALE: 1/8" = 1'-0"

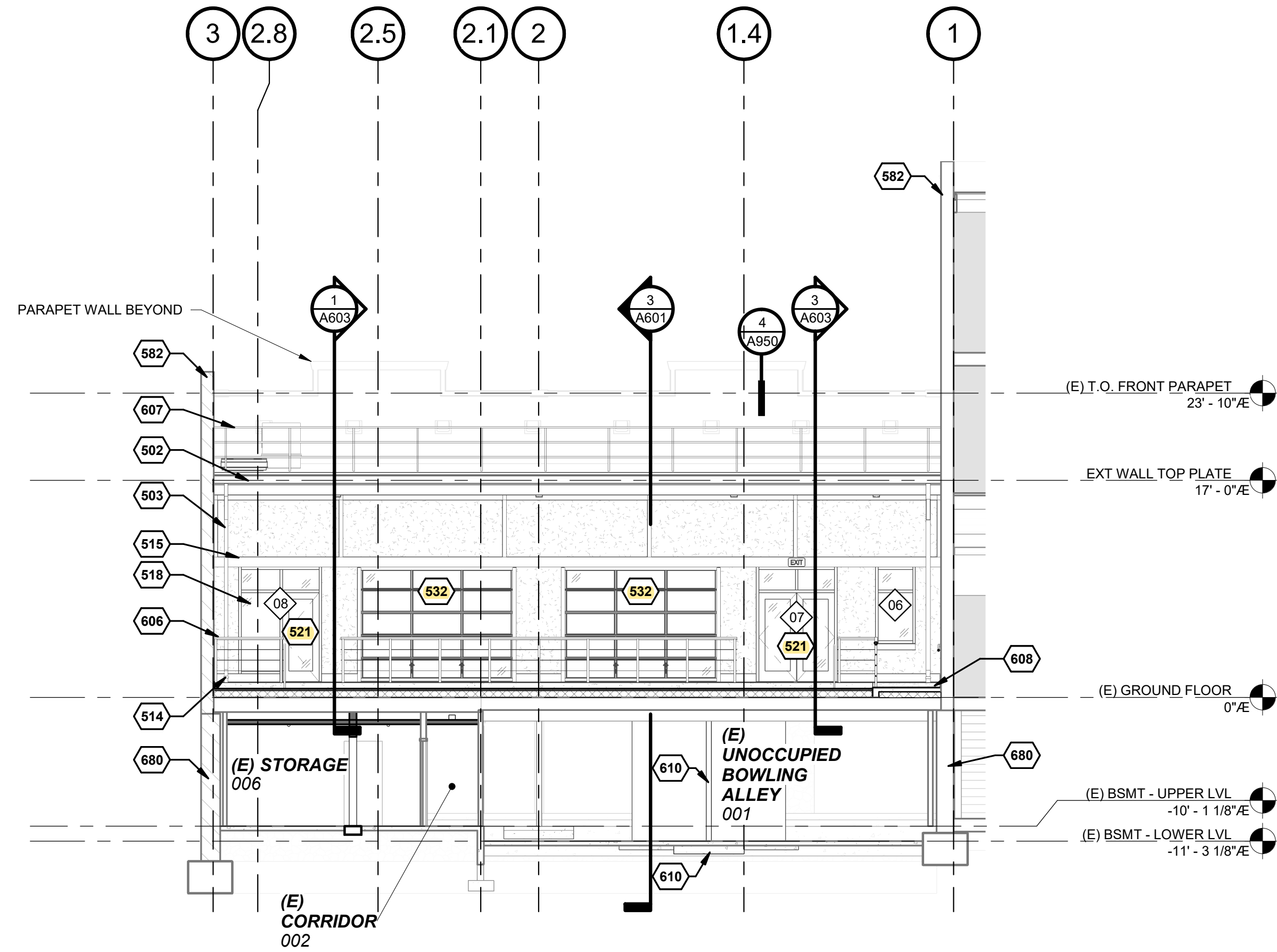


**4. EXTERIOR ELEVATION WEST**  
 SCALE: 1/8" = 1'-0"

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

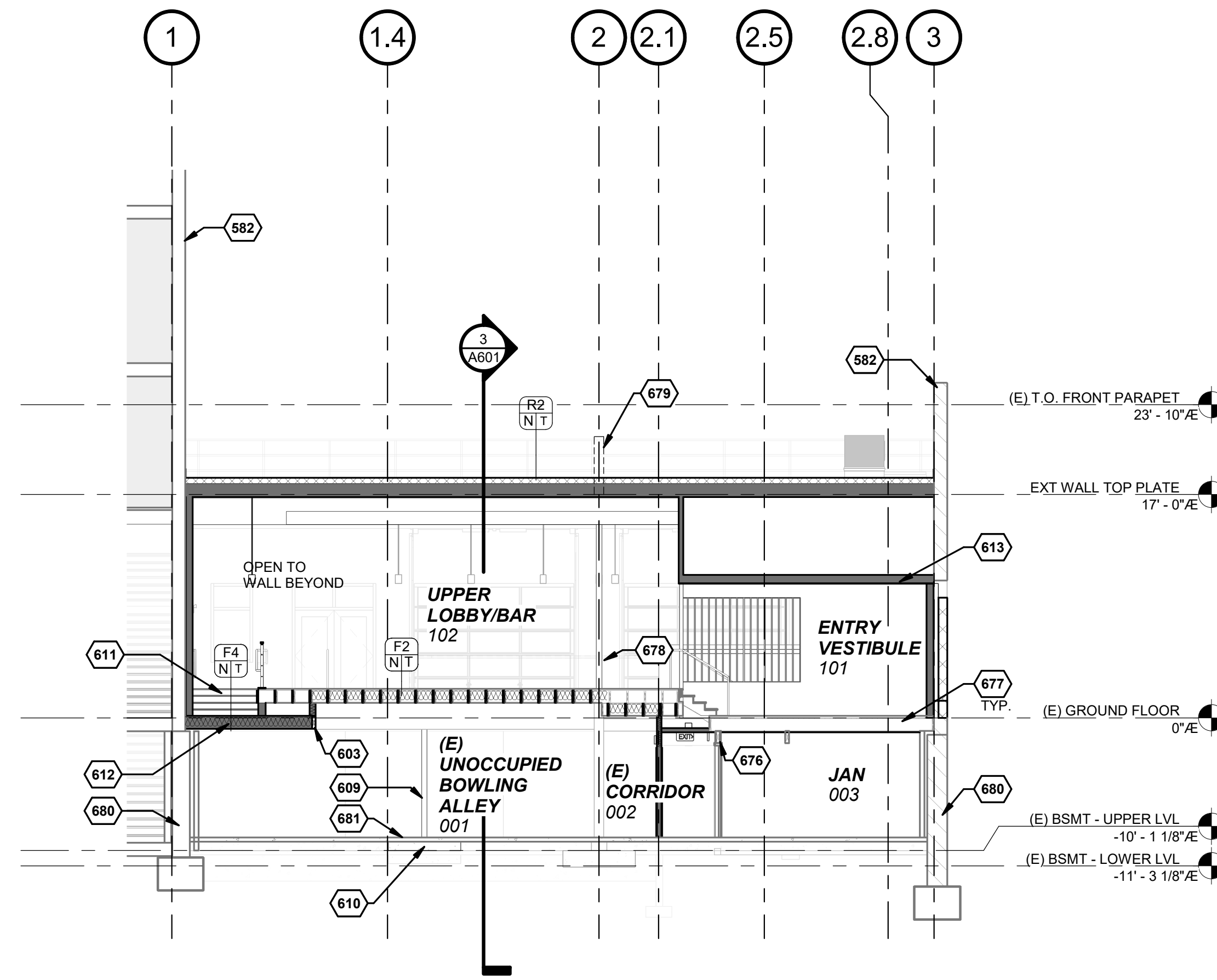
DRAWN BY: BGR  
 DATE ISSUED: 10.28.21

SHEET:  
**A501**  
 PERMIT REVIEW SET  
 10/28/21



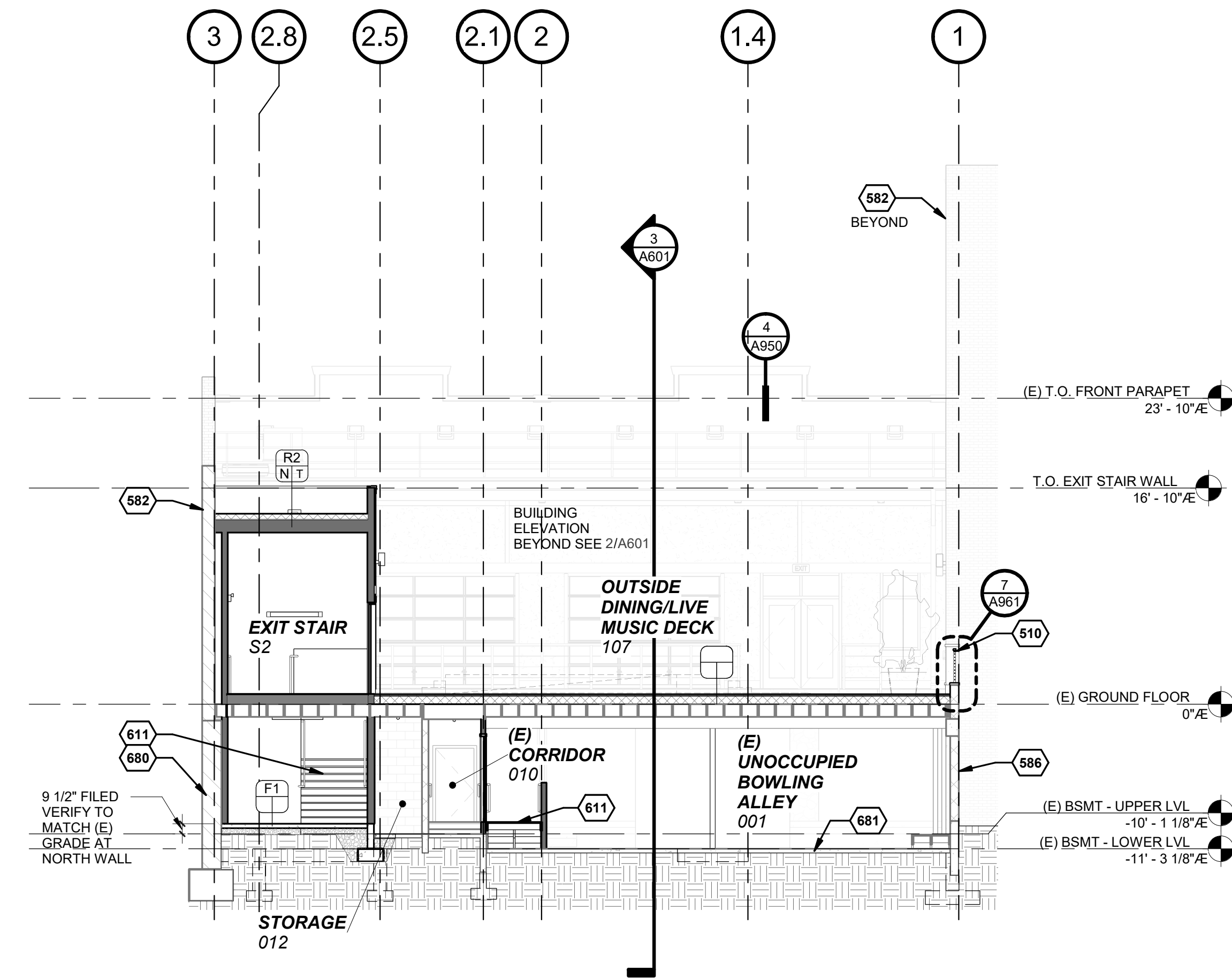
2. CD-E/W BUILDING SECTION @ OUTDOOR DINING

SCALE: 1/8" = 1'-0"



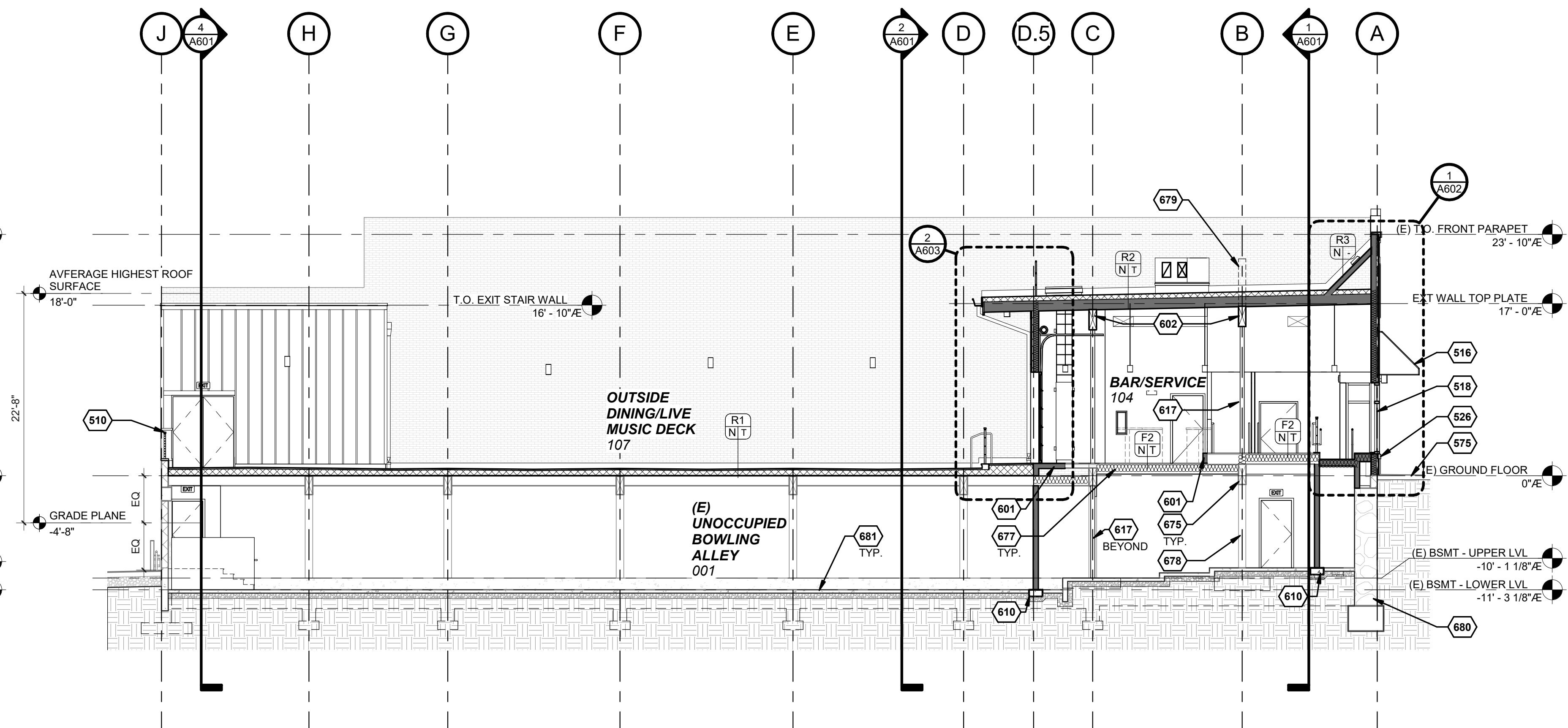
1. CD-E/W BUILDING SECTION @ ENTRY & RAMP

SCALE: 1/8" = 1'-0"



4. E/W BUILDING SECTION @ EXIT STAIR

SCALE: 1/8" = 1'-0"



3. CD-N/S BUILDING SECTION

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- A. SEE WALL SECTIONS FOR PARTIAL ELEVATIONS NOT SHOWN.
- B. SEE DOOR AND WINDOW TYPES / SCHEDULES FOR ADDITIONAL INFORMATION.
- C. REFER TO RCP'S FOR FINISH MATERIALS OF SOFFIT AREAS.
- D. CLEANING OF HISTORIC STRUCTURE REQUIRES THE APPLICANTS TO USE THE GENTLEST MEANS POSSIBLE. NO HARSH CHEMICAL OR SANDBLASTING WILL BE ALLOWED. REFER TO A501 FOR EXISTING CONDITIONS AND EXTENT OF DEMOLITION FOR NEW WORK.
- E.

KEYNOTES

- 502 CONTINUOUS PFM GUTTER ON FASCIA BOARD, TYP.
- 503 DOWNSPOUT, TYP.
- 510 WOOD AND METAL GUARD RAIL SYSTEM
- 514 DRAIN HUB FOR DOWNSPOUT PER DESIGN BUILD PLUMBING
- 515 PAINTED WOOD TRIM
- 516 FABRIC AWNING SYSTEM
- 518 MTL CLAD WOOD WINDOW/STOREFRONT SYSTEM
- 521 METAL CLAD WOOD STOREFRONT ENTRANCE DOOR - SEE DOOR SCHEDULE
- 526 MANUFACTURED STONE VENEER WAINSCOT
- 532 ALUMINUM GLAZED OVERHEAD SECTIONAL DOOR - SEE DOOR SCHEDULE
- 575 EXISTING SIDEWALK GRADE
- 582 EXISTING ADJACENT BUILDING
- 586 EXISTING CMU WALL
- 601 INFILL OVER FRAMED FLOOR - ALIGN FINISHED FLOOR WITH EXISTING ADJACENT FLOOR
- 602 GLAM BEAM - SEE STRUCTURAL
- 603 WOOD BEAM - SEE STRUCTURAL
- 606 WOOD AND METAL RAILING SYSTEM
- 607 PAINTED STEEL PIPE GUARDRAIL
- 608 CONCRETE RAMP ON STRUCTURAL RIGID INSULATION
- 609 STEEL COLUMN PER STRUCTURAL
- 610 CONCRETE FOOTING PER STRUCTURAL
- 611 WOOD FRAMED STAIR AND LANDING - SEE STAIR PLANS AND SECTIONS
- 612 LOWERED FLOOR FRAMING FOR STAIR LANDING - SEE STAIR PLANS AND STRUCTURAL
- 613 GYP BD SOFFIT ON 2X FRAMING PER STRUCTURAL
- 617 PAINTED STEEL COLUMN PER STRUCTURAL
- 675 EXISTING GLAM BEAM - SEE STRUCTURAL
- 676 EXISTING WOOD BEAM - SEE STRUCTURAL
- 677 EXISTING FLOOR FRAMING - SEE STRUCTURAL FOR ADDITIONAL INFORMATION
- 678 EXISTING 8" DIA STEEL PIPE COLUMN - FIELD VERIFY EXISTING CONDITION
- 679 REMOVE TOP PORTION OF EXISTING STEEL PIPE COLUMN ABOVE GROUND FLOOR BEAM - SEE STRUCTURAL
- 680 EXISTING MASONRY/STONE FOUNDATION WALL
- 681 EXISTING CONCRETE SLAB ON GRADE FLOOR



CONSULTANT:

PROJECT NUMBER: 221147

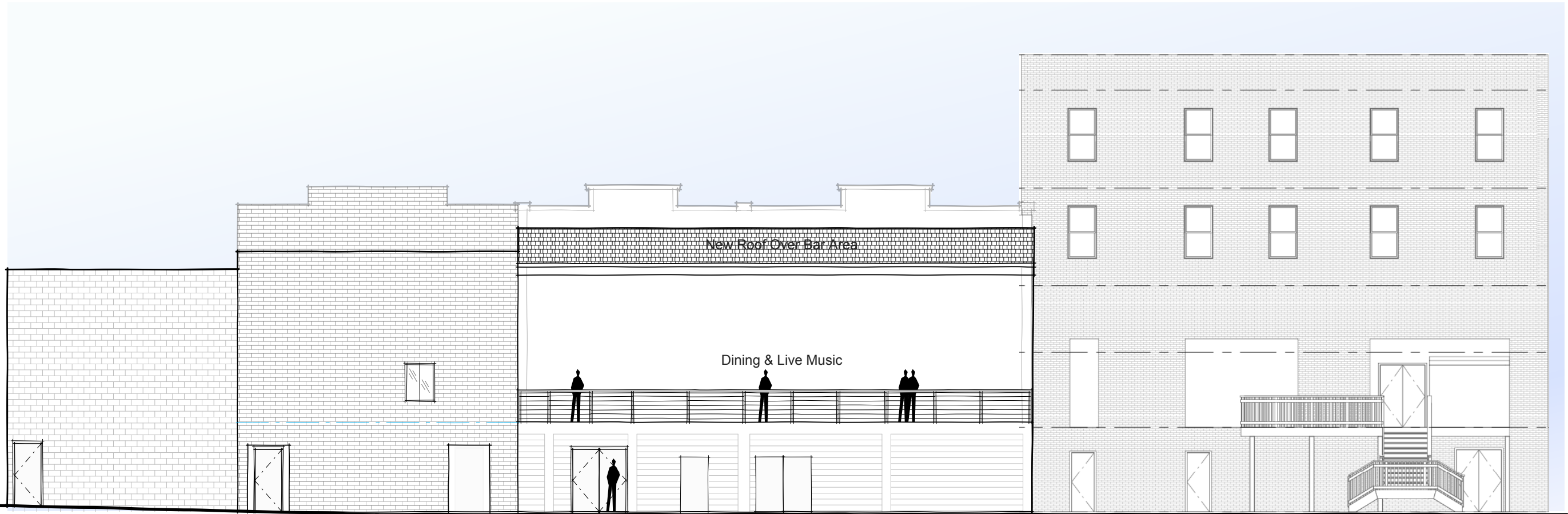
**REC BLDG THE DALLES**

213 EAST 2ND STREET  
THE DALLES, OR  
97058

SHEET TITLE:  
**BUILDING SECTIONS**

DRAWN BY: BGR  
DATE ISSUED: 10.28.21

SHEET:  
**A601**  
PERMIT REVIEW SET  
10/28/21  
LRS Architects, Inc. ©2021



former Empress Hotel

former Horn Saloon

former Recreation Bldg

former Bank Hotel



Preliminary Sketch: Alley Elevation  
7/26/2021



United States Department of the Interior  
National Park Service

# National Register of Historic Places Continuation Sheet

Section number 7 Page 101

---

the hotel in 1946 and members of the family still own the property today.

#79 HISTORIC NAME: NA  
#80 COMMON NAME: Recreation Cafe  
#81 ADDRESS: 213-215 East Second Street  
RESOURCE TYPE: Buildings  
OWNER'S NAME AND ADDRESS:  
Glen McClaskey  
c/o Richard and Karen Bakken, et al  
2695 Alvarado Terrace S.  
Salem, Oregon 97302  
ASSESSOR'S MAP: 1N-13E-3BD BLOCK: 3 LOT:7, 8 TAX LOT: 3400, 3500, 3600  
ADDITION: Original Dalles City  
ALTERATIONS: Major  
STYLE: Other  
YEAR: 1946; 1958  
USE: Restaurant; lounge; bowling alley  
PREVIOUS HISTORIC LISTING:  
CLASSIFICATION: Non-Compatible Non-Contributing

**PHYSICAL DESCRIPTION:** This two-story brick and concrete block building with basement is composed primarily of glazed tiles as the exterior wall finish. The roof is flat, built up. The main (south) facade has three recessed entry doors and aluminum storefronts. The metal canopy has a stucco finish soffit, with recessed lighting. Above the canopy the facade is trimmed in blue colored aluminum topped with a 20' wide, 10' high decorative element that supports the cafe signage. The building is in fair-good condition.

**HISTORICAL DATA:** This Recreation building was built in two stages. The first portion was built in 1946 and the addition was constructed in 1958. The later addition replaced The Grand Theater, the top showplace at one time in the Mid-Columbia area.

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## CITY of THE DALLES

313 COURT STREET  
THE DALLES, OREGON 97058

---

(541) 296-5481 ext. 1125  
COMMUNITY DEVELOPMENT DEPARTMENT

### **HISTORIC LANDMARKS RESOLUTION NO. 181-21**

**Adopting The Dalles Historic Landmarks Commission Application 192-21 of North Wasco County School District 21.** This application is for a Historic Landmarks Commission hearing to gain approval to site and construct a covered pavilion between the High School and Kurtz Gymnasium. The property is located 220 E. Tenth Street, The Dalles, Oregon and is further described as 1N 13E 3 CB tax lot 10500. The Dalles High School is a Moderne style structure built 1940-1941 and is a locally landmarked property. Property is zoned RH – High Density Residential with a Community Facilities Overlay (CFO).

#### I. RECITALS:

- A. The Historic Landmarks Commission of the City of The Dalles has, on December 15, 2021 conducted a public hearing to consider the above request.
- B. A Staff Report was presented, stating findings of fact and conclusions of law.
- C. Staff Report 192-21 and the minutes of the December 15, 2021 hearing, upon approval, provide the basis for this resolution and are herein attached by reference.

#### II. RESOLUTION: Now, therefore, be it FOUND, DETERMINED, and ORDERED by the Historic Landmarks Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part “I” of this resolution.
- B. Historic Landmarks Review 192-21, North Wasco County School District 21, is ***approved*** with the following conditions:
  1. Work will be completed in substantial conformance to the proposals as submitted and reviewed.
  2. In the event there are discovered archeological resources or materials during the project, the discovery shall be professionally evaluated prior to continued excavation at the site.

#### III. APPEALS, COMPLIANCE AND PENALTIES:

- A. Any party of record may appeal a decision of the Historic Landmarks Commission to the City Council for review. Appeals must be made in accordance to Article 11.12.090 of The Dalles Municipal Code, Chapter 11.12 Historic Resources, and must be filed with the City Clerk within ten (10) days of the date of mailing of this Order.

- B. Failure to exercise this approval within the time line set either by Order or by The Dalles Municipal Code will invalidate this permit.

ADOPTED THIS 15<sup>TH</sup> DAY OF DECEMBER, 2021.

\_\_\_\_\_  
Robert McNary, Chair  
Historic Landmarks Commission

I, Dawn Marie Hert, Senior Planner & Historic Landmarks Secretary for the Community Development Department of the City of the Dalles, hereby certify that the foregoing Order was adopted at the meeting of the City Historic Landmarks Commission, held on December 15, 2021.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ATTEST: \_\_\_\_\_  
Dawn Marie Hert, Senior Planner & Historic Landmarks Commission Secretary  
City of The Dalles Community Development Department



## CITY of THE DALLES

313 COURT STREET  
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125  
COMMUNITY DEVELOPMENT DEPARTMENT

### **HISTORIC LANDMARKS RESOLUTION NO. 182-21**

**Adopting The Dalles Historic Landmarks Commission Application 193-21 of Todd Carpenter and Carla McQuade.** This application is for a Historic Landmarks Commission hearing to gain approval to modify previously approved HLC Applications #164-19 and #177-20 for rear façade restoration of the Recreation building. The property is located 213 E. Second Street, The Dalles, Oregon and is further described as 1N 13E 3 BD tax lot 3600. Property is located in the National Commercial Historic District and zoned CBC – Central Business Commercial with a Sub-district CBC-1 Overlay.

#### I. RECITALS:

The Historic Landmarks Commission of the City of The Dalles has, on December 15, 2021 conducted a public hearing to consider the above request.

- A. A Staff Report was presented, stating findings of fact and conclusions of law.
- B. Staff Report 193-21 and the minutes of the December 15, 2021 hearing, upon approval, provide the basis for this resolution and are herein attached by reference.

#### II. RESOLUTION: Now, therefore, be it FOUND, DETERMINED, and ORDERED by the Historic Landmarks Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part “I” of this resolution.
- B. Historic Landmarks Review 193-21, Todd Carpenter and Carla McQuade, is ***approved*** with the following conditions:
  - 1. Work shall be completed in substantial conformance to the pictures and proposals as submitted, reviewed and modified.
  - 2. The use of reflective and smoked glass is prohibited.
  - 3. Whenever possible, the natural color of the materials should be retained.
  - 4. The modification to the rear façade shall not alter the essential form and integrity of the historic property. Utmost care will be taken with new construction.
  - 5. The applicants shall submit plans for a building permit to City of The Dalles and then Wasco County Building Codes.
  - 6. Cleaning of the historic structure requires the applicants to use the gentlest means possible. No harsh chemical or sandblasting will be allowed.

7. Replacement materials necessary for restoration should be compatible in quality, color, texture, finish and dimension to the original materials.
8. The applicants are required to notify the Community Development Department of any alteration of the approved plans.

III. APPEALS, COMPLIANCE AND PENALTIES:

- A. Any party of record may appeal a decision of the Historic Landmarks Commission to the City Council for review. Appeals must be made in accordance to Article 11.12.090 of The Dalles Municipal Code, Chapter 11.12 Historic Resources, and must be filed with the City Clerk within ten (10) days of the date of mailing of this Order.
- B. Failure to exercise this approval within the time line set either by Order or by The Dalles Municipal Code will invalidate this permit.

ADOPTED THIS 15<sup>TH</sup> DAY OF DECEMBER, 2021.

\_\_\_\_\_  
 Robert McNary, Chair  
 Historic Landmarks Commission

I, Dawn Marie Hert, Senior Planner & Historic Landmarks Secretary for the Community Development Department of the City of the Dalles, hereby certify that the foregoing Order was adopted at the meeting of the City Historic Landmarks Commission, held on December 15, 2021.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ATTEST: \_\_\_\_\_  
 Dawn Marie Hert, Senior Planner & Historic Landmarks Commission Secretary  
 City of The Dalles Community Development Department