



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
Planning Department

AGENDA
CITY OF THE DALLES PLANNING COMMISSION

CITY HALL COUNCIL CHAMBERS
313 COURT SREET

THE DALLES, OREGON 97058

CONDUCTED IN A HANDICAP ACCESSIBLE MEETING ROOM

THURSDAY, MAY 7, 2015

6:00 PM

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. APPROVAL OF MINUTES – April 2, 2015
- V. PUBLIC COMMENT (Items not on the Agenda)
- VI. **QUASI-JUDICIAL HEARING**
Application Number: CUP 174-15; FFA Architects+Interiors/The Dalles Wasco County Library; Request: Application to gain approval for the construction of a one-story, 2,300 s.f. addition to the existing Dalles-Wasco County Library. The property is located at 722 Court Street, The Dalles, Oregon and is further described as 1N 13E 3CB t.l. 800. Property is zoned “CBC” – Central Business Commercial.
- VII. RESOLUTION – P.C. Resolution #542-15; CUP 174-15; The Dalles Wasco County Library
- VIII. PRESENTATION – Northern Wasco School District #21; Update on options for Dry Hollow Elementary School student drop off/pick-up zone – Dennis Whitehouse
- IX. STAFF COMMENTS
- X. COMMISSIONER COMMENTS/QUESTIONS
- XI. FUTURE MEETING – May 21, 2015
- XII. ADJOURNMENT

CITY OF THE DALLES PLANNING COMMISSION MINUTES

Thursday, April 2, 2015
City Hall Council Chambers
313 Court Street
The Dalles, OR 97058
Conducted in a handicap accessible room
6:00 PM

CALL TO ORDER:

Chair Lavier called the meeting to order at 6:00 PM.

BOARD MEMBERS PRESENT:

Bruce Lavier, Mark Poppoff, John Nelson, Jeff Stiles, Dennis Whitehouse

BOARD MEMBERS ABSENT:

Chris Zukin, Sherry DuFault

STAFF MEMBERS PRESENT:

Planning Director Richard Gassman, Administrative Secretary Carole Trautman

APPROVAL OF AGENDA:

It was moved by Nelson and seconded by Stiles to approve the agenda as submitted. The motion carried unanimously.

APPROVAL OF MINUTES:

A typographical error was noted by Nelson on page 3, third sentence. Change the word "inn" to "in." It was moved by Whitehouse and seconded by Stiles to approve the March 5, 2015 minutes as amended. The motion carried unanimously.

PUBLIC COMMENT:

None.

LEGISLATIVE HEARING (continued):

Application Number: ZOA 87-14; **City of The Dalles;** **Request:** Amendments to the Land Use and Development Ordinance regarding sign codes.

City Attorney Parker submitted two changes as follows:

- **Section E. 2:** This is a new section and should be considered subsection C.
- **Section E. 3:** Delete the word "all"

Nelson asked for clarification on several of the proposed changes. Gassman clarified as follows:

- **Section A. 5** (of staff report): Framed Signs - Gassman said that historically movable signs (signs that are not affixed to a permanent base material such as a banner or a flag sign) have not been allowed other than as a temporary sign. The sign industry now has more durable and substantial material for temporary signs/banners. The Sign Committee, Gassman said, expanded the definition of a framed sign to include any type of material that was placed within a rigid border that would prevent the sign from moving. Gassman explained that if such a sign could be included in a business' allotted sign allowance, then the framed sign would be considered a permanent sign. If not within sign allowance maximum, it would be considered a 90-day temporary sign. The sign industry also developed a framed border to allow for interchangeable text, almost like a reader board.
- **Section B. 7:** "similar to ODOT regulations" The proposed language change would be added at the end of the entire regulation.
- **Section C. 1:** "regular sign allowance" The definition is the maximum amount of square footage allowed on a building front. Under the current code, only one temporary sign was allowed. With the proposed changes, businesses on a corner would be allowed on each street frontage.
- **Section D. 1:** The words "indecent" or "obscene" would be deleted because City Attorney Parker advised it was unenforceable.
- **Section D. 4:** Cross out the words "sign that," and change to "sign which." This section becomes a new Item H, and the old H becomes I.
- **Section E. 5:** This language would become a new section. Gassman said it would most likely become an item A, and other items thereafter would be alphabetically re-lettered from this new item.

Director Gassman summarized the changes. Item E. 2: this new section should be labeled subsection C. Item E. 3: delete the word "all." Item D. 4: delete a couple of words, and on item D. 5: assign the new language as item A and re-letter the remaining sections alphabetically.

It was moved by Nelson and seconded by Whitehouse to approve the proposed LUDO changes, including changes noted by City Attorney Parker and Commissioner Nelson. The motion carried unanimously; Zukin and DuFault absent.

STAFF COMMENTS:

The Dalles Wasco County Library architectural firm is working on expansion plans, Director Gassman reported. The expansion will be a conditional use permit review, because one was never done.

COMMISSIONER COMMENTS:

Whitehouse offered to present a brief report at the next Planning Commission meeting on the options for the drop off/pick up area at Dry Hollow School located at 1314 East 19th Street, The Dalles, Oregon.

NEXT MEETING:

April 16, 2015

ADJOURNMENT:

Chair Lavier adjourned the meeting at 6:25 PM.


Respectfully submitted by Administrative Secretary Carole Trautman

Bruce Lavier, Chairman

City of The Dalles STAFF REPORT

Conditional Use Permit No. 174-15

FFA Architecture+Interiors – The Dalles-Wasco County Library

Prepared by: Dawn Marie Hert, Senior Planner 

Procedure Type: Quasi-Judicial

Hearing Date: May 7, 2015

Assessor's Map: 1N 13E 3CB, tax lot 800

Address: 722 Court Street

Comprehensive Plan

Designation: "RH" High Density Residential District with a
"NC" Neighborhood Center Overlay

Zoning District: "RH" Low Density Residential District with a
"NC" Neighborhood Center Overlay

City Limits: Inside

Request: To site and construct a one-story, 2,300 square foot addition to the existing Dalles-Wasco County Library. The addition will include a reading room, book collection area, and a children's activity area.

BACKGROUND INFORMATION

The subject property is located at 722 Court Street and has been the location of the public library since 1965.

Libraries are, by definition, community facilities. Such a change to the site requires a Conditional Use Permit. This staff report will include both the Conditional Use Permit review, as well as a Site Plan Review.

NOTIFICATION

Property owners within 300 feet, City Departments, franchise utilities, Mid-Columbia Fire & Rescue, Wasco County Health Department, and State Building Codes were mailed a notice on April 23, 2015, as required by Section 3.020.050 D.

COMMENTS RECEIVED

Pre-Application –Site Team. The application was reviewed by the Site Team members on April 2, 2015. The comments received from that application are included in this staff report.

Property Owner Comments. No comments were received as of the date of this report.

RECOMMENDATION: Approval, with conditions, based upon the following findings-of-fact.

A. LAND USE AND DEVELOPMENT ORDINANCE 98-1222:

Section 3.010.040 Applications:

Subsection B. Completeness.

FINDING A-1: This application was found to be complete on April 23, 2015. The 120-day State mandated decision deadline is August 21, 2015.

Section 3.020.050 Quasi-Judicial Actions:

Subsection A. Decision Types, (1) Site Plan Review; (3) Conditional Use Permits:

FINDING A-2: This application is for a Conditional Use Permit and Site Plan Review as required by Section 5.050.040 (E). The decision criteria listed in this ordinance section is addressed in the body of this staff report.

Subsection B. Staff Report. The Director shall prepare and sign a staff report for each quasi-judicial action, which identifies the criteria and standards applying to the application and summarizes the basic findings of fact. The staff report may also include a recommendation for approval with conditions, or denial.

FINDING A-3: The staff report will detail criteria and standards relevant to a decision, all facts will be stated, and explanations given. This will be detailed through a series of findings directly related to relevant sections and subsections of the ordinance as they relate to this request.

Subsection C. Public Hearings.

FINDING A-4: The public hearing is scheduled for May 7, 2015.

Subsection D. Notice of Hearing.

FINDING A-5: Appropriate mailings to property owners within 300 feet and notice to affected departments and agencies have been completed.

Section 3.050.030 Review Procedures:

Subsection A. Applications. Conditional Use Permit applications shall be accompanied by at least 15 copies of the concept site plan, and when required, two copies of the detailed landscape and construction/design plans, per the provisions of Section 3.030: Site Plan Review.

FINDING A-6: Copies of the required plans have been submitted.
Criterion met.

Section 3.050.040 Review Criteria

Subsection A. Permitted Conditional Uses. The proposed use is conditionally permitted in the zone district where it is proposed to be located.

FINDING A-7: Public Libraries are conditionally allowed in the Residential High Density and Neighborhood Center Overlay zones.
Criterion met.

Subsection B. Standards. The proposed use conforms to all applicable standards of the zone district where the use is proposed to be located. The proposed use will also be consistent with the purposes of this ordinance, applicable policies of the Comprehensive Plan, and any other statutes, ordinances, or policies that may be applicable.

FINDING A-8: Section 5.010.050 sets out the development standards for the RH zone. The proposed buildings will meet all development standards. Criteria met.

Subsection C. Impact. The proposed structure(s) and use(s) shall be designed and operated in such a way as to meet the standards of this section. Impacts caused by the construction of the conditional use shall not be considered regarding a decision on the validation of the application.

1. Noise impacts across the property line shall not exceed 60 decibels. Noise related to traffic impacts shall not be included in this determination. Nothing in this section shall modify other noise ordinance standards as adopted by the City.

FINDING A-9: The use as a library has been established. The addition should not increase the existing noise generated by the patrons and vehicles that access the site. The traffic impacts generated with this use cannot be used in making a determination. The applicant will be advised of the allowable noise levels.

2. Lighting impacts across the property line shall not exceed 0.5 foot-candles (a foot-candle is the amount of light falling upon a 1-square-foot surface which is 1 foot away from a 1-candlepower light source.)

FINDING A-10: Additional lighting was not shown on the Site Plan and will be addressed as a condition of approval and is discussed later in this report.

3. Dust and other particulate matter shall be confined to the subject property.

FINDING A-11: The proposed use would not typically create dust or other particulate matter. All areas of maneuvering for vehicles exist and are a hard surface.

4. The following odors shall be completely confined to subject property:

- a. *industrial and/or chemical grade chemicals, solvents, paints, cleaners, and similar substances;*
- b. *fuels, and*
- c. *fertilizers, manure, or other animal waste products, other than for landscape installation and maintenance.*

FINDING A-12: The proposed use will not be using any of the listed items that cause odors. This proposal does not indicate that many of these nuisances need to be reviewed in depth for mitigation purposes. Trash receptacles should be sized to fully accommodate the needs of the uses at the site. No outdoor storage of materials or supplies related to this proposed use will be allowed. Criterion can be addressed as a condition of approval.

5. *Vibrations shall not be felt across the property line.*

FINDING A-13: The proposed development does not include machinery or equipment that causes vibration. Criterion does not apply.

6. *The transportation system is capable, or can be made capable, of supporting the additional transportation impacts generated by the use.*

Evaluation factors shall include, but are not limited to:

- a. *Street designations and capacities; and*
- b. *On-street parking impacts.*

FINDING A-14: Access to this parcel is from 7th Street, which is a Residential street. The parking lots will not be modified or enlarged with this application. No additional access is being requested, and the parking lots are adequate. Criterion met.

7. *In areas designated as Historic Districts, proposed development and redevelopment shall first require review and approval of the Historic Landmarks Commission in accordance with the procedures of the Historic Resources Ordinance (General Ordinance No. 94-1194.)*

FINDING A-15: The subject property is not a historic landmark nor is it located in a National Historic District. Criterion does not apply.

Site Plan Review - Section 3.030.040 Review Criteria.

A. City Ordinance Provisions. *All the provisions from the applicable City ordinances have been met or will be met by the proposed development.*

FINDING A-16: All provisions are met by this proposal, or will be met, as a condition of approval. This will be detailed in the staff report through a series of findings.

B. Public Facilities Capacity. *Adequate capacity of City facilities for water, sanitary sewer, storm sewer, and streets and sidewalks can and will be provided to, and were applicable, through, the subject property.*

FINDING A-17: Adequate capacity exists for facilities including water, storm sewer, streets and sidewalks. The Dalles Public Works Department has verified this information. Criterion met.

C. Arrangement of Site Elements.

1. Promote pedestrian, bicycle, and vehicular safety and welfare.

FINDING A-18: Pedestrian safety and welfare is promoted by the sidewalks along all property frontages. Existing walkways are provided from the public sidewalk to the main entrance of the building. Existing parking is provided at the front of the building and in the upper parking lot to the east of the Library. Bicycle parking also exists at the library site. Vehicular safety is promoted by having adequate stall and aisle dimensions as well as an improved access point on 7th Street.

2. Preserve and maintain public amenities and significant natural features.

FINDING A-19: There are no known public amenities or significant natural features on this site. Criterion does not apply.

3. Avoid traffic congestion.

FINDING A-20: The provided on-site parking meets minimum spacing and lane requirements. Access to the parking lots will be via the existing access points. Criterion met.

4. Minimize potential adverse impacts on surrounding properties.

FINDING A-21: The range of uses for this site does not have a high potential for off-site impacts. Nuisance conditions that may develop are addressed on a complaint basis; this includes noise, dust, vibration, and odor. Those criteria are addressed earlier in the Conditional Use Permit portion this staff report.

D. Lighting. *Proposed lighting shall not directly illuminate adjoining properties.*

FINDING A-22: General lighting of the parking areas and the buildings is shown on the site plan. Lighting is not allowed to illuminate adjoining properties. With the additional exterior lighting planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. These items will be addressed as a condition of approval.

E. City Engineer Approval. *Detailed construction/design plans for public infrastructure, improvements, or rights of way affected by or located within a proposed development site shall be approved by the City Engineer as a condition of Site Plan Review approval.*

FINDING A-23: The detailed construction/design plans for all improvements located within the proposed development site shall be approved by the City Engineer prior to construction. Criterion will be addressed as a condition of approval.

F. Waiver of Remonstrance. *Where applicable, the applicant shall agree to waive any future rights to remonstrate against future improvements, per the provision of Section 6.110: Waiver of Right to Remonstrate of this ordinance.*

FINDING A-24: All improvements adjacent to the site are installed. Criterion does not apply.

Section 5.060.040 - Conditional Uses B. Community Facilities

Section 5.100.020 - Conditional Uses F. Libraries, museum, and cultural exhibits.

FINDING A-25: As indicated on the application submitted, the proposed use is for a public library. The use is allowed conditionally in the Residential High Density zoning district with a Community Facility Overlay. Criterion met.

Sections 5.020.050, 5.040.040 & 5.100.040 Development Standards:

The following table specifies Residential High Density, Neighborhood Center Overlay and Community Facility Overlay development standards applicable to this application.

| Residential High Density/ Neighborhood Center Overlay /Community Facility Overlay | Standard | Proposal | Meets Requirements |
|--|--|--|---------------------------|
| Lot Size | 4,000sf/No minimum | Existing lot, 2.34+ acres | Criterion met. |
| Setbacks | Front and Side Yard: No minimum, Rear: 10 feet. | Addition is planned between the existing library and the upper parking lot. All setbacks are met. | Criterion met. |
| Building Height | 35 ft. | New addition will be shorter than the existing building. The height of the addition will be approximately 15'7". | Yes |
| Off-Street Parking | <i>Library- 2.5(min) spaces per 1,000sf floor area to 4 spaces per 1,000 sf floor area. Bicycle parking at 1 space per 1,000sf. Allows for a parking range of 37 to 60 parking spaces and 15 bicycle parking spaces based on a 14,790 sf building (12,490 existing and 2,300 new)</i> | 78 Parking spaces exist and a bicycle rack that can hold 12-20 exists at the library. | Criterion met. |
| Landscaping | Detailed Below | Detailed Below | Detailed Below |

FINDING A-26: Criterion will be addressed with conditions of approval.

Section 5.050.050 Design Standards:

Subsection A. Exterior Elevations. *Exterior elevations of buildings (except allowed 1 and 2 family dwellings) shall incorporate architectural design features such offsets, balconies, projections, base/wall/cornice design, windows, entries, bays, seating, wall articulation, traditional storefront elements, or similar elements to preclude large expanses of uninterrupted building surfaces.*

1. **Horizontal.** *At least 3 architectural design features shall be incorporated along the horizontal face (side to side) of the structure.*
2. **Vertical.** *At least 2 architectural design features shall be incorporated along the vertical face (top to bottom) of the structure.*

FINDING A-27: The proposed building elevation drawings show that the exterior elevations incorporate the required design standards. Criterion met.

Subsection B. Entries.

1. **Commercial and Residential.** *Primary entries shall face a public street or designated access drives and shall be accessed from a public sidewalk in accordance with the provisions of Subsection (C) below. Secondary entries may face parking lots or loading areas. Doors shall not swing into public rights-of-way.*

FINDING A-28: The existing primary entrance face the public street. Doors will not swing into the public right of way. Criterion met.

Subsection C. Pedestrian Walkways. *Each developed site shall include pedestrian walkway(s) designed to connect buildings and other accessible site facilities clearly and directly to adjacent public street/sidewalk(s). Walkways shall meet City standards for sidewalk construction, and be the shortest practical distance between the main entry(ies) and the public right-of-way. If adjacent to parking where vehicles overhang the walkway, then the walkway shall be to the City standard plus 2 ½ feet in width for each side vehicles overhang. Walkways shall be distinguished from internal driveways and accessways using at-grade distinctive paving materials or other appropriate surfaces which contrast visually with adjoining surfaces. Walkways, including driveway and accessway crossings, shall be constructed and maintained for pedestrian safety, and shall meet the requirements of the Oregon Americans with Disabilities Act, the State of Oregon Structural Specialty Code, and the Oregon Revised Statutes.*

Section 10.040 Pedestrian Requirements:

Subsection B. Connectivity.

- (3) (a) *The on-site pedestrian circulation system shall connect the sidewalk on adjacent street(s) to the main entrance of the primary structure on the site to minimize out-of-direction pedestrian travel.*
- (b) *Walkways shall be provided to connect the on-site pedestrian circulation system with existing or planned pedestrian facilities which abut the site but are not adjacent to the streets abutting the site.*

- (c) *Walkways shall be as direct as possible and avoid unnecessary meandering.*
- (d) *Walkway/driveway crossings shall be minimized, and internal parking lot circulation design shall maintain ease of access for pedestrians from abutting streets and pedestrian facilities.*
- (e) *Walkways shall be separated from vehicle parking or maneuvering areas by grade, different paving material, or landscaping. They shall be constructed in accordance with the sidewalk standards adopted by the City Engineer. (This provision does not require a separated walkway system to collect drivers and passengers from cars that have parked on site unless an unusual parking lot hazard exists).*

FINDING A-29: The site plan shows proposed pedestrian walkways around the new addition and are provided from the site to the public sidewalk. The proposed walkways are direct and provided from the building and parking lots to the sidewalk as well as to the library. Criterion met.

Section 6.010 Landscaping Standards:

6.010.030 General Provisions

***Subsection B. Landscape Plans;** where landscaping is required by this Ordinance, detailed landscape plans may be submitted with the development application. If not submitted for approval with the application, approval of detailed landscape plans shall always be a condition of the concept plan approval of the Site Plan Review process.*

FINDING A-30: The “CFO” - Community Facility Overlay zone requires the underlying zone requirements be met, and “NC” - Neighborhood Center Overlay requires 10% of the first floor area of all structures, and finally the “RH” - Residential High Density zone requires 1.5 times the first floor area of all structures. A majority of the 2.34 acre parcel contains landscaping if not occupied by a structure, parking lot or paved play areas. The landscaping exceeds the minimum requirement. Criterion met.

Section 7.030 General Design Standards for Surface Parking Lots:

7.030.040 Subsection C. Interior parking Lot Landscaping. In addition to buffer landscaping along public right-of-way (excluding alleys and accessways) and along interior lot lines where required, all surface parking lots greater than 6 spaces shall include landscaping to cover not less than 10% of the interior of the parking area in accordance with the following:

- 1. A planting strip bay shall be located at the end of each parking row and at intervals between parking rows. Planting bays shall be a minimum of 9' wide; to allow doors to open without damage, and a minimum of 180 square feet. Each bay shall be curbed, and planted with 1 approved tree having a clear trunk height of at least 9 feet when mature. Height of all plantings, other than trees, in planting bays is limited to 24 inches.*
- 2. All trees shall be selected from a list of acceptable parking lot trees provided by the Director.*
- 3. Trees shall not be placed within 10 feet of a public utility easement without prior approval of the City Engineer.*

4. *Parking area shall be separated by a 5 foot landscaped planting bed from all exterior walls that include no pedestrian entranceways or loading areas.*
5. *Driveways, accessways, and access drives into vehicle parking lots from public and private streets shall be bordered (both sides) by a minimum 5 foot wide landscape planter strip with approved trees planted 20-30 feet on center and low shrubs.*
6. *Trees shall be evenly distributed throughout the parking area according to the applicable requirements of this section and the following tableZone District "CG"- Commercial General – Parking Lot Tree Requirement Ratio – 1 tree per 12 parking spaces.*

FINDING A-31: The applicant is not proposing modifications or additions to the parking lot areas. Staff determined that due to no modification being made to the existing parking lot, the lot would not be required to install additional landscaping. The existing landscaping appears to meet, or nearly meet, the minimum requirements. Criterion does not apply.

IF APPROVED, SUGGESTED CONDITIONS OF APPROVAL:

1. Prior to the start of any work, the City requires that a pre-construction meeting be held with the applicant, the City Engineer, and the Development Inspector.
2. All onsite and offsite improvements must be installed by the applicant in accordance with the Land Use Development Ordinance and the AWPA standards, specifications, and drawings, as amended and adopted by the City, and approved by the City Engineer, or otherwise guaranteed to be completed by the applicant to the satisfaction of the City.
3. Proposed development and final detailed construction plans will be required to be reviewed and approved by the City Engineer per established standards.
4. Prior to the issuance of a building permit, the applicant shall submit a completed Wastewater Survey Questionnaire to the City Planning Department.
5. A Physical Constraints Permit will be required for the excavation on-site. An erosion and dust control plan will need to be submitted for construction and be included in the detailed drawings.
6. With the new exterior lighting planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. The plan shall also demonstrate that the bicycle parking has a minimum lighting level of 3.0 foot candles.
7. Any activity that produces radio or television interference, noise, glare, dust or particulate matter, vibration, smoke or odor beyond the site, or beyond allowable levels as determined by local, state, and federal standards shall not be allowed.
8. Building permits will be required for the library. System Development Charges will be assessed at the time of permitting.

CONDITIONAL USE PERMIT APPLICATION

CITY OF THE DALLES
Community Development Department
313 Court Street
The Dalles, OR 97058
(541) 296-5481, ext. 1125
Fax (541) 298-5490
www.ci.the-dalles.or.us

Date Filed 4/21/2015
File# CUP 174-15
Date Deemed Complete 4/17/15
Hearing Date 5/7/15
Approval Date
Permit Log #
Other Cross Reference#

APPLICANT

Name FFA ARCHITECTURE + INTERIORS, INC.
Address 520 SW YAMHILL, SUITE 900
Telephone # 503.327.0370
E-mail address: LROARK@FFADESIGN.COM

LEGAL OWNER (If Different than Applicant)

Name City of The Dalles
Address 313 Court
The Dalles
Telephone # 541-296-5481
Daniel Hunter x 4448

PROPERTY INFORMATION

Address 722 COURT STREET
Map and Tax Lot 1 N 13 E 3 CB 800
Size of Development Site 2.35 ACRES (2,300 SF ADDITION TO 10,702 GSF EXIST LIBRARY FOOT PRINT)
Zone District/Overlay RH / NC In City Limits: Yes x No
Comprehensive Plan Designation Geohazard Zone:

PROJECT INFORMATION

[] New Construction [x] Expansion/Alteration [] Change of Use [] Amend Approved Plan
Current Use of Property LIBRARY
Proposed Use of Property LIBRARY

Briefly Explain the Project ONE STORY ADDITION TO AN EXISTING ~12,000 SF LIBRARY BUILDING. THE ADDITION INCLUDES A NEW READING ROOM, BOOK COLLECTION AND CHILDREN'S ACTIVITY AREAS. SITE IMPROVEMENTS WILL INCLUDE AN OUTDOOR ACTIVITY SPACE FOR THE CHILDREN'S PROGRAM & CONCRETE PAVING FOR WALKS & EXIT PATHWAYS.

PROPOSED BUILDING(S) FOOTPRINT SIZE (in square feet) 2,300 SF ADDITION

PARKING INFORMATION

Total Number of Spaces Proposed N/A

Square Footage of Parking Lot Landscaping Proposed N/A

LANDSCAPING INFORMATION

Total Square Footage Landscaping Proposed N/A Percent of Landscaping Irrigated _____

ECONOMIC DEVELOPMENT INFORMATION

Proposed Project is located in the Enterprise Zone

_____ Full Time Equivalent (FTE) jobs are currently provided.

_____ FTE jobs are expected to be created by the proposed project.

Signature of Applicant

Laxwaff Rowk 4/16/2015
Date

Signature of Property Owner* or Owners Agent

Gene E. Bunker 4-17-15
Date

* Notarized Owner Consent Letter may substitute for signature of property Owner

NOTE: This application must be accompanied by the information required in Section 3.050: Conditional Use Permits, contained in Ordinance No. 98-1222, The City of The Dalles Land Use and Development Ordinance.

PLANS REQUIRED:

At least 12 copies of concept site plan.

(10) 1/2 size sets per DANIEL HUNTER At least one 11 x 17 concept site plan.

2 copies detailed landscape plans 2 full size copies construction detail plans

RESOLUTION NO. P.C. 542-15

Adopting Conditional Use Permit Application #174-15 of FFA Architecture+Interiors/The Dalles Wasco County Library to gain approval to site and construct a one-story, 2,300 square foot addition to the existing The Dalles-Wasco County Library. The addition will include a reading room, book collection area, and a children's activity area. The property is located at 722 Court Street, The Dalles, Oregon, and is further described as Township 1 North, Range 13 East, Map 3 CB, tax lot 800. Property is zoned "RL/CFO" – Residential Low Density District with a Community Facility Overlay.

I. RECITALS:

- A. The Planning Commission of the City of The Dalles has on May 7, 2015 conducted a public hearing to consider the above request. A staff report was presented, stating the findings of fact, conclusions of law, and a staff recommendation.
- B. Staff's report of Conditional Use Permit #174-15 and the minutes of the May 7, 2015 Planning Commission meetings, upon approval, provide the basis for this resolution and are incorporated herein by reference.

II. RESOLUTION:

Now, therefore, be it FOUND, DETERMINED, and RESOLVED by the Planning Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part "I" of this resolution. CUP #174-15 is hereby approved with the following conditions of approval:
 - 1. Prior to the start of any work, the City requires that a pre-construction meeting be held with the applicant, the City Engineer, and the Development Inspector.
 - 2. All onsite and offsite improvements must be installed by the applicant in accordance with the Land Use Development Ordinance and the AWP standards, specifications, and drawings, as amended and adopted by the City, and approved by the City Engineer, or otherwise guaranteed to be completed by the applicant to the satisfaction of the City.
 - 3. Proposed development and final detailed construction plans will be required to be reviewed and approved by the City Engineer per established standards.
 - 4. Prior to the issuance of a building permit, the applicant shall submit a completed Wastewater Survey Questionnaire to the City Planning Department.
 - 5. A Physical Constraints Permit will be required for the excavation on-site. An erosion and dust control plan will need to be submitted for construction and be included in the detailed drawings.
 - 6. With the new exterior lighting planned, a detailed site lighting/photometric plan shall be submitted and approved prior to the issuance of building permits. The plan shall demonstrate that the maximum illumination at the property line will not exceed an average horizontal foot candle of 0.3 for non-cut-off lights and 1.0 for cut-off lights. The plan shall also demonstrate that the bicycle parking has a minimum lighting level of 3.0 foot candles.
 - 7. Any activity that produces radio or television interference, noise, glare, dust or particulate matter, vibration, smoke or odor beyond the site, or beyond

allowable levels as determined by local, state, and federal standards shall not be allowed.

8. Building permits will be required for the library. System Development Charges will be assessed at the time of permitting.

III. APPEALS, COMPLIANCE, AND PENALTIES:

- A. Any party of record may appeal a decision of the Planning Commission to the City Council for review. Appeals must be made according to Section 3.020.080 of the Land Use and Development Ordinance, and must be filed with the City Clerk within ten (10) days of the date of mailing of this resolution.
- B. Failure to exercise this approval within the time limits set either by resolution or by ordinance will invalidate this permit.
- C. All conditions of approval must be met within the time limits set by this resolution or by ordinance. Failure to meet any condition will prompt enforcement proceedings that can result in: 1) permit revocation; 2) fines of up to \$500.00 per day for the violation period; 3) a civil proceeding seeking injunctive relief.

The Secretary of the Commission shall (a) certify to the adoption of the Resolution; (b) transmit a copy of the Resolution along with a stamped approved/denied site plan or plat to the applicant.

APPROVED AND ADOPTED THIS 7TH DAY OF MAY, 2015.

Bruce Lavier, Chairman
Planning Commission

I, Richard Gassman, Planning Director for the City of The Dalles, hereby certify that the foregoing Resolution was adopted at the regular meeting of the City Planning Commission, held on the 7th day of May, 2015.

AYES:

NAYS:

ABSENT:

ABSTAIN:

ATTEST: _____
Richard Gassman, Planning Director
City of The Dalles

ARCHITECTURAL ABBREVIATIONS

Table of architectural abbreviations with columns for abbreviations and full names, including categories like ACW, ADA, ADJ, etc.

VICINITY MAP

ARCHITECTURAL SYMBOLS

Table of architectural symbols with corresponding drawing titles and descriptions, including symbols for North Arrow, Door, Grid Lines, Building Section, etc.

PROJECT TEAM

Table listing project team members and their roles, including Owner (City of The Dalles), Architect (FFA Architecture + Interiors, Inc.), Structural Engineer (Catnea Consulting Engineers), Electrical Engineer (MKE), and Mechanical Engineer (MKE).

AREA MAP

SHEET INDEX

Table of sheet index listing sheet numbers and descriptions, categorized into Mechanical, Electrical, Plumbing, Structural, and General.

Table for Mark, Date, and Description, listing project details like 'THE DALLES WASCO COUNTY LIBRARY CHILDRENS EXPANSION' and '722 COURT STREET THE DALLES, OREGON 97058'.

PROJECT DESCRIPTION

ONE (1) STORY ADDITION TO AN EXISTING +/- 12,500 S.F. LIBRARY BUILDING. THE ADDITION INCLUDES NEW READING ROOM, BOOK COLLECTION AREAS, AND CHILDREN'S ACTIVITY AREAS. THE SITE IMPROVEMENTS WILL INCLUDE OUTDOOR ACTIVITY SPACE FOR THE CHILDREN'S PROGRAM AND CONCRETE PAVING FOR WALKS FOR EXIT PATHWAYS.

ZONING + CODE SUMMARY

ZONING SUMMARY ORDINANCE NO. 98.1222- THE DALLAS, OR BLDG. CODE SUMMARY, CONTINUED 2014 OR STRUCT SPECIALTY CODE

PROJECT ADDRESS: 722 COURT ST THE DALLAS, OR 97058

YEAR BUILT: 1965
TAXLOT: 1N 13E 3 CB 800
ACCOUNT: 13063
ZONE: RA, RESIDENTIAL HIGH DENSITY- SECTION 5.020
OVERLAY: NC- NEIGHBORHOOD CENTER OVERLAY
SITE AREA: 2.35 ACRES
TOTAL BLDG FLOOR AREA: 14,790 S.F.

HEIGHT: 40 FT. MAX.
SETBACKS:
FRONT YARD: 15 FT. MIN.
REAR YARD: 10 FT. MIN.
SIDE YARD: 10 FT. MIN.
LOT COVERAGE: SIZE OF LOT AREA MAX.
OFF STREET PKG: NO ADDITIONAL PROPOSED

PROJECT AREAS AND PARKING

SITE AREA: 2.35 ACRES
(1) GROUND FLOOR: 10,702 GROSS S.F.
GROUND FLOOR ADDITION: 2,300 GROSS S.F.
2ND FLOOR: 1,788 GROSS S.F.

PARKING STALLS: XX
ADA PARKING STALLS: XX (MIN INCL.)
BIKE STALLS - LONG TERM: XX
BIKE STALLS - SHORT TERM: XX

TOTAL BUILDING FLOOR AREA: 14,790 GROSS S.F.

BLDG. CODE SUMMARY 2014 OREGON STRUCTURAL SPECIALTY CODE

CHAPTER 3 - OCCUPANCY CLASSIFICATION
OCCUPANCY GROUPS: GROUP A-3 - LIBRARY

CHAPTER 5 - BUILDING HEIGHT AND AREAS
OCCUPANCY ALLOWABLE CONSTRUCTION TYPE V-B
GROUP A-3
STORIES: 1
AREA: 6,000 S.F./FLR.
MAX HEIGHT: 40 FEET

504.2 HEIGHT MODIFICATIONS: SPRINKLERS INCREASE ALLOWABLE STORIES BY ONE, AND HEIGHT BY 20 FEET. BUILDING A IS 2 STORIES, AND DOES NOT EXCEED 80 FEET ABOVE LOWEST POINT OF SURROUNDING RIGHT-OF-WAYS.

506.1 AREA MODIFICATIONS: ALLOWABLE AREA = (8,000 + (8,000 x .75) + (8,000 x 2))
A = 22,500 SF

506.2 FRONTAGE INCREASE: (718 FT. / 718 FT. - 25) x 30 = 75

506.3 AUTOMATIC SPRINKLER SYSTEM INCREASE: 200% (FOR 1+ STORIES, FULLY AUTOMATIC SPRINKLER SYSTEM)

CHAPTER 6 - TYPES OF CONSTRUCTION
TABLE 601 - FIRE RESISTANCE TYPE V-B
STRUCTURAL FRAME: 0-HR
BEARING WALLS-EXTERIOR: 0-HR
BEARING WALLS-INTERIOR: 0-HR
NONBEARING WALLS-EXTERIOR: 0-HR
NONBEARING WALLS-INTERIOR: 0-HR
FLOOR CONSTRUCTION: 0-HR
ROOF CONSTRUCTION: 0-HR

TABLE 602 - EXTERIOR WALL RATING BASED ON FIRE SEPARATION DISTANCE:
10 FT < SEPARATION DISTANCE OF EXTERIOR WALL < 30 FT OF GROUP A-3, V-B CONSTRUCTION TYPE = ZERO (0) HOUR

CHAPTER 7 - FIRE AND SMOKE PROTECTION
TABLE 702.8 ALLOWABLE AREA OF EXTERIOR OPENINGS: NOT REQ'D (SOUTH, EAST & WEST WALLS)- FIRE SEPARATION > 30 FT
NO LIMIT (NORTH WALL); 25 FT < FIRE SEPARATION LESS < 30 FT

717.5.1 FIRE/SMOKE DAMPERS IN FIRE WALLS: NOT APPLICABLE - NO FIRE WALLS
717.5.7 FIRE/SMOKE DAMPERS IN SMOKE PARTITIONS: NOT APPLICABLE - NO SMOKE PARTITIONS
717.8.3 FIRE/SMOKE DAMPERS IN NONFIRE-RESISTANCE-RATED FLOOR ASSEMBLIES: NONCOMBUSTIBLE MATERIAL PROVIDED AT THE ANNULAR SPACE AROUND DUCT PENETRATIONS (METHOD #2)

718.3.3 DRAFTSTOPPING IN FLOORS: NOT REQUIRED - EXCEPTION (AUTOMATIC SPRINKLER SYSTEM PROVIDED)
718.4 DRAFTSTOPPING IN ATTIC: NOT APPLICABLE - NO ATTIC
720.3 EXPOSED INSULATION: NOT APPLICABLE - NO EXPOSED INSULATION

CHAPTER 8 - INTERIOR FINISHES
TABLE 802.8 WALL & CEILING FINISH CLASSIFICATIONS REQUIRED: GROUP A-3, SPRINKLERED - CLASS B (EXIT PASSAGEWAYS), CLASS B (CORRIDORS), CLASS C (ROOMS)

CHAPTER 9 - FIRE PROTECTION SYSTEMS
903.2.9 SPRINKLERS: WITH 13 FIRE SPRINKLER SYSTEM REQUIRED DUE TO FIRE AREA EXCEEDS 12,000 S.F.
903.3 SHAMPOFFS: NOT REQUIRED - FLOOR HEIGHT DOES NOT EXCEED 30 FEET - GROUP A-3 BUILDINGS OCCUPANT LOAD DOES NOT EXCEED 1,000

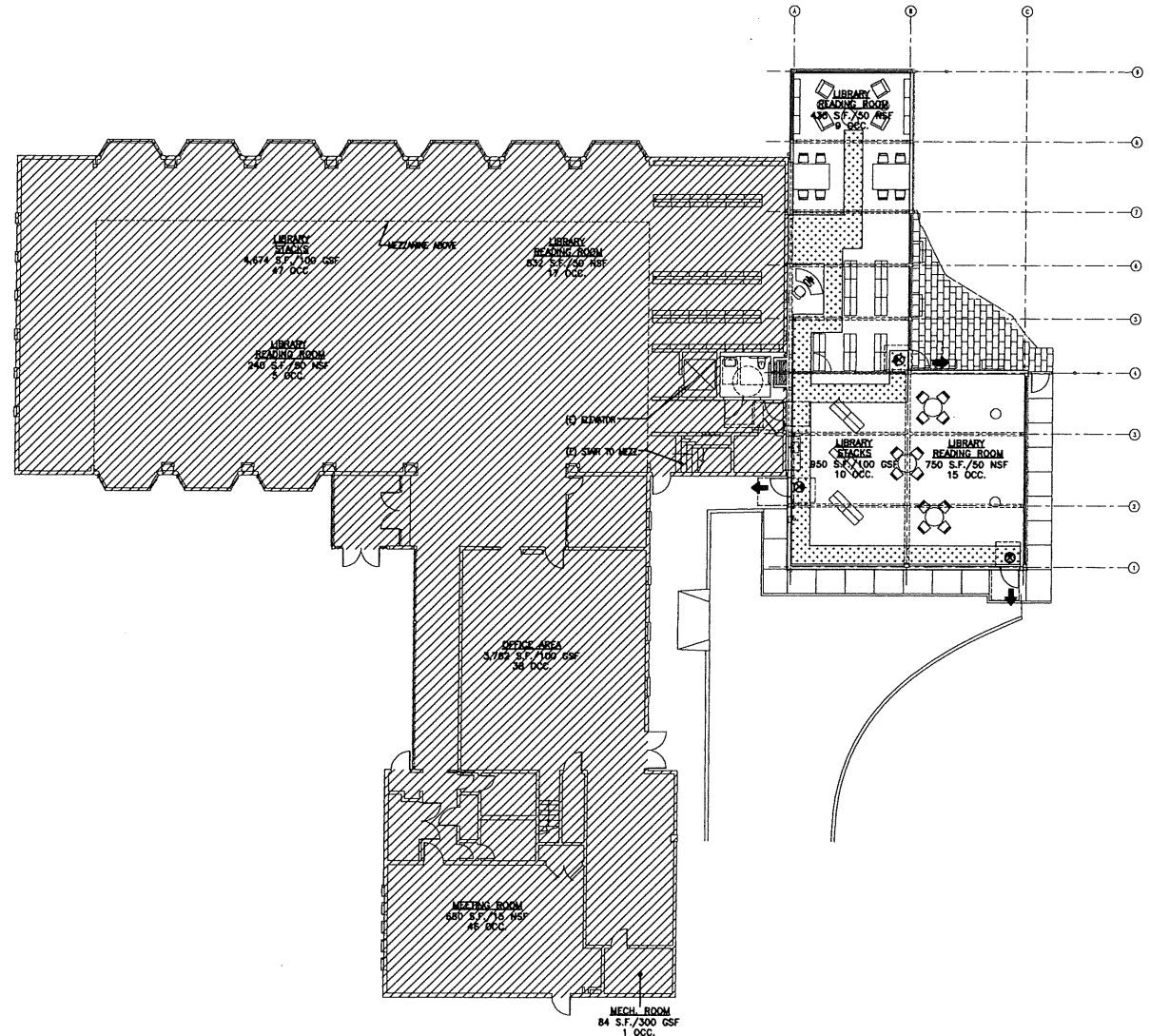
LEGEND

EGRESS PATH ROUTE: 1 FOOT CHANNEL PER SQUARE FOOT AT FLOOR SURFACE - EMERGENCY EGRESS LIGHTING ON BACKUP POWER

FEC FIRE EXTINGUISHER

EXISTING CONDITIONS - NOT WITHIN SCOPE OF WORK

⊕ LIGHTED EXIT SIGN
⊕ LIGHTED EXIT SIGN WITH DIRECTIONAL GRAPHICS
← EXIT



1 GROUND FLOOR CODE PLAN - GROUP A-3 (LIBRARY), TYPE V-B
3/32" = 1'-0"

CHAPTER 10 - MEANS OF EGRESS

USE TABLE 1003.1.1:

| FLOOR | AREA PER OCC. | FLOOR AREA | OCCUPANT LOAD |
|------------------------------|---------------|------------|---------------------|
| GROUND FLOOR: | | | |
| LIBRARY - STACKS | 100 GROSS | 5,625 S.F. | 57 |
| LIBRARY - READING RM. | 50 NET | 1,825 S.F. | 46 |
| BUSINESS AREAS | 100 GROSS | 3,765 S.F. | 38 |
| ASSEMBLY - MEETING RM. | 15 NET | 680 S.F. | 46 |
| MECHANICAL RM. | 300 GROSS | 85 S.F. | 3 |
| | | | 186 OCCUPANTS |
| MEZZANINE: | | | |
| LIBRARY - STACKS | 100 GROSS | 1,825 S.F. | 19 |
| LIBRARY - READING RM. | 50 NET | 650 S.F. | 13 |
| EDUCATION - VOCATIONAL AREAS | 50 NET | 150 S.F. | 3 |
| | | | 35 OCCUPANTS |
| SECOND FLOOR: | | | |
| ASSEMBLY - STAFF LOUNGE | 15 NET | 200 S.F. | 14 |
| MECHANICAL ROOM | 300 GROSS | 1,230 S.F. | 4 |
| BUSINESS AREAS | 100 GROSS | 225 S.F. | 3 |
| | | | 21 OCCUPANTS |
| | | | 244 TOTAL OCCUPANTS |

1005.1 EGRESS WIDTH: OCCUPANTS x .3 FOR STAIRWAYS (SPRINKLERS)
OCCUPANTS x .2 OTHER DEPTS (SPRINKLERS)

REQUIRED: 100 x 24 = 240"
MEZZANINE: 35 x 3 = 111"
SECOND FLOOR: 21 x 3 = 77"
PROVIDED: 360"
96"
44"

1014.3 COMMON PATH OF EGRESS TRAVEL: GROUP A-3 < 75' (SPRINKLER SYSTEM)

1016.1 MAX EXIT ACCESS TRAVEL DISTANCE: GROUP A-3 < 250' (SPRINKLER SYSTEM)

TABLE 1018.1 CORRIDORS: CORRIDOR RATING REQUIRED - 0-HR (SPRINKLER SYSTEM)

1018.4 CORP. DEAD ENDS: 20 FT. MAXIMUM

CHAPTER 14 - EXTERIOR WALLS
TABLE 1405.2 MINIMUM THICKNESS OF WEATHER COVERINGS: 0.5 (WOOD SIDING- WITHOUT SHEATHING)

CHAPTER 15 - ROOF ASSEMBLIES
TABLE 1505.1 ROOF COVERING: CONSTR. TYPE V-B CLASS C MINIMUM

CHAPTER 29 - PLUMBING SYSTEMS

TABLE 2902.1 MIN. PLUMBING FIXTURES:

| USES | FLOOR AREA | OCC. LOAD | TABLE 2902.1 MIN. PLUMBING FIXTURES |
|-------------|-------------|-----------|-------------------------------------|
| A-3 LIBRARY | 14,790 S.F. | 244 | 1:125 = 1 |
| | | 1228 | 1:200 = 1 |
| | | 1227 | 1:200 = 1 |
| | | | TOTAL = 3 |
| | | | TOTAL = 2 |

5 PROVIDED 3 PROVIDED

2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE

TABLE 301.1 CLIMATE ZONE: WASCO COUNTY, CLIMATE ZONE 5B

TABLE 302.1.1 - BUILDING ENVELOPE: INSULATION ABOVE DECK: R-20+
WALLS ABOVE GRADE: NO. FRAMED: R-21
UNLIMITED S.I.G.: NR
EXTERIOR OPAQUE DOORS: U-0.70
ROLL-UP DOORS: U-0.50

TABLE 302.3 - PENETRATION: FIXED WINDOWS: U-0.45
ENTRANCE DOOR: U-0.80
SKYLIGHTS: U-0.80

MARK DATE DESCRIPTION

THE DALLAS
WASCO COUNTY
LIBRARY

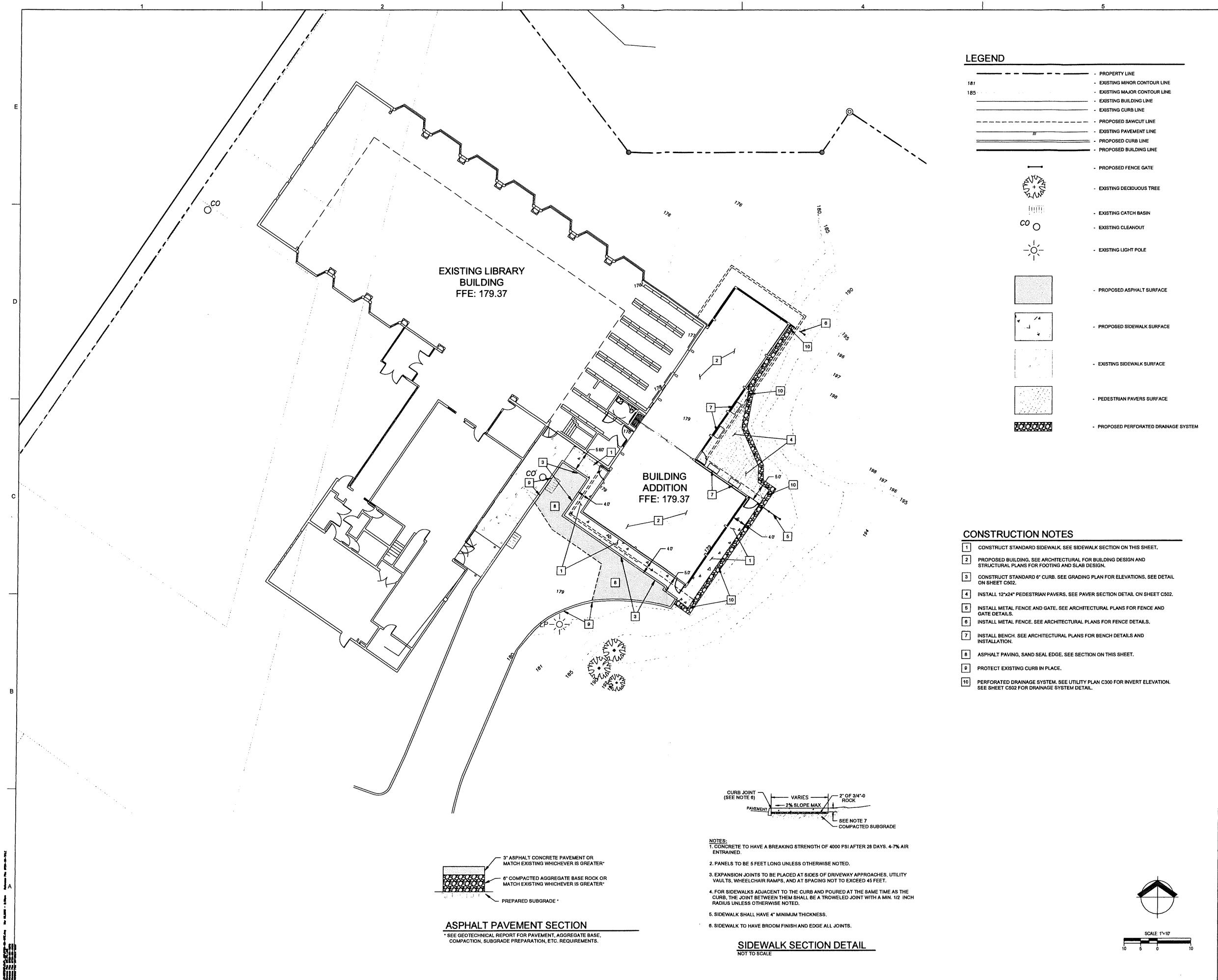
CHILDREN'S EXPANSION

722 COURT STREET
THE DALLAS, OREGON 97058

APPROVED: _____
DRAWN: JB
DATE: 8/8/2016
PROJECT NUMBER: 84-09-11

CODE SUMMARY

G-003
95% CD'S

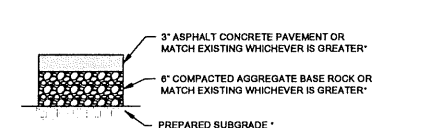


LEGEND

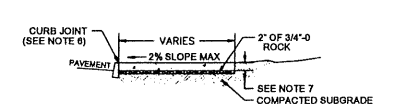
| | |
|--|-----------------------------|
| | PROPERTY LINE |
| | EXISTING MINOR CONTOUR LINE |
| | EXISTING MAJOR CONTOUR LINE |
| | EXISTING BUILDING LINE |
| | EXISTING CURB LINE |
| | PROPOSED SAWCUT LINE |
| | EXISTING PAVEMENT LINE |
| | PROPOSED CURB LINE |
| | PROPOSED BUILDING LINE |

| | |
|--|-------------------------------------|
| | PROPOSED FENCE GATE |
| | EXISTING DECIDUOUS TREE |
| | EXISTING CATCH BASIN |
| | EXISTING CLEANOUT |
| | EXISTING LIGHT POLE |
| | PROPOSED ASPHALT SURFACE |
| | PROPOSED SIDEWALK SURFACE |
| | EXISTING SIDEWALK SURFACE |
| | PEDESTRIAN PAVERS SURFACE |
| | PROPOSED PERFORATED DRAINAGE SYSTEM |

- CONSTRUCTION NOTES**
- CONSTRUCT STANDARD SIDEWALK. SEE SIDEWALK SECTION ON THIS SHEET.
 - PROPOSED BUILDING. SEE ARCHITECTURAL FOR BUILDING DESIGN AND STRUCTURAL PLANS FOR FOOTING AND SLAB DESIGN.
 - CONSTRUCT STANDARD 6" CURB. SEE GRADING PLAN FOR ELEVATIONS. SEE DETAIL ON SHEET C502.
 - INSTALL 12"x24" PEDESTRIAN PAVERS. SEE PAVES SECTION DETAIL ON SHEET C502.
 - INSTALL METAL FENCE AND GATE. SEE ARCHITECTURAL PLANS FOR FENCE AND GATE DETAILS.
 - INSTALL METAL FENCE. SEE ARCHITECTURAL PLANS FOR FENCE DETAILS.
 - INSTALL BENCH. SEE ARCHITECTURAL PLANS FOR BENCH DETAILS AND INSTALLATION.
 - ASPHALT PAVING, SAND SEAL EDGE. SEE SECTION ON THIS SHEET.
 - PROTECT EXISTING CURB IN PLACE.
 - PERFORATED DRAINAGE SYSTEM. SEE UTILITY PLAN C300 FOR INVERT ELEVATION. SEE SHEET C502 FOR DRAINAGE SYSTEM DETAIL.

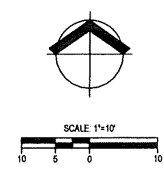


ASPHALT PAVEMENT SECTION
* SEE GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE BASE, COMPACTION, SUBGRADE PREPARATION, ETC. REQUIREMENTS.



- NOTES:**
- CONCRETE TO HAVE A BREAKING STRENGTH OF 4000 PSI AFTER 28 DAYS. 4-7% AIR ENTRAINMENT.
 - PANELS TO BE 5 FEET LONG UNLESS OTHERWISE NOTED.
 - EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, WHEELCHAIR RAMPS, AND AT SPACING NOT TO EXCEED 45 FEET.
 - FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROWELED JOINT WITH A MIN. 1/2 INCH RADIUS UNLESS OTHERWISE NOTED.
 - SIDEWALK SHALL HAVE 4" MINIMUM THICKNESS.
 - SIDEWALK TO HAVE BROOM FINISH AND EDGE ALL JOINTS.

SIDEWALK SECTION DETAIL
NOT TO SCALE



| MARK | DATE | DESCRIPTION |
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THE DALLES
WASCO COUNTY
LIBRARY

CHILDRENS EXPANSION

722 COURT STREET
THE DALLES, OREGON 97058

| | |
|-----------------|----------|
| APPROVED: | JRS |
| DRAWN: | PHH |
| DATE: | 3/9/2015 |
| PROJECT NUMBER: | 24-09-11 |

SITE PLAN

C200
95% CD'S

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION. A CITY BUSINESS LICENSE IS REQUIRED.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH THE PROPOSED CONSTRUCTION. THE LOCATION, DEPTH, AND DESCRIPTION OF EXISTING UTILITIES SHOWN WERE COMPILED FROM AVAILABLE RECORDS AND/OR SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. ADDITIONAL UTILITIES MAY EXIST WITHIN THE WORK AREA.
3. OREGON LAW REQUIRES THAT THE RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER BE FOLLOWED. THESE RULES ARE SET FORTH IN OAR 952-001-0000. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER OR ACCESSING VIA INTERNET AT WWW.STATE.OR.USGOVERNMENT.HTM
4. THE CONTRACTOR SHALL MAKE PROVISIONS TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED UTILITIES USING MATERIALS AND METHODS APPROVED BY THE UTILITY OWNER. NO SERVICE INTERRUPTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN AGREEMENT WITH THE UTILITY PROVIDER.
5. ALL WATERLINE CROSSINGS SHALL BE IN CONFORMANCE WITH OAR CHAPTER 333. THE CITY MAY REQUIRE MORE STRINGENT STANDARDS.
6. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND CITY OF THE DALLES ENGINEERING STAFF 48 HOURS IN ADVANCE OF STARTING CONSTRUCTION AND 24 HOURS BEFORE RESUMING WORK AFTER SHUTDOWNS, EXCEPT FOR NORMAL RESUMPTION OF WORK FOLLOWING A SATURDAY, SUNDAY, OR HOLIDAY.
7. CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES, STUMPS, BRUSH, ROOTS, TOPSOIL, AND OTHER MATERIAL IN THE ROADWAY AND WHERE INDICATED ON THE PLANS. MATERIAL SHALL BE DISPOSED OF IN SUCH A MANNER AS TO MEET ALL APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON THE PROJECT SITE AT ALL TIMES.
9. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT "REDLINE DRAWINGS" TO PROJECT ENGINEER FOR PREPARATION OF RECORD DRAWINGS. "REDLINE DRAWINGS" DOCUMENT ALL DEVIATIONS AND REVISIONS TO THE APPROVED PLANS; THEY ALSO RECORD A DESCRIPTION OF CONSTRUCTION MATERIALS ACTUALLY USED (PIPE MATERIAL, ETC.). FROM THE INFORMATION CONTAINED FROM THESE REDLINE DRAWINGS, AS WELL AS ANY NOTES BY THE PROJECT ENGINEER, THE PROJECT ENGINEER SHALL PREPARE AND SUBMIT RECORD DRAWINGS (ON 4 MIL MYLAR). RECORD DRAWINGS ARE REQUIRED FOR ANY PUBLIC IMPROVEMENTS, AS WELL AS FOR ANY (PUBLIC OR PRIVATE) STORM WATER QUANTITY OR QUALITY CONTROL FACILITY. CITY ACCEPTANCE OF ANY PUBLIC IMPROVEMENTS ARE TIED TO THE SUBMITTAL OF THESE RECORD DRAWINGS. CAD GENERATED PLANS SHALL ALSO HAVE ELECTRONIC RECORD DRAWINGS SUBMITTED TO THE CITY IN COMPLIANCE WITH THE DIGITAL MAPPING REQUIREMENTS.
10. CONTRACTOR SHALL ERECT AND MAINTAIN TRAFFIC CONTROL PER THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", PART VI, CONSTRUCTION AND MAINTENANCE, AS ADOPTED AND MODIFIED BY CDDT. SHOULD WORK BE IN AN EXISTING PUBLIC RIGHT OF WAY THAT ARE OPEN TO TRAFFIC, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE CITY, COUNTY, STATE, AND PORT PERSONNEL FOR APPROVAL. APPROVALS SHALL BE OBTAINED PRIOR TO START OF WORK.
11. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET THE INTENT OF THE PROJECT CONTRACT DOCUMENTS, APPLICABLE AGENCY REQUIREMENTS AND OTHER WORK AS NECESSARY TO PROVIDE A COMPLETE PROJECT.
12. THERE SHALL BE NO ALTERATION OR VARIANCE FROM THE APPROVED PLANS. THE MINIMUM SUBMITTAL REQUIREMENTS FOR PLAN REVISIONS ARE AS FOLLOWS: PLAN REVISIONS SHALL BE SUBMITTED ON AN 8 1/2" X 11" SHEET (MINIMUM). PLAN REVISION SHALL BE WET STAMPED AND SIGNED BY PROJECT ENGINEER, ANY REQUIRED ENGINEERING CALCULATIONS, OR OTHER AGENCY APPROVALS, SHALL BE INCLUDED WITH THE SUBMITTAL REVISION. UPON APPROVAL OF THE SUBMITTED REVISIONS, THE CITY ENGINEER SHALL AFFIX AN APPROVED STAMP TO THE REVISED PLAN SKETCH AND THE PLAN SHALL BE RETURNED TO THE PROJECT ENGINEER. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO DISTRIBUTE THE APPROVED PLAN REVISION TO ALL PARTIES TO WHOM THE ORIGINAL APPROVED PLANS WERE ISSUED. ALL APPROVED REVISION SHALL BE AFFIXED TO THE CONSTRUCTION FIELD PRINTS (ALSO KNOWN AS THE CONTRACTOR'S "REDLINE DRAWINGS").
13. CONTRACTOR SHALL PROVIDE EFFECTIVE EROSION PROTECTION TO INCLUDE, BUT NOT LIMIT TO, GRADING, DITCHING, HAY BALES, SILT FENCING, AND SEDIMENT BARRIERS TO MINIMIZE EROSION AND IMPACT TO ADJACENT PROPERTY. SEE EROSION AND SEDIMENT CONTROL NOTES AND PLAN.
14. OPEN TRENCHES SHALL BE STRICTLY LIMITED TO A MAXIMUM OF 100 LINEAR FEET WITHIN STREET RIGHT-OF-WAY UNLESS LIMITED TO A LESSER AMOUNT BY PERMIT. NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
15. CONTRACTOR SHALL MAINTAIN AND COORDINATE ACCESS TO ALL AFFECTED PROPERTIES.
16. ANY PAVEMENT DISTORTION CAUSED BY THE CONSTRUCTION OPERATIONS SHALL BE TEMPORARILY REPAIRED SAME DAY OF OCCURRENCE (OR IN A TIME PERIOD AGREED TO WITH THE CITY INSPECTOR), USING COLD OR HOT AC MIX. OWNER/CONTRACTOR SHALL BE REQUIRED TO MAINTAIN REPAIRED AREAS UNTIL CITY FINAL ACCEPTANCE IS GRANTED.
17. IF GROUND WATER SPRINGS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE PROJECT ENGINEER. THE PROJECT ENGINEER SHALL DIRECT THE CONTRACTOR TO TAKE MEASURES TO ENSURE THAT WATER IS NOT CONVEYED THROUGH THE UTILITY TRENCHES AND THE NATURAL FLOW PATH OF THE SPRING IS ALTERED AS LITTLE AS PRACTICABLE. THE PROJECT ENGINEER SHALL SUBMIT A REPORT SUMMARIZING THE FINDING TO THE CITY. IMPACTS AND MITIGATION SHALL BE ADDRESSED FOR THE CITY APPROVAL.
18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE THE START OF WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY ALL DIMENSIONS AND EXISTING CONSTRUCTION CONDITIONS INDICATED AND/OR SHOWN ON THE PLANS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL REPORTED TO THE PROJECT ENGINEER FOR CLARIFICATION OR CORRECTION.
19. ANY INSPECTION BY THE CITY, COUNTY, STATE, FEDERAL AGENCY, OR PROJECT ENGINEER SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS, CITY STANDARDS AND PROJECT CONTRACT DOCUMENTS.
20. PROJECT PLANS SHALL ALWAYS HAVE AN ENGINEER OF RECORD PERFORMING THE FUNCTION OF PROJECT ENGINEER. IF THE PROJECT ENGINEER IS CHANGED DURING THE COURSE OF THE WORK, THE CITY SHALL BE NOTIFIED IN WRITING AND THE WORK SHALL BE STOPPED UNTIL REPLACEMENT ENGINEER HAS AGREED TO ACCEPT THE RESPONSIBILITY OF THE PROJECT ENGINEER. THE NEW PROJECT ENGINEER SHALL PROVIDE WRITTEN NOTICE OF ACCEPTING PROJECT RESPONSIBILITY TO THE CITY WITHIN 72 HOURS OF ACCEPTING THE POSITION AS PROJECT ENGINEER.
21. THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION. EXCAVATORS MUST COMPLY WITH THE PROVISIONS OF OAR 757.541 THRU 757.571.

GENERAL DEMOLITION NOTES

1. NOTIFY ENGINEER FIVE (5) BUSINESS DAYS BEFORE COMMENCEMENT OF WORK.
2. LOCATION OF EXISTING UTILITIES ARE BASED UPON AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 24 HOURS PRIOR TO COMMENCEMENT OF GRADING (1-800-332-2344).
3. THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF OSHA.
4. THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY ALL APPROPRIATE CODES, LAWS AND REGULATIONS THAT GOVERN CONSTRUCTION WITHIN THE CITY OF THE DALLES.
5. THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION.
6. ALL CONSTRUCTION SHALL CONFORM TO CONSTRUCTION DOCUMENTS AND PROJECT SPECIFICATIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ARRANGEMENTS FOR INSPECTION AND TESTING.
8. THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT 24 HOURS PRIOR TO CONSTRUCTION. CONCEALED CONSTRUCTION WITHOUT THE REQUIRED EXPOSURE SHALL BE SUBJECT TO INSPECTION AT THE CONTRACTOR'S EXPENSE.
9. SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDE EXTRA EROSION CONTROL PROVISIONS AND EFFORT DURING WINTER AND WET WEATHER CONDITIONS BEYOND WHAT IS REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON GRADED SLOPES MAY BECOME UNSTABLE WHEN SUBJECT TO EXCESSIVE MOISTURE.
10. DEMOLISH/REMOVAL NOT SPECIFICALLY LISTED, BUT REQUIRED TO COMPLETE SITE/UTILITY AND GRADING PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE AND RECYCLED/DISPOSED OF ACCORDING TO LOCAL REGULATIONS.
12. CONTRACTOR TO REFER TO GEOTECHNICAL ENGINEER REPORT FOR ROCK EXCAVATION.

STORM DRAINAGE CONSTRUCTION NOTES

1. ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE REQUIREMENTS OF THE UNIFORM PLUMBING CODE, AND THE APPLICABLE REQUIREMENTS OF THE CITY OF THE DALLES.
2. NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND. (EXCEPT IN AREAS WHERE DIP IS SPECIFIED). THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS, COVERED DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES.
3. LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF O.S.H.A. AND IN PARTICULAR THOSE PERTAINING TO ADEQUATE SHORING AND TRENCH PROTECTION OF WORKMEN.
5. RIM ELEVATIONS OF MANHOLES AND CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE. FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
6. ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.
7. CHANGES IN DIRECTION OF DRAINAGE PIPING SHALL BE MADE BY THE APPROPRIATE USE OF APPROVED FITTINGS AND SHALL BE OF THE ANGLES PRESENTED BY ONE-SIXTEENTH BEND, ONE-EIGHTH BEND, ONE-SIXTH BEND OR OTHER APPROVED FITTINGS OF EQUIVALENT SWEEP.
8. INLET AND OUTLET CONNECTIONS SHALL BE MADE BY THE USE OF A FLEXIBLE COMPRESSION JOINT NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE. NO FLEXIBLE COMPRESSION JOINT SHALL BE EMBEDDED IN THE MANHOLE BASE. MANHOLES SHALL HAVE A SMOOTH, UNIFORM WATERWAY WITH CHANGES OF DIRECTION MADE WITH THE APPROPRIATE SWEEP OFFSET AS PER THE OREGON PLUMBING SPECIALTY CODE. OPEN-GRATE LOS WILL NOT BE ALLOWED ON ANY MANHOLE.

GENERAL GRADING NOTES

1. NOTIFY ENGINEER 2 BUSINESS DAYS BEFORE COMMENCING WORK.
2. ALL UNSUITABLE MATERIAL (SOIL & VEGETATION) REMOVED DURING THE CLEARING AND GRUBBING OPERATION SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A SUITABLE LOCATION APPROVED BY THE ENGINEER AND DISPOSED OF OFF-SITE IN A SUITABLE LOCATION.
3. EXCAVATORS MUST COMPLY WITH ALL PROVISIONS OF ORS 757.541 TO 757.571 INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND FACILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, AN EXCAVATION.
4. TREES NOT DESIGNATED TO BE REMOVED SHALL BE PROTECTED AT ALL TIMES.
5. CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE TRAFFIC CONTROL ALONG THE EXISTING ROADS AS REQUIRED.
6. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS. IF ANY CONFLICTS ARE DISCOVERED, CONTACT THE ENGINEER BEFORE CONTINUING CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION.
8. THE CONTRACTOR AND/OR THE SUBCONTRACTOR SHALL HAVE A MINIMUM OF ONE SET OF APPROVED PLANS ON THE JOB SITE AT ALL TIMES.

SANITARY SEWER CONSTRUCTION NOTES

1. SANITARY SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF THE DALLES AND THE UNIFORM PLUMBING CODE. ALL SANITARY SEWER PIPE, INCLUDING LATERALS, SHALL BE PVC PIPE CONFORMING TO ASTM SPECIFICATION D3034 (SDR-35), UNLESS NOTED OTHERWISE.
2. NO DRAINAGE PIPING OR PART THEREOF, WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED FOR USE UNDER OR WITHIN A BUILDING, SHALL BE INSTALLED UNDER OR WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE, OR PART THEREOF, NO LESS THAN ONE (1) FOOT BELOW THE SURFACE OF THE GROUND. THIS INCLUDES STRUCTURES SUCH AS PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE-COACHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS AND DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES. LATERALS SHALL BE INSTALLED AT A MIN. 2% SLOPE UNLESS NOTED ON THE PLANS.
3. HYDROSTATIC AND AIR TESTING OF SANITARY LINES AND MANHOLES SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UNIFORM PLUMBING CODE AND CITY OF PORTLAND STANDARDS. ALL NECESSARY TESTS SHALL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY THE ENGINEER.
4. LOCATION OF EXISTING UTILITIES ARE BASED ON AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY DISCREPANCIES IN THE PLANS. CALL FOR LOCATES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
5. FINISHED RIM ELEVATIONS OF CLEANOUTS WITHIN PAVEMENT ARE APPROXIMATE. FINAL FINISHED RIM ELEVATIONS SHALL MATCH FINISHED PAVEMENT GRADES.
6. PIPE BEDDING AND BACKFILL SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF THE DALLES STANDARDS. SEE TRENCH BACKFILL DETAIL.
7. SANITARY SEWER CLEANOUT CONSTRUCTION SHALL CONFORM TO UNIFORM PLUMBING CODE AND CITY OF THE DALLES STANDARDS.
8. A MINIMUM OF TWO FEET (2) HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER LINES AND SANITARY AND STORM MANHOLES. ALL CONSTRUCTION MUST MEET DEQ AND STATE WATER RESOURCES BOARD REQUIREMENTS FOR SEPARATION.
9. ALL TRENCHES PARALLEL TO THE BUILDING SHALL BE KEPT OUT OF THE ANGLE OF REPOSE FOR THE BUILDING FOOTING.



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722 COURT STREET
THE DALLES, OREGON 97058

| | |
|-----------------|----------|
| APPROVED: | JFB |
| DRAWN: | TKH |
| DATE: | 3/6/2015 |
| PROJECT NUMBER: | 24-00-1 |

DETAILS

C500
95% CD'S

WET WEATHER EROSION CONTROL

- GROUND SURFACES EXPOSED DURING THE WET SEASON SHALL HAVE TEMPORARY GRASS COVER MEASURES FULLY ESTABLISHED BY OCTOBER 15. OTHER COVER MEASURES WILL HAVE TO BE IMPLEMENTED UNTIL ADEQUATE GRASS COVERAGE IS ACHIEVED TO ESTABLISH AN ADEQUATE GRASS STAND FOR CONTROLLING EROSION BY OCTOBER 15. IT IS RECOMMENDED THAT SEEDING AND MULCHING OCCUR BY SEPTEMBER 1.
- HYDROMULCH SHALL BE APPLIED WITH GRASS SEED AT A RATE OF 2000 LB/ACRE. ON SLOPES 2:5 TO 1 OR STEEPER, HYDROSEED AND MULCH SHALL BE APPLIED WITH A BONDING AGENT (BONDER). APPLICATION RATE AND METHODOLOGY TO BE IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.
- MULCH SHALL BE SPREAD UNIFORMLY IMMEDIATELY FOLLOWING SEEDING.
- SOIL PREPARATION - TOP SOIL SHALL BE PREPARED ACCORDING TO LANDSCAPE PLANS OR RECOMMENDATIONS OF GRASS SEED SUPPLIER. IT IS RECOMMENDED BEFORE SEEDING BY "TIRE WALKING" (DRIVING A CRAWLING TRACTOR UP AND DOWN SLOPES TO LEAVE A PATTERN OF CLEAR IMPRINTS PARALLEL TO SLOPE CONTOURS) OR OTHER METHOD TO PROVIDE MORE STABLE SITES FOR SEEDS TO REST.
- SEEDING - RECOMMENDED EROSION CONTROL GRASS SEED MIXES ARE AS FOLLOWS. SIMILAR MIXES DESIGNED TO ACHIEVE EROSION CONTROL MAY BE SUBSTITUTED IF APPROVED BY JURISDICTION.
 - DWARF GRASS MIX (LOW HEIGHT, LOW MAINTENANCE)
 - DWARF PERENNIAL RYEGRASS, 80% BY WEIGHT
 - CREEPING RED FESCUE, 20% BY WEIGHT
 - APPLICATION RATE: 200 POUNDS MINIMUM PER ACRE
 - STANDARD HEIGHT GRASS MIX
 - ANNUAL RYEGRASS, 40% BY WEIGHT
 - TURF-TYPE FESCUE, 60% BY WEIGHT
 - APPLICATION RATE: 200 POUNDS MINIMUM PER ACRE
- FERTILIZATION FOR GRASS SEED - IN ACCORDANCE WITH SUPPLIER'S RECOMMENDATIONS. DEVELOPMENT AREAS WITHIN 50 FEET OF WATER BODIES AND WETLANDS MUST USE A NON-PHOSPHORUS FERTILIZER.
- WATERING - SEEDING SHALL BE SUPPLIED WITH ADEQUATE MOISTURE TO ESTABLISH GRASS. SUPPLY WATER AS NEEDED, ESPECIALLY IN UNUSUALLY HOT OR DRY WEATHER CONDITIONS OR ON ADVERSE SITES. WATER APPLICATION RATES SHOULD BE CONTROLLED TO PROVIDE ADEQUATE MOISTURE CAUSING RUNOFF.
- RE-SEEDING - AREAS WHICH FAIL TO ESTABLISH GRASS COVER ADEQUATE TO PREVENT EROSION SHALL BE RE-SEED AS SOON AS SUCH AREAS ARE IDENTIFIED, AND ALL APPROPRIATE MEASURES TAKEN TO ESTABLISH ADEQUATE COVER. AREAS WITH LESS THAN 95% GERMINATION WILL BE REJECTED AND NEED TO BE RE-SEED.

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION. A CITY BUSINESS LICENSE IS REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH THE PROPOSED CONSTRUCTION. THE LOCATIONS, DEPTH, AND DESCRIPTION OF EXISTING UTILITIES SHOWN WERE COMPILED FROM AVAILABLE RECORDS AND/OR SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. ADDITIONAL UTILITIES MAY EXIST WITHIN THE WORK AREA.
- OREGON LAW REQUIRES THAT THE RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER BE FOLLOWED. THOSE RULES ARE SET FORTH IN OAR 852-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER VIA INTERNET AT WWW.STATE.ORG/GOVERNMENT.HTM OR CALL BEFORE YOU DIG - THE DALLES METRO AREA 503-246-6699.
- THE CONTRACTOR SHALL MAKE PROVISIONS TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED UTILITIES USING MATERIALS AND BY THE UTILITY OWNER. NO SERVICE INTERRUPTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN AGREEMENT WITH THE UTILITY PROVIDER.
- ALL WATERLINE CROSSINGS SHALL BE IN CONFORMANCE WITH OAR CHAPTER 333. THE CITY MAY REQUIRE MORE STRINGENT STANDARDS.
- CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND CITY OF THE DALLES ENGINEERING STAFF 48 HOURS IN ADVANCE OF STARTING CONSTRUCTION AND 24 HOURS BEFORE RESUMING WORK AFTER SHUTDOWNS, EXCEPT FOR NORMAL RESUMPTION OF WORK FOLLOWING A SATURDAY, SUNDAY, OR HOLIDAY.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES, STUMPS, BRUSH, ROOTS, TOPSOIL, AND OTHER MATERIAL IN THE ROADWAY AND WHERE INDICATED ON THE PLANS. MATERIAL SHALL BE DISPOSED OF IN SUCH A MANNER AS TO MEET ALL APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON THE PROJECT SITE AT ALL TIMES.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT "REDLINE DRAWINGS" TO PROJECT ENGINEER FOR PREPARATION OF RECORD DRAWINGS. "REDLINE DRAWINGS" DOCUMENT ALL DEVIATIONS AND REVISIONS TO THE APPROVED PLANS; THEY ALSO RECORD A DESCRIPTION OF CONSTRUCTION MATERIALS ACTUALLY USED (PIPE MATERIAL, ETC.). FROM THE INFORMATION CONTAINED FROM THESE REDLINE DRAWINGS, AS WELL AS ANY NOTES RECORDED BY THE PROJECT ENGINEER, THE PROJECT ENGINEER SHALL PREPARE AND SUBMIT RECORD DRAWINGS (ON 4 MIL MYLAR). RECORD DRAWINGS ARE REQUIRED FOR ANY PUBLIC IMPROVEMENTS, AS WELL AS FOR ANY (PUBLIC OR PRIVATE) STORM WATER QUANTITY OR QUALITY CONTROL FACILITY. CITY ACCEPTANCE OF ANY PUBLIC IMPROVEMENTS ARE TIED TO THE SUBMITTAL OF THESE RECORD DRAWINGS. CAD GENERATED PLANS SHALL ALSO HAVE ELECTRONIC RECORD DRAWINGS SUBMITTED TO THE CITY IN COMPLIANCE WITH THE DIGITAL MAPPING REQUIREMENTS.
- CONTRACTOR SHALL ERECT AND MAINTAIN TRAFFIC CONTROL PER THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND MAINTENANCE, AS ADOPTED AND MODIFIED BY ODOT. SHOULD WORK BE IN AN EXISTING PUBLIC RIGHT OF WAY THAT ARE OPEN TO TRAFFIC, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE CITY, COUNTY, STATE, AND PORT PERSONNEL FOR APPROVAL. APPROVALS SHALL BE OBTAINED PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET THE INTENT OF THE PROJECT CONTRACT DOCUMENTS, APPLICABLE AGENCY REQUIREMENTS AND OTHER WORK AS NECESSARY TO PROVIDE A COMPLETE PROJECT.
- THERE SHALL BE NO ALTERATION OR VARIANCE FROM THE APPROVED PLANS. THE MINIMUM SUBMITTAL REQUIREMENTS FOR PLAN REVISIONS ARE AS FOLLOWS: PLAN REVISIONS SHALL BE SUBMITTED ON AN 8 1/2" X 11" SHEET (MINIMUM). PLAN REVISION SHALL BE WET STAMPED AND SIGNED BY PROJECT ENGINEER. ANY REQUIRED ENGINEERING CALCULATIONS, OR OTHER AGENCY APPROVALS, SHALL BE INCLUDED WITH THE SUBMITTAL REVISION. UPON APPROVAL OF THE SUBMITTED REVISIONS, THE CITY ENGINEER SHALL AFFIX AN APPROVED STAMP TO THE REVISED PLAN SKETCH AND THE PLAN SHALL BE RETURNED TO THE PROJECT ENGINEER. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO DISTRIBUTE THE APPROVED PLAN REVISION TO ALL PARTIES TO WHOM THE ORIGINAL APPROVED PLANS WERE ISSUED. ALL APPROVED REVISION SHALL BE AFFIXED TO THE CONSTRUCTION FIELD PRINTS (ALSO KNOWN AS THE CONTRACTOR'S "REDLINE DRAWINGS").
- CONTRACTOR SHALL PROVIDE EFFECTIVE EROSION PROTECTION TO INCLUDE, BUT NOT LIMIT TO, GRADING, DITCHING, MATTING, SILT FENCING, AND SEDIMENT BARRIERS TO MINIMIZE EROSION AND IMPACT TO ADJACENT PROPERTY. SEE EROSION AND SEDIMENT CONTROL NOTES AND PLAN.
- OPEN TRENCHES SHALL BE STRICTLY LIMITED TO A MAXIMUM OF 100 LINEAR FEET WITHIN STREET RIGHT-OF-WAY UNLESS LIMITED TO A LESSER AMOUNT BY PERMIT. NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- CONTRACTOR SHALL MAINTAIN AND COORDINATE ACCESS TO ALL AFFECTED PROPERTIES.
- ANY PAVEMENT DISTORTION CAUSED BY THE CONSTRUCTION OPERATIONS SHALL BE TEMPORARILY REPAIRED SAME DAY OF OCCURRENCE (OR IN A TIME PERIOD AGREED TO WITH THE CITY INSPECTOR), USING COLD OR HOT AC MIX. OWNER/CONTRACTOR SHALL BE REQUIRED TO MAINTAIN REPAIRED AREAS UNTIL CITY FINAL ACCEPTANCE IS GRANTED.
- IF GROUND WATER SPRINGS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE PROJECT ENGINEER. THE PROJECT ENGINEER SHALL DIRECT THE CONTRACTOR TO TAKE MEASURES TO ENSURE THAT WATER IS NOT CONVEYED THROUGH THE UTILITY TRENCHES AND THE NATURAL FLOW PATH OF THE SPRING IS ALTERED AS LITTLE AS PRACTICABLE. THE PROJECT ENGINEER SHALL SUBMIT A REPORT SUMMARIZING THE FINDINGS TO THE CITY. IMPACTS AND MITIGATION SHALL BE ADDRESSED FOR THE CITY APPROVAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE THE START OF WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY ALL DIMENSIONS AND EXISTING CONSTRUCTION CONDITIONS INDICATED AND/OR SHOWN ON THE PLANS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL REPORTED TO THE PROJECT ENGINEER FOR CLARIFICATION OR CORRECTION.
- ANY INSPECTION BY THE CITY, COUNTY, STATE, FEDERAL AGENCY, PORT OF THE DALLES, OR PROJECT ENGINEER SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS, CITY STANDARDS AND PROJECT CONTRACT DOCUMENTS.
- PROJECT PLANS SHALL ALWAYS HAVE AN ENGINEER OF RECORD PERFORMING THE FUNCTION OF PROJECT ENGINEER. IF THE PROJECT ENGINEER IS CHANGED DURING THE COURSE OF THE WORK, THE CITY SHALL BE NOTIFIED IN WRITING AND THE WORK SHALL BE STOPPED UNTIL REPLACEMENT ENGINEER HAS AGREED TO ACCEPT THE RESPONSIBILITY OF THE PROJECT ENGINEER. THE NEW PROJECT ENGINEER SHALL PROVIDE WRITTEN NOTICE OF ACCEPTING PROJECT RESPONSIBILITY TO THE CITY WITHIN 72 HOURS OF ACCEPTING THE POSITION AS PROJECT ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY SURVEY MONUMENTS THAT ARE DISTURBED DUE TO CONSTRUCTION. EXCAVATORS MUST COMPLY WITH THE PROVISIONS OF OAR 757.541 THRU 757.571.

EROSION CONTROL NOTES

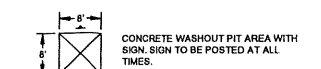
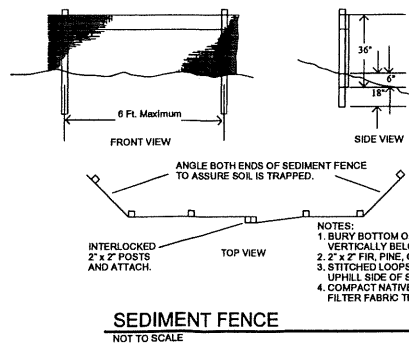
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHALL BE INSPECTED ONLY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING DURING CONSTRUCTION AND DURING 1 YEAR WARRANTY PERIOD AFTER CONSTRUCTION.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

GRADING AND EROSION CONTROL CONSTRUCTION NOTES

- SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- USE BMP'S SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

EROSION CONTROL BMP IMPLEMENTATION

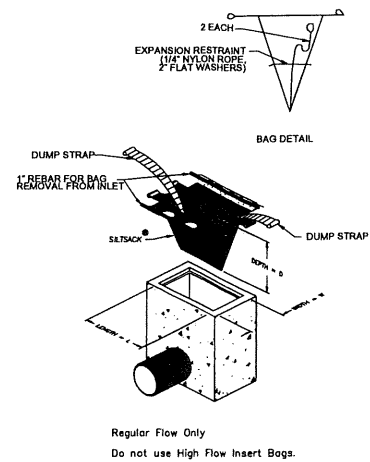
- ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL AND APPROVED IN AN INITIAL INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- LONG TERM SLOPE STABILIZATION MEASURES INCLUDING MATTING SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
- INLET PROTECTION SHALL BE IN PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.
- WATER QUALITY FACILITIES SHALL BE INSTALLED AND PLANTED PRIOR TO ALLOWANCE OF STORMWATER.



- NOTE:
- WASHOUT AREA TO CONTAIN A MINIMUM OF 3 CY (IE 6' BY 8' BY 1.5' DEEP).
 - REMOVE AND LEGALLY DISPOSE OF WASTE MATERIAL WHEN IT ACCUMULATES TO 2/3 OF WET STORAGE CAPACITY.
 - CONCRETE WASHOUT AREA TO BE REPAIRED AND/OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY.
 - UPON COMPLETION OF CONSTRUCTION ACTIVITIES REQUIRING CONCRETE WASHOUT, REMOVE WASHOUT AND RESTORE THE AREA TO FINISH GRADE.

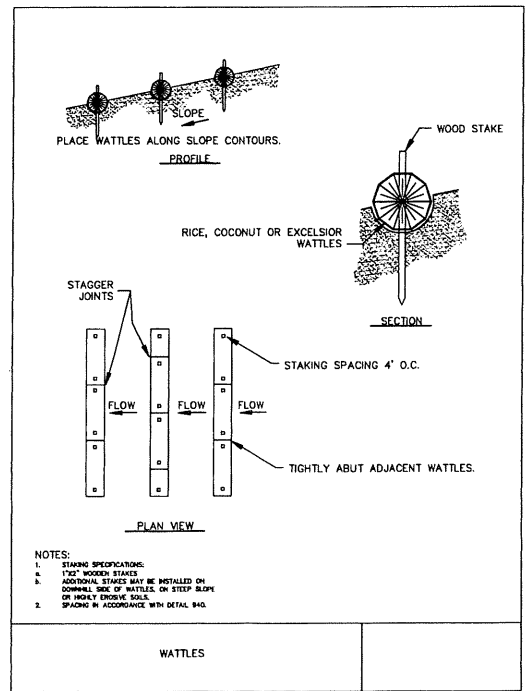
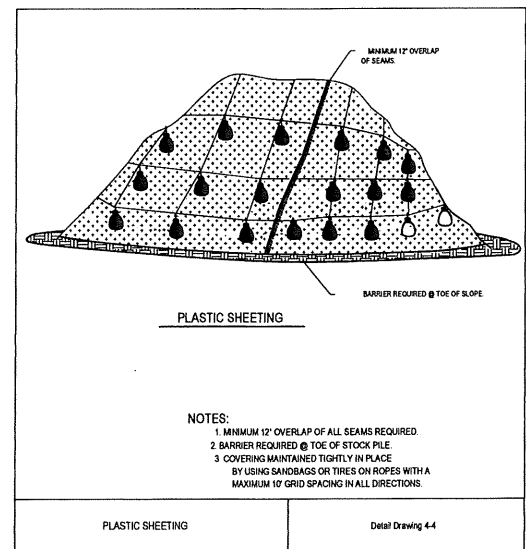
CONCRETE TRUCK WASHOUT

NOT TO SCALE



CATCH BASIN INSERT BAG

NOT TO SCALE



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APPROVED: JRB

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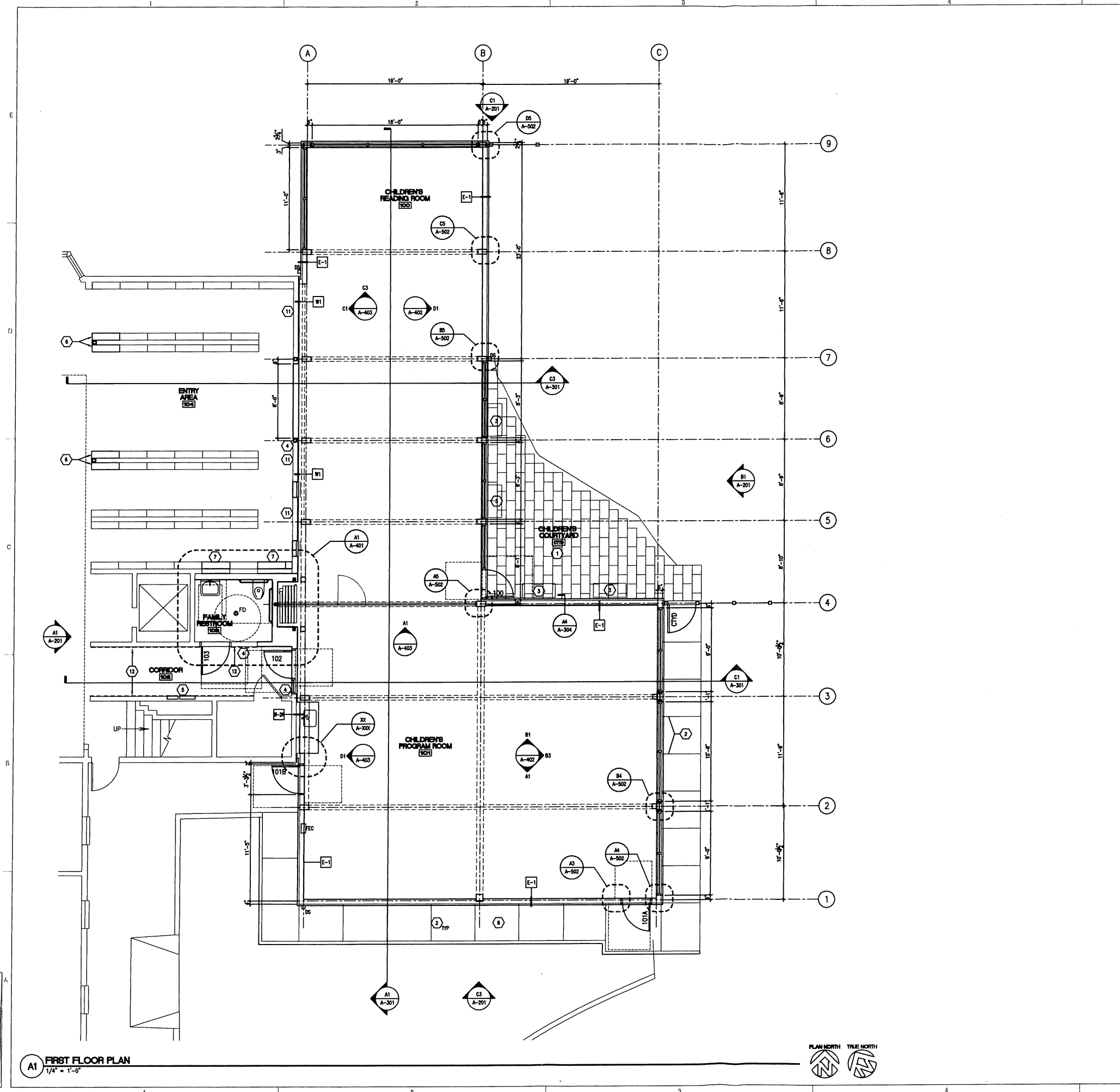
DATE: 3/8/2015

PROJECT NUMBER: 24-09-11

DETAILS

C501

95% CD'S



GENERAL NOTES

1. REFER TO DEMO PLANS FOR ...

- KEYNOTES**
- 1) 12" X 24" PANKERS, SEE CIVIL, STEP @ ROCK WALL
 - 2) SIDEWALK CONTROL JOINT
 - 3) SITE BENCH
 - 4) ROOM ID SIGNAGE
 - 5) ELEC. PANELS, SEE ELEC.
 - 6) REINSTATE SALVAGED BOOKCASE, REFRESH OR REPLACE ENDPANEL AND TRIM TO MATCH EXISTING.
 - 7) INSTALL SALVAGED BOOKCASE, REFRESH OR REPLACE TRIM TO MATCH EXISTING.
 - 8) NEW SIDEWALK AND CURB, SEE CIVIL
 - 9) SIDEWALK CONTROL JOINT
 - 10) 5" x 8" GLULAM POST, COORDINATE WITH STRUCTURAL
 - 11) PAINT (E) WALL P-3
 - 12) REFRESH (E) WALL AND PAINT P-1
 - 13)

- LEGEND**
- NEW WALL CONSTRUCTION
 - EXISTING CONSTRUCTION TO REMAIN
 - - - - REFRESH (E) WALL, PAINT P-1
 - FD FLOOR DRAIN

| MARK | DATE | DESCRIPTION |
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THE DALLES
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CHILDREN'S EXPANSION

722 COURT STREET
THE DALLES, OREGON 97068

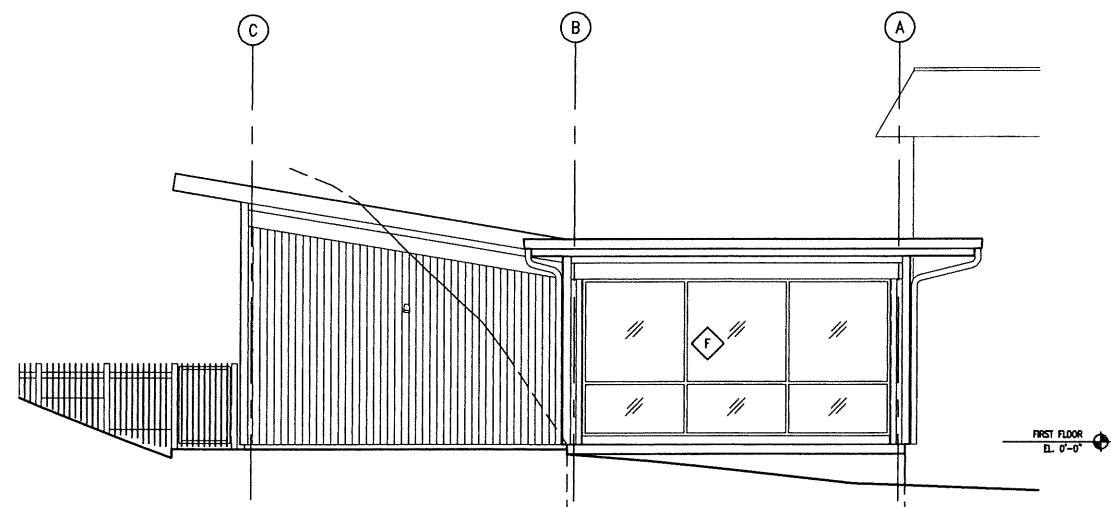
APPROVED: _____
DRAWN: _____
DATE: 8/6/2006
PROJECT NUMBER: 24-09-01

A1 FIRST FLOOR PLAN
1/4" = 1'-0"

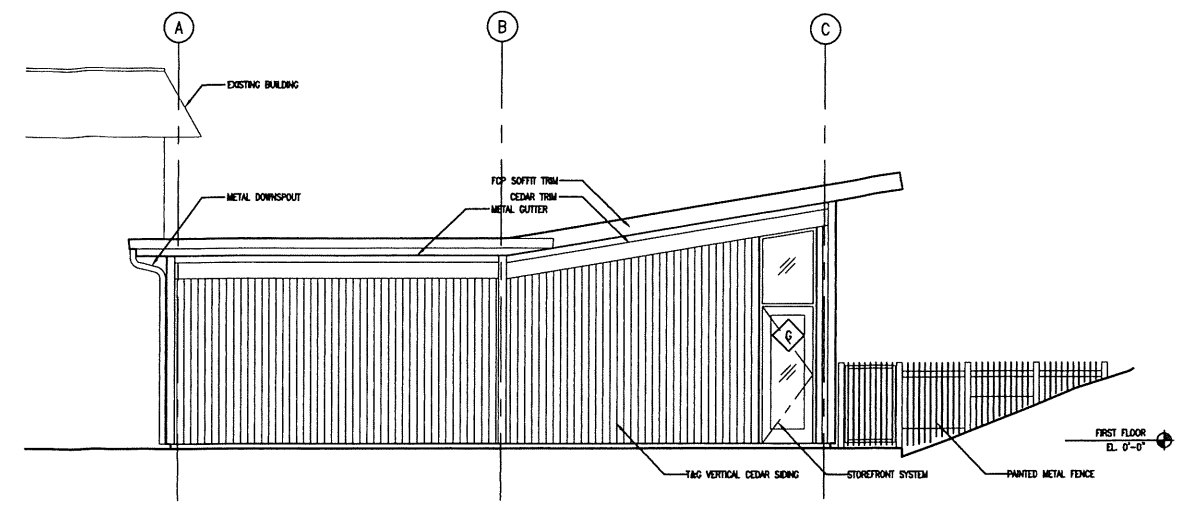


FLOOR PLAN

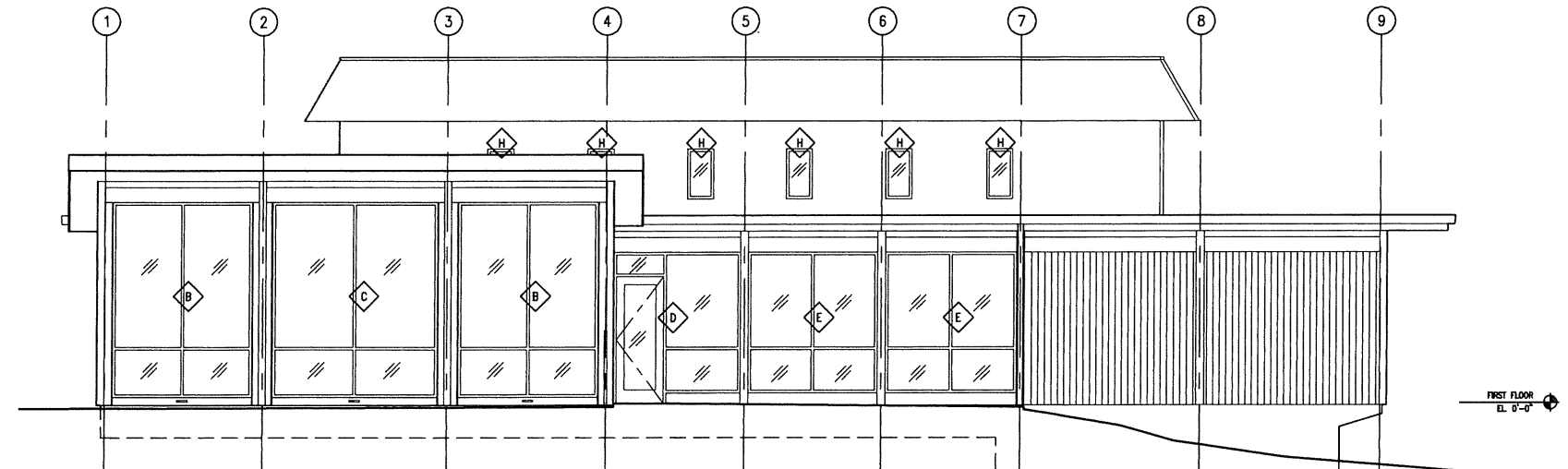
A-101
95% CD'S



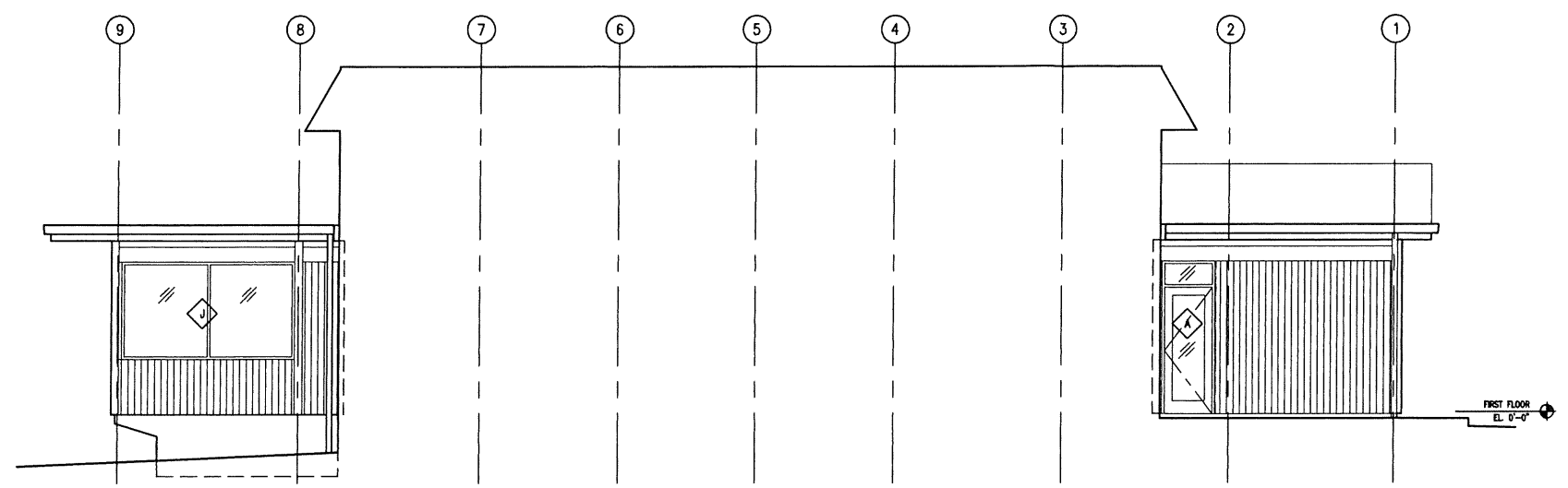
C1 NORTH ELEVATION
1/4" = 1'-0"



C3 SOUTH ELEVATION
1/4" = 1'-0"



B1 EAST ELEVATION
1/4" = 1'-0"



A1 WEST ELEVATION
1/4" = 1'-0"

| MARK | DATE | DESCRIPTION |
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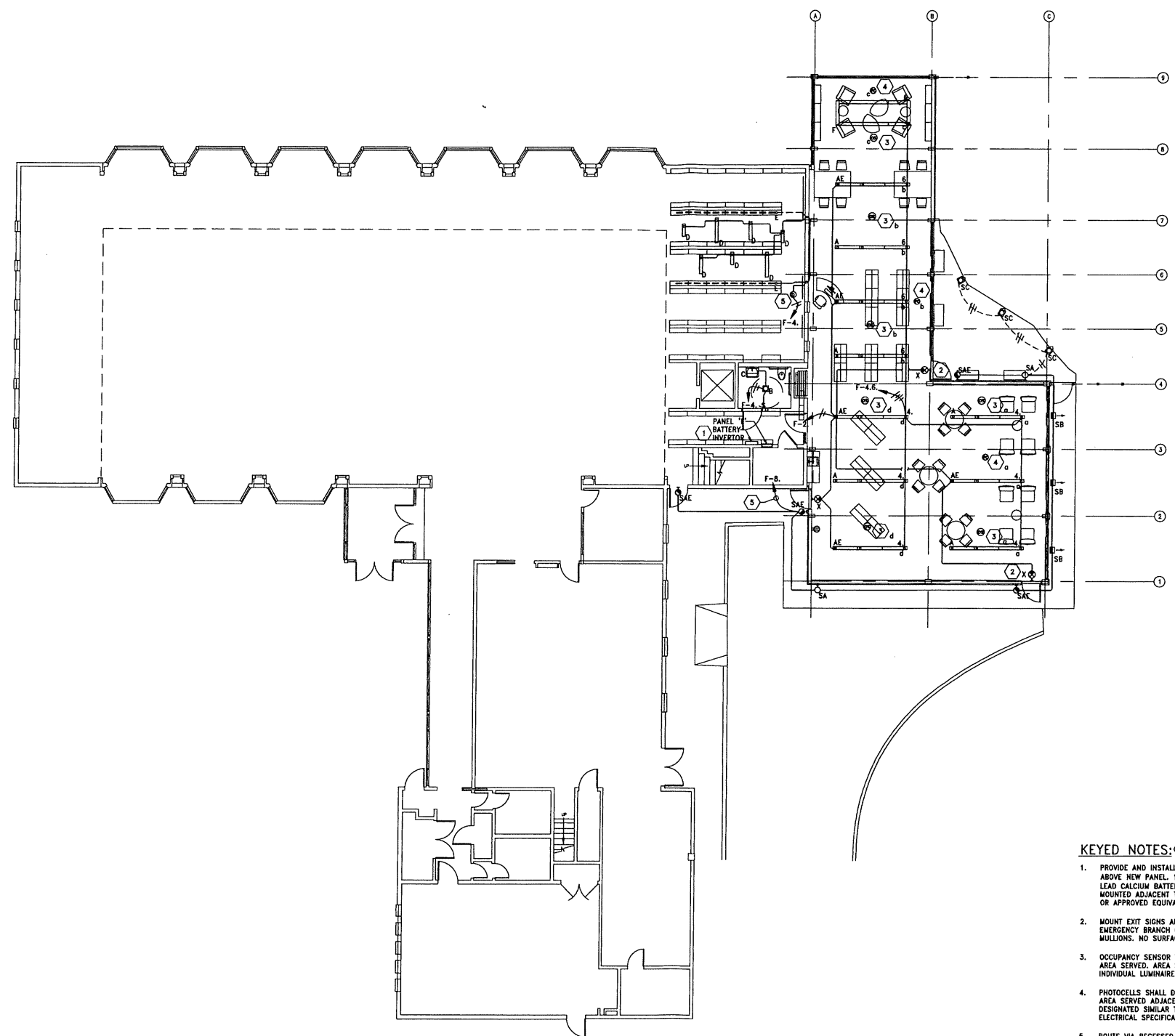
CHILDREN'S EXPANSION

722 COURT STREET
THE DALLAS, OREGON 97008

APPROVED _____
DRAWN _____
DATE 8/18/05
PROJECT NUMBER 04-09-01

ELEVATIONS

A-201
95% CD'S



KEYED NOTES:

1. PROVIDE AND INSTALL 250W. BATTERY INVERTER. MOUNT ABOVE NEW PANEL. 120V. INPUT/120V. OUTPUT. 90MIN. LEAD CALCIUM BATTERY. REMOTE TEST SWITCH/MONITOR MOUNTED ADJACENT TO PANEL. ISOLITE IW25-1C-120-RT OR APPROVED EQUIVALENT.
2. MOUNT EXIT SIGNS ABOVE DOOR ON MULLION. 120V. EMERGENCY BRANCH CIRCUIT SHALL BE ROUTED THROUGH MULLIONS. NO SURFACE CONDUIT WILL BE ALLOWED.
3. OCCUPANCY SENSOR WILL PROVIDE LIGHTING CONTROL FOR AREA SERVED. AREA SERVED WILL BE DESIGNATED ON INDIVIDUAL LUMINAIRE ROW.
4. PHOTOCELLS SHALL DIMMED DAYLIGHTING CAPABILITY FOR AREA SERVED ADJACENT TO WINDOW. THE AREAS ARE DESIGNATED SIMILAR TO OCCUPANCY SENSORS. SEE ELECTRICAL SPECIFICATIONS FOR DAYLIGHT CRITERIA.
5. ROUTE VIA RECESSED SINGLE POLE RECESSED DIGITAL TIMER MOUNTED ABOVE PANEL. LUTRON 'LUXEA' LCLC SERIES WITH COLOR TO MATCH WALL. MOUNT HIGH ON WALL ADJACENT TO PANEL.

1 LIGHTING PLAN
E100 SCALE: 1/8"=1'-0"
0 4' 8' 16'

| MARK | DATE | DESCRIPTION |
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CHILDREN'S EXPANSION

722 COURT STREET
THE DALLES, OREGON 97068

APPROVED: _____
DRAWN: _____
DATE: MARCH 6, 2015
PROJECT NUMBER: 24-09-11