



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
COMMUNITY DEVELOPMENT DEPARTMENT

SPECIAL MEETING AGENDA CITY OF THE DALLES HISTORIC LANDMARKS COMMISSION

VIA ZOOM

Wednesday, August 5, 2020
4:00 PM

Join Zoom Meeting

<https://zoom.us/j/92065598924?pwd=QnlXemZwRGE2UHp5RVVU5OTJIUnZ4QT09>

Meeting ID: **920 6559 8924** Password: **659111**

Dial by your location: 1-253-215-8782 or 1-669-900-6833

- I. Call to Order**
- II. Roll Call**
- III. Pledge of Allegiance**
- IV. Approval of Agenda**
- V. Public Comments** – During this portion of the meeting, anyone may speak on any subject which does not later appear on the agenda. Five minutes per person will be allowed.
- VI. Public Hearings**
 - A. HLC Application 181-20, Discover Development/Sunshine Mill, 901 E. Second Street
Request: Approval for work on the Silo building to include: installation of additional entry doors and windows, trimming exterior with wood planters and wood trim; painting the Head House, and installation of a roof top garden with overhead wind projections.
 - B. HLC Application 182-20, Charles and Connie-Marie Sanders, 531 W. Third Place
Request: Approval to expand the existing driveway for access to rear of property and replace the front yard fencing.

VII. Resolutions

- A. Resolution HLC 170-20: Approval of HLC 181-20, Discover Development/
Sunshine Mill
- B. Resolution HLC 171-20: Approval of HLC 182-20, Charles and Connie-Marie
Sanders

VIII. Staff/Commissioner Comments

IX. Next Meeting Date – August 26, 2020

X. Adjournment



STAFF REPORT
HISTORIC LANDMARKS REVIEW # 181-20

TO: The Dalles Historic Landmarks Commission

FROM: Dawn Marie Hert, Senior Planner

HEARING DATE: Special Meeting, Wednesday, August 5, 2020

ISSUE: The Sunshine Mill is requesting approval for work on the Silo building to include: installation of additional entry doors and windows, trimming exterior with wood planters and wood trim; painting the Head House, and installation of a roof top garden with overhead wind projections.

SYNOPSIS:

APPLICANT	Discover Development/Sunshine Mill
PROPERTY OWNER	TGE, LLC
LOCATION	901 E 2 nd Street, The Dalles, OR 97058
ZONING	“CBC” – Central Business Commercial
EXISTING USE	Mixed Use Commercial & Residential
SURROUNDING USE	Commercial
HISTORIC STATUS	Locally Landmarked

NOTIFICATION: Published advertisement in local newspaper; notification to property owners within 100 feet, SHPO.

RECOMMENDATION: Approval, with conditions, based on the following findings of fact.

BACKGROUND: The Sunshine Mill property is locally landmarked. The remaining building of primary significance is the original domed-roof brick building built circa 1883. The related grain elevator and large mill buildings were added after the original multi-story building was destroyed by fire in the early 1900s. The historic inventory predominately calls out the two domed brick buildings, but also identifies the silos and grain elevators on the same historic property. Modifications to the exterior are required to be reviewed by the Historic Landmarks Commission (HLC). The building is currently occupied by the Sunshine Mill, which includes a winery and bottling for Copa di Vino single-serving wines.

In 2003, a previous owner requested approval to demolish the two Wasco Warehouse brick buildings that fronted Taylor Street. The Historic Landmarks Commission denied the application and requested that a 120-day rule be imposed to see if the buildings could be

saved. The application was appealed to City Council and ultimately the buildings were issued demolition permits. Luckily, the current owners were able to save the least damaged brick building and convert it to be used for their Copa Di Vino bottling operation.

Over the years various exterior improvements and repairs have been made to the site and buildings. These improvements were classified as minor and did not require a review before the HLC. These improvements included painting the exterior of the buildings, repairs to brick, painting of a large mural/sign and landscaping. In 2019, The Dalles Main Street received approval for the installation of a neon sign to be installed on the face of the Mill building's main entrance to the winery.

The request before the Commission is for work on the Silo building to include: installation of additional entry doors and windows, trimming exterior with wood planters and wood trim; painting the Head House, and installation of a roof top garden with overhead wind projections. The applicant has provided renderings showing the location and type of cuts proposed. These improvements will allow for greater use of the silos in premium wine production. Some of the cuts are designed in size and shape to fit into the long range property vision for a Historic Sunshine Mill Silo Winery and Hotel.

Safety in wineries is always a big concern where fermenting creates CO₂ gas. The proposal to eliminate the completely enclosed spaces will allow for oxygen movement to reduce the harmful gasses, increasing employee safety.

ANALYSIS: The Historic Landmarks Commission is responsible for conducting hearings dealing with proposed alterations to historic buildings. The Dalles Municipal Code, Title 11 Planning, Chapter 11.12 – Historic Resources provides process as well as established design guidelines to assist the Commission in making these decisions. The purpose of the Historic Landmarks Commission, the Historic Code and the review criteria are to:

Protect historic and cultural resources from destruction, inappropriate alteration, and incompatible adjacent development;

- *Stabilize and improve property values in historic districts and citywide;*
- *Enhance the city's attractiveness to visitors and residents, and stimulate business, industry and tourism;*
- *Educate The Dalles' citizens and visitors concerning the city's heritage;*
- *Preserve the historic housing stock of The Dalles;*
- *Comply with The Dalles Comprehensive Plan.*

A. THE DALLES MUNICIPAL CODE – TITLE 11.12 – HISTORIC RESOURCES – CODE RELATING TO HISTORIC RESOURCES WITHIN THE CITY OF THE DALLES.

Section 11.12.070, Subsection A. Review Criteria:

3. "Secretary's Standards. Commission decisions shall be based on the Secretary of the Interior's Guidelines for the Treatment of Historic Properties." The following are pertinent standards from the "Guide".

1. *“A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships”.*

FINDING-A1: At this time there are no plans to change the use of the historic buildings. Currently the site is used for light assembly and a winery. The historic materials and features will remain. The new building openings and entrances will provide added access to the buildings and provide a look inside the historic Mill building and Silos, as well as allow for increased production, safety and capacity. Criterion met.

2. *“The historic character of a property shall be retained and preserved. The removal of historic materials or alterations to features and spaces that characterize a property shall be avoided.”*

FINDING-A2: The request includes openings to the Silo building, addition of a roof garden and overhead wind projections as well as wood trim and wood planters. The proposal does not include removal of any historic materials that characterize the property. Criterion met.

3. *“Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.”*

FINDING-A3: There are no plans for additions that would create a false sense of historical development. The applicant has worked to make modifications and changes to the buildings that are compatible and complimentary. The door and window openings on the Silos will be constructed to be similar in style as the previously approved/existing doors on the Mill and Warehouse buildings. Criterion met.

4. *“Changes to a property that have acquired historic significance in their own right shall be retained and preserved.”*

FINDING-A4: There are no plans for removal of changes that have acquired historic significance to the historic building. Criterion met.

5. *“Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.”*

FINDING-A5: There are no plans for removal of any distinctive historic features. With limited information provided on the inventory sheet in regards to the Silo and Mill building, it is difficult to determine what features on these buildings would be considered distinctive. The essential form of the Silos will remain intact. The most distinctive features on the Mill building would be the windows. This application is not proposing removal of any existing windows. Criterion met.

6. *“Deteriorating historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and,*

where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.”

FINDING-A6: This application does not include any repairs other than painting. Criterion does not apply.

7. *“Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.”*

FINDING-A7: There are no plans for surface cleaning with this application. However, a condition of approval will be added to ensure that this criterion is met in the event the applicant needs to surface clean the buildings. Criterion will be addressed as a condition of approval.

8. *“Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.”*

FINDING-A8: No excavation is planned with this request. However, minor excavation may be needed for the new door openings. Criterion will be addressed as a condition of approval.

9. *“New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”*

FINDING-A9: The construction of the new entrances, doors, windows, wood planters and wood trim will be installed using the gentlest means to preserve any historic materials that characterize the property. The alterations will be compatible in size and scale. Criterion met.

10. *“New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”*

FINDING-A10: The installation of new doors, windows, wood trim, wood planters, rooftop garden and overhead wind projections will be constructed in a manner that the essential form and integrity of the Silo building and property will be unimpaired. The added Silo openings will be carefully constructed to not disturb the integrity of the historic buildings. The openings will be constructed to match the previously approved door openings on the Mill and Warehouse buildings and will use similar design and materials. The applicant has provided an engineering report to ensure the new openings will be structurally engineered. Criterion will be addressed as a condition of approval.

B. THE DALLES MUNICIPAL CODE – TITLE 11.12.095 – HISTORIC RESOURCES – CODE RELATING TO DESIGN GUIDELINES FOR HISTORIC RESOURCES.

The sense of cohesiveness and continuity of The Dalles' commercial area derives in part from the consistent use of building materials in building facades. New construction and

rehabilitation should use appropriate materials that provide scale making a more pedestrian friendly environment.

GUIDELINES:

- a. For building renovations, original materials should be restored wherever possible.*
- b. When materials need to be replaced for restoration they should be compatible in quality, color, texture, finish and dimension to the original materials (see page 2, Secretary of the Interior's Standards for Rehabilitation).*
- c. New construction should use materials compatible with the historic buildings in quality, color, texture, finish and dimension. Predominant materials of the commercial historic district are:
brick; stone; cast iron; glazed terra cotta; cement plaster (stucco)*
- d. The use of wood for windows is recommended.*
- e. The use of reflective and smoked glass is prohibited.*
- f. Whenever possible, the natural color of the materials should be retained.*
- g. An ordinance prohibiting the painting of brick, unless it is damaged or has already been sandblasted, should be adopted.*
- h. Sandblasting of brick is prohibited as it severely damages the brick.*
- i. When painting a building the following color scheme is recommended:
darkest-window sash
medium-building
lightest-trim, detail*

FINDING B-1: The applicant is proposing to follow the design guidelines as stated above. The new construction materials planned for the projects include wood, cement plaster and wood for the new doors/openings/trim. There are no alterations to the existing windows planned with this application and no changes in the existing window glass. Criterion will be addressed as a condition of approval.

CONCLUSIONS:

The proposed installation of additional entry doors and windows, trimming with wood planters and wood trim, painting the Head House, and installation of a roof top garden with overhead wind projection will allow the applicant to increase their safe production capacity in these historic buildings. The continued use of this historic site requires necessary upgrades to fit the current needs for business operations. Staff supports this continued use as well as the complimentary and compatible modifications to the Silo building. In all respects this application meets the standards of the Secretary of the Interior and The Dalles Municipal Code, Title 11-12 Historic Resources, with the following conditions:

Recommended Conditions of Approval:

1. Work will be completed in substantial conformance to the pictures and proposals as submitted and reviewed. The applicants are required to notify the City of any alteration of the approved plans.
2. Prior to construction, the applicant shall apply to the City for approval. Once approved, the applicant shall apply for a structural permit from Wasco County Building Codes Services.
3. The modification to the façade shall not alter the essential form and integrity of the historic property. Utmost care will be taken with construction of the new door and window openings, wood trim and boxes, overhead wind projection and painting.

4. In the event that excavation is necessary, any archeological resources or materials discovered during excavation require the applicant to stop excavation and have the site professionally evaluated prior to any continued excavation.
5. New construction should use appropriate materials that provide scale making a more pedestrian friendly environment and meet the historic design guidelines.
6. The proposed new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of this historic property and its environment will be unimpaired.
7. Cleaning of the historic structures requires the applicants to use the gentlest means possible. No harsh chemical or sandblasting will be allowed.
8. Painting will be required to follow the historic guidelines and be approved by City staff prior to start of work.



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(541) 296-5481 ext. 1125
PLANNING DEPARTMENT

HLC# 181-20
FEE - \$25.00

HISTORIC LANDMARKS APPLICATION

Application is required for modifications and/or alterations to the exterior of certified historic structures and all structures within certified historic districts. Additionally, new construction within established historic districts are also required to appear before the City of The Dalles Historic Landmarks Commission.

Applicant Name	Discover Development/ Sunshine Mill
Address	901 e 2 nd St, The Dalles, Or 97058
Phone	503-380-0381
Business Name	Sunshine Mill Winery
Site Address	901 E 2 nd St, The Dalles, Or 97058
Phone	503-380-0381
Map and Tax Lot	
Zoning	

Please describe your project goals.

- 1.) Increase wine production capacity.
- 2.) Reduce employee injury risks in contained spaces.
- 3.) Increase access and utilization of Silos Building.
- 4.) Improve roof top environmentally into green space

How will your project affect the appearance of the building and or site?

- 1.) Entry doors and windows into Silo Building
- 2.) Trimming Silo Building with Wood planters and trim exteriors.
- 3.) Finish the Painting of the Head House in Black framing in the white Silos.
- 4.) Add roof top garden with overhead wind protections

What efforts are being made to maintain the historic character of this structure?

All improvements will be designed in an attempt to match the character of the historic building.

What is the current use of this property?

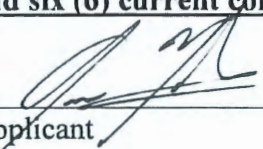
Historic Flour Mill Winery and Artisan Plaza expanding into Hotel

Will the use change as a result of approval of this application? No

List any known archeological resources on site. N/A

The review criteria for each application are the Secretary of the Interior's Standards. These standards have been adopted by City Ordinance 94-1194 as local review criteria.

I certify that the above information is correct and submit this application with six (6) copies of a site plan drawn to scale, six (6) copies of detailed, elevation drawings with proposed changes, and six (6) current color photographs (4X6 inch minimum) of the building/structure front.


Applicant

7/1/20
Date

Owner (if not the applicant)

I have reviewed the above application and certify that it is complete and accepted for processing.


Secretary, Historic Landmarks Commission

FOR OFFICE USE ONLY

Historical Classification

Local / State Inventory
(Primary, Secondary, Historical, Etc.)

Historic Building/Site Historic District: Commercial ☐ Trevitt ☐ Other ☒

Historic Name (if any)

Sunshine Biscuit Co / Wasco Warehouse

Year(s) Built

1869

Milling Co.



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FAX: (541) 298-5490

Community Development Dept.

HLC #

181-20
Fee: \$25.00

HISTORIC LANDMARKS APPLICATION

Application is required for modifications and/or alterations to the exterior of certified historic structures and all structures within certified historic districts. Additionally, new construction within established historic districts are also required to appear before the City of The Dalles Historic Landmarks Commission.

Applicant Name Discover Development

Mailing Address 901 E 2nd St, The Dalles, OR 97058

Phone 503-380-0381

Business Name Sunshine Mill

Site Address 901 E 2nd St, The Dalles, Or 97058

Phone 503-380-0381

Map and Tax Lot _____

Zoning _____

Please describe your project goals.

Continue with the approved site development of the Winery Hotel.

How will your project affect the appearance of the building and or site?

The site will continue to remain historic in apperance

What efforts are being made to maintain the historic character of this structure?

Smartly placed improvements to creat usable space with out reducing the historical feel

What is the current use of this property?

Flour Mill Winery

Will the use change as a result of approval of this application? ☐ Yes ☒ No

List any known archeological resources on site.

none

The review criteria for each application are the Secretary of the Interior's Standards. These standards have been adopted by City Ordinance 94-1194 as local review criteria.

I certify that the above information is correct and submit this application with nine (9) copies of a site plan drawn to scale, nine (9) copies of detailed, elevation drawings with proposed changes, and nine (9) current color photographs (4X6 inch minimum) of the building/structure front.

Applicant

Date

Owner (if not the applicant)

I have reviewed the above application and certify that it is complete and accepted for processing.

Secretary, Historical Landmarks Commission

For Office Use Only

Historical Classification

(Primary, Secondary, Historical, Etc.)

Historic Building/Site

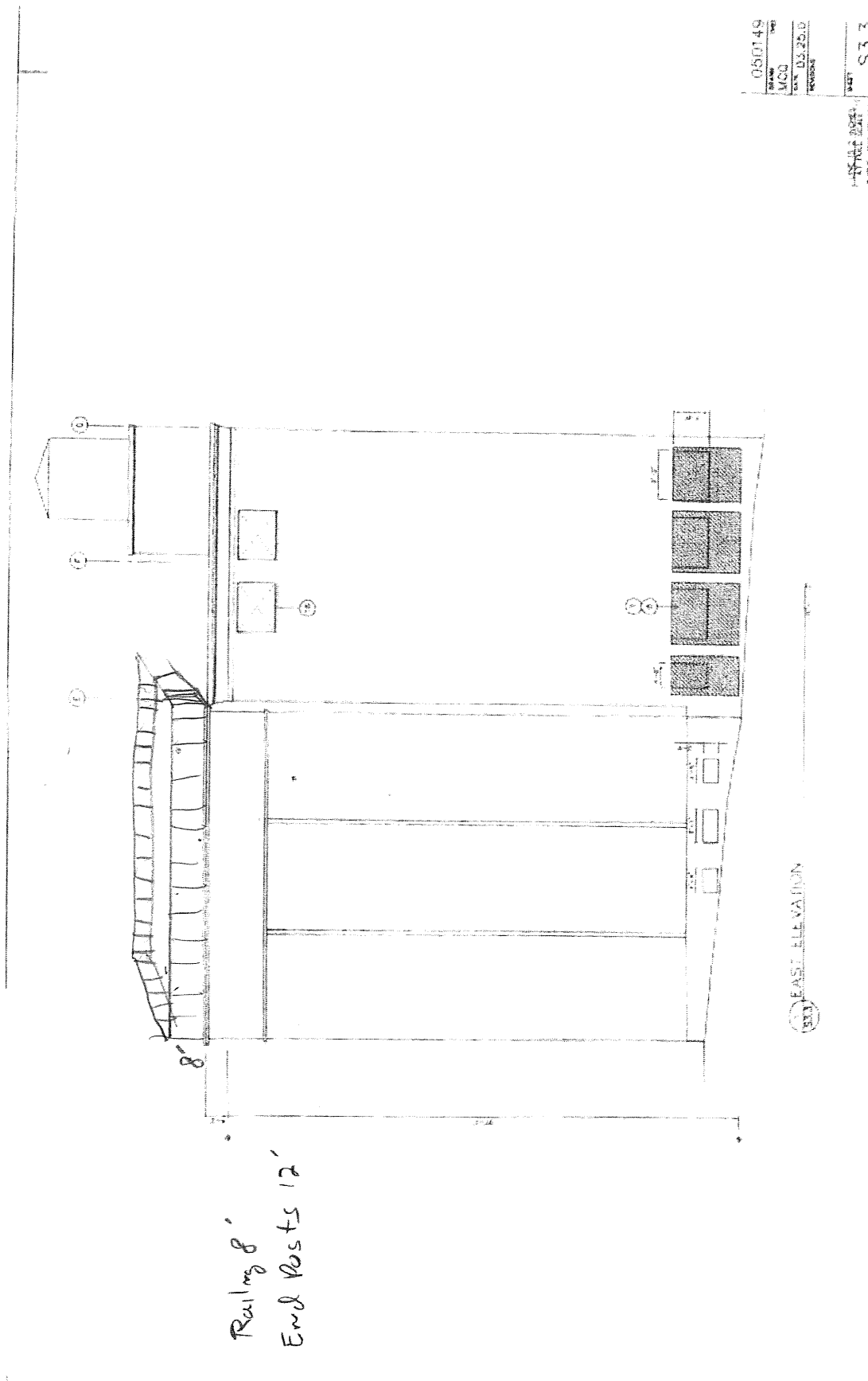
Historic District: Trevitt

Commercial

Other

Historic Name (if any)

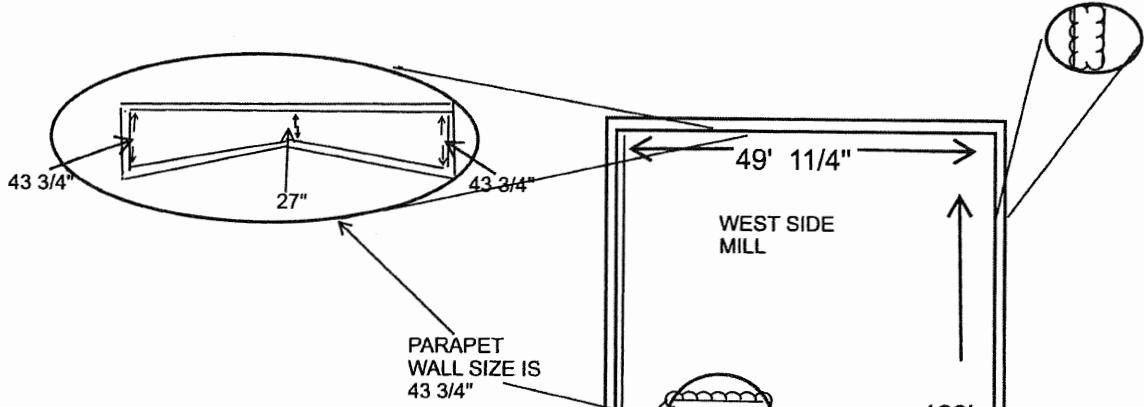
Year(s) Built



SUNSHINE MILL

THIS IS THE INSIDE PART
OF TR ROOF AREA,
THE CROWN SURFACE IS 15"

WEST SIDE MILL



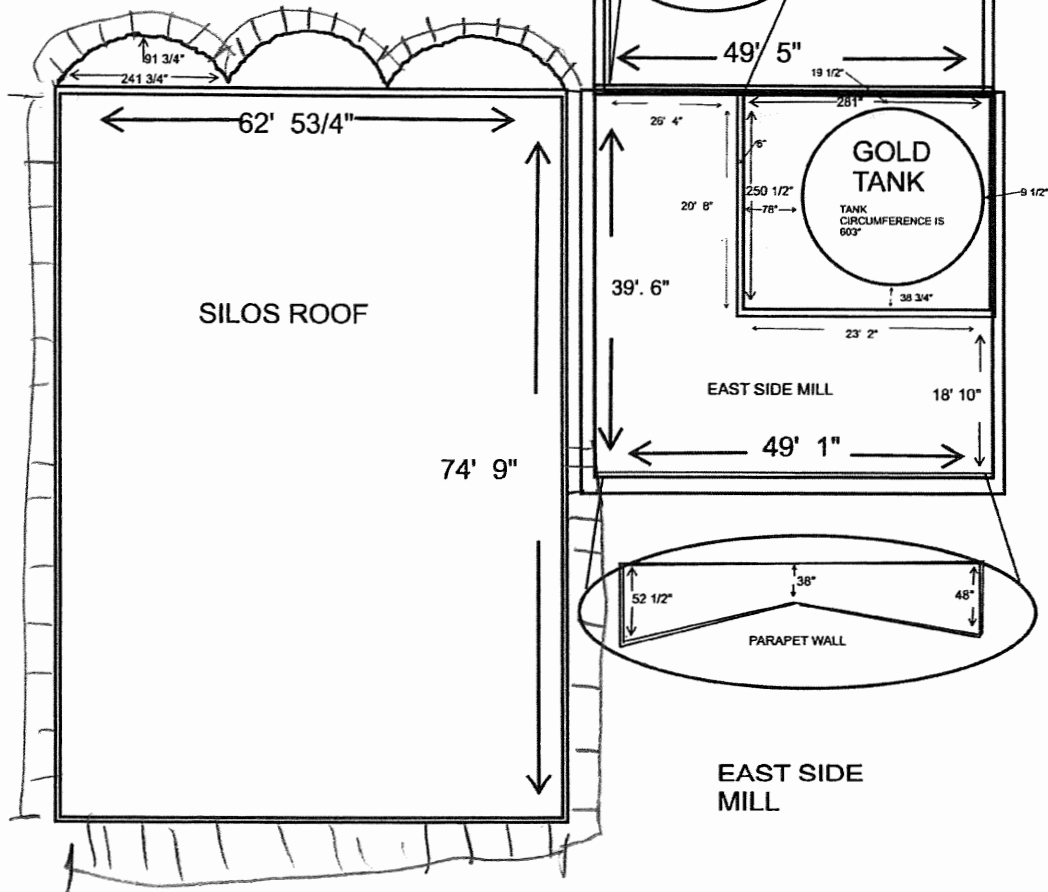
PARAPET
WALL SIZE IS
43 3/4"

SOUTH
SIDE
MILL

NORTH
SIDE
MILL

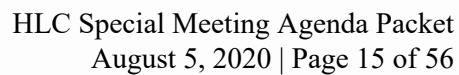
Proposed Railings

*7' 8" high.
Railings*



EAST SIDE
MILL

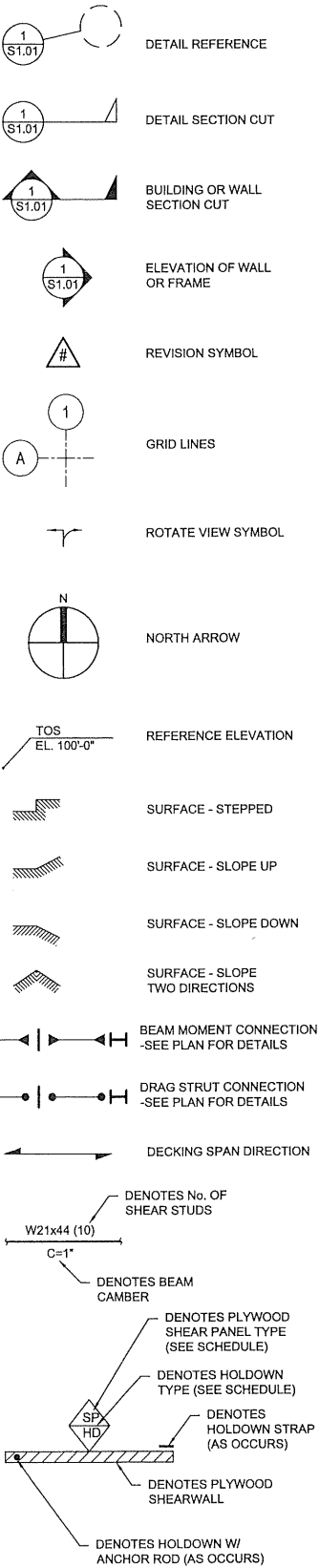
Proposed Entrances/windows include lines w/ or + ARROWS 8' x 4'



STRUCTURAL ABBREVIATIONS

AB ANCHOR BOLT
ADDL ADDITIONAL
AFF ABOVE FINISH FLOOR
ALT ALTERNATE
ARCH ARCHITECTURAL
ATY ALL T-THREAD ROD
BLDG BUILDING
BLKG BLOCKING
BM BEAM
BN BOUNDARY NAIL
BOF BOTTOM OF FOOTING
BOT BOTTOM
BRNG BEARING
BSMT BASEMENT
BTWN BETWEEN
C CAMBER
CIP CAST IN PLACE
CJ CONTROL OR CONSTRUCTION JOINT
CJP COMPLETE JOINT PENETRATION
CL CENTERLINE
CLG CEILING
CLR CLEAR
CMU CONCRETE MASONRY UNIT
COL COLUMN
CONC CONCRETE
CONN CONNECTION
CONST CONSTRUCTION
CONT CONTINUOUS
DBA DEFORMED BAR ANCHOR
DBL DOUBLE
DFL DOUGLAS FIR-LARCH
DIA DIAMETER
DIAG DIAGONAL
DIST DISTANCE
DL DEAD LOAD
DN DOWN
DTL DETAIL
DWG DRAWING
(E) EXISTING
EA EACH
EF EACH FACE
EL ELEVATION
EN EDGE NAIL
EOR ENGINEER OF RECORD
EQ EQUAL
EW EACH WAY
EXT EXTERIOR
FF FINISH FLOOR
FN FIELD NAIL
FLR FLOOR
FON FOUNDATION
FT FEET
FTG FOOTING
GA GAUGE
GALV GALVANIZED
GLB GLUE LAMINATED BEAM
GWB GYPSUM WALL BOARD
HDG HOT-DIP GALVANIZED
HDR HEADER
HF HEM-FIR
HT HEIGHT
HORIZ HORIZONTAL
HSA HEADED STUD ANCHOR
HSS HOLLOW STRUCTURAL SECTION
ID INSIDE DIAMETER
IN INCH
INT INTERIOR
JST JOIST
JT JOINT
K KIP(S)
KSI KIPS PER SQUARE INCH
L ANGLE
LLH LONG LEG HORIZONTAL
LLV LONG LEG VERTICAL
LONG LONGITUDINAL
LVL LAMINATED VENEER LUMBER
LWC LIGHT WEIGHT CONCRETE
MAX MAXIMUM
MIN MINIMUM
MIR MIRROR
NIC NOT IN CONTRACT
NOM NOMINAL
NTE NOT TO EXCEED
NTS NOT TO SCALE
(N) NEW
OC ON CENTER
OD OUTSIDE DIAMETER
OPP OPPOSITE
OWJ OPEN WEB JOIST
PAF POWDER ACTUATED FASTENER
PERP PERPENDICULAR
PJP PARTIAL JOINT PENETRATION
PL PLATE
PSI POUNDS PER SQUARE INCH
PSF POUNDS PER SQUARE FOOT
PT PRESSURE TREATED
QTY QUANTITY
RAD RADIUS
REF REFERENCE
REINF REINFORCING
REQD REQUIRED
REV REVISED, REVISION
SC SLIP CRITICAL
SHT SHEET
SHT'G SHEATHING
SIM SIMILAR
SMS SHEET METAL SCREW
SOG SLAB ON GRADE
SQ SQUARE
SS STAINLESS STEEL
STD STANDARD
STL STEEL
T&B TOP AND BOTTOM
T&G TONGUE AND GROVE
TOC TOP OF CONCRETE
TOS TOP OF STEEL
TOF TOP OF FOOTING
TOW TOP OF WALL
TYP TYPICAL

STRUCTURAL DRAWING SYMBOLS



STRUCTURAL NOTES:

GENERAL

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND CORRELATION OF ALL ITEMS AND WORK NECESSARY FOR COMPLETION OF THE PROJECT AS INDICATED BY THE CONTRACT DOCUMENTS. SHOULD ANY QUESTION ARISE REGARDING THE CONTRACT DOCUMENTS OR SITE CONDITIONS, THE CONTRACTOR SHALL REQUEST INTERPRETATION AND CLARIFICATION FROM THE ENGINEER BEFORE BEGINNING THE PROJECT. THE ABSENCE OF SUCH REQUEST SHALL SIGNIFY THAT THE CONTRACTOR HAS REVIEWED AND FAMILIARIZED HIMSELF WITH ALL ASPECTS OF THE PROJECT AND HAS COMPLETE COMPREHENSION THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL SAFETY REGULATIONS DURING CONSTRUCTION.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SPECIFICALLY NOTED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION OR CONSTRUCTION LOADS. ONLY THE CONTRACTOR SHALL PROVIDE ALL METHODS, DIRECTION AND RELATED EQUIPMENT NECESSARY TO PROTECT THE STRUCTURE, WORKMEN AND OTHER PERSONS AND PROPERTY DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT SAME IN THE FIELD. ANY MATERIAL NOT AS SPECIFIED OR IMPROPER MATERIAL INSTALLATION OR WORKMANSHIP SHALL BE REMOVED AND REPLACED WITH SPECIFIED MATERIAL IN A WORKMANLIKE MANNER AT THE CONTRACTOR'S EXPENSE.

THESE PLANS, SPECIFICATIONS, ENGINEERING AND DESIGN WORK ARE INTENDED SOLELY FOR THE PROJECT SPECIFIED HEREIN. MILLER CONSULTING ENGINEERS DISCLAIMS ALL LIABILITY IF THESE PLANS AND SPECIFICATIONS OR THE DESIGN, ADVICE AND INSTRUCTIONS ATTENDANT THERETO ARE USED ON ANY PROJECT OR AT ANY LOCATION OTHER THAN THE PROJECT AND LOCATION SPECIFIED HEREIN. OBSERVATION VISITS TO THE JOB SITE AND SPECIAL INSPECTIONS ARE NOT PART OF THE STRUCTURAL ENGINEER'S RESPONSIBILITY UNLESS THE CONTRACT DOCUMENTS SPECIFY OTHERWISE.

NON STRUCTURAL PORTIONS OF PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, FIRE SUPPRESSION, ELECTRICAL, MECHANICAL, LAND USE, SITE PLANNING, EROSION CONTROL FLASHING AND WATER-PROOFING ARE BEYOND THE SCOPE OF THESE DRAWINGS AND ARE PROVIDED BY OTHERS.

TEMPORARY SHORING

WHEREVER SHORING IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SHORING SYSTEM THAT PREVENTS SETTLEMENT AND/OR DAMAGE TO EXISTING FACILITIES AND PROTECTS PERSONNEL, THE PUBLIC, AND THE BUILDING, SUPPORTING STREETS, WALKWAYS, UTILITIES, IMPROVEMENTS AND EXCAVATION AGAINST LOSS OF GROUND OR CAVING OF EMBANKMENTS DURING CONSTRUCTION, AS REQUIRED. THE CONTRACTOR SHALL LOCATE THE SYSTEM CLEAR WITHOUT OBSTRUCTION OF THE PERMANENT STRUCTURE AND TO PERMIT CONSTRUCTION TO PROCEED.

BUILDING CODE

ALL PHASES OF THE WORK SHALL CONFORM TO THE 2010 OREGON STRUCTURAL SPECIALTY CODE, EFFECTIVE DATE JULY 1, 2010, BASED ON THE 2009 INTERNATIONAL BUILDING CODE, INCLUDING ALL REFERENCE STANDARDS, UNLESS NOTED OTHERWISE.

SPECIAL INSPECTION / STRUCTURAL OBSERVATION

SPECIAL INSPECTION AND/OR TESTING IS REQUIRED IN ACCORDANCE WITH IBC SECTION 1704. THE CONTRACTOR SHALL PROVIDE SUFFICIENT NOTICE TO ALLOW SCHEDULING OF SPECIAL INSPECTION. IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE SPECIAL INSPECTION AND TESTING BY A QUALIFIED THIRD PARTY, SUCH AS A TESTING AGENCY REVIEWED BY THE ENGINEER.

REFERENCE THE SPECIAL INSPECTION TABLE ON SHEET 0.01 FOR ITEMS REQUIRING SPECIAL INSPECTION, TESTING, AND STRUCTURAL OBSERVATION.

DESIGN LOADS

LIVE LOAD REDUCTION FOR BEAMS AND COLUMNS WAS NOT USED. DESIGN FOR MECHANICAL LOADS INCLUDES ONLY THOSE INDICATED ON STRUCTURAL DRAWINGS. THE FOLLOWING ARE THE DESIGN REQUIREMENTS:

STRUCTURAL DESIGN CRITERIA	
OCCUPANCY CATEGORY	II
DESIGN DEAD LOADS	
PENTHOUSE ROOF	122 PSF
PENTHOUSE FLOOR	100 PSF
PENTHOUSE WALLS	75 PSF
SILO WALLS	94 PSF
LIVE LOAD	
PENTHOUSE FLOOR	100 PSF
ROOF LIVE LOAD	SNOW LOAD CONTROLS DESIGN
ROOF SNOW LOAD	
DESIGN ROOF SNOW LOAD	25 PSF
SNOW DRIFTING	AS NOTED ON PLANS (IF OCCURS)
IMPORTANCE FACTOR	I _s = 1.0
GROUND SNOW LOAD	P _g = 21 PSF
EXPOSURE FACTOR	C _e = 0.9
THERMAL FACTOR	C _t = 1.2
FLAT ROOF SNOW LOAD	P _f = 16 PSF
WIND DESIGN DATA	
BASIC WIND SPEED (3 SEC GUST)	95 MPH
IMPORTANCE FACTOR	I _w = 1.0
EXPOSURE	D
MAIN FORCE RESISTING SYSTEM	
WINDWARD	18.73 PSF TO 23.90 PSF
LEEWARD	-6.77 PSF
SEISMIC DESIGN DATA	
IMPORTANCE FACTOR	I _e = 1.0
SPECTRAL RESPONSE ACCELERATIONS	SS = 0.474, S1 = 0.172
SITE CLASS	D
SPECTRAL RESPONSE COEFFICIENTS	SDS = 0.45, SD1 = 0.24
SEISMIC DESIGN CATEGORY	D
BASIC SEISMIC FORCE RESISTING SYSTEM	ORDINARY CONCRETE SHEAR WALLS
DESIGN BASE SHEAR	395 KIPS
SEISMIC RESPONSE COEFFICIENT	CS = 0.112
RESPONSE MODIFICATION FACTOR	R = 4
ANALYSIS PROCEDURE USED	ASCE 7-05 EQUIVALENT LATERAL FORCE

CONCRETE

CONCRETE ANCHORS

POST INSTALLED CONCRETE ANCHORS SHALL CONSIST OF THE FOLLOWING UNLESS NOTED OTHERWISE:
SCREW ANCHORS: HILTI KWIK HUS-EZ
ADHESIVE ANCHORS: HILTI HIT-HY 200

ALL POST INSTALLED CONCRETE ANCHORS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S INSTALLATION CRITERIA AND PER THE CURRENT ICC EVALUATION REPORT.

CONCRETE CUTTING

CONCRETE CUTTING SHALL PERFORMED TO NOT CUT BEYOND OPENINGS. NOTIFY ENGINEER OF ANY CRACKS WITHIN 15 FEET OF A NEW OPENING. PRIOR TO CUTTING CONCRETE ARCH OPENINGS, CONTRACTOR TO VERIFY THAT CONCRETE AT SILO TANGENT POINTS CONTAIN SOLID CONCRETE FOR A LENGTH OF 3 FEET. PRIOR TO CUTTING ARCHES SHORING AS DETAILED BELOW SILO SHALL BE IN PLACE. SHORES SHALL BE PLUMB AND INSTALLED TIGHT TO EXISTING CONCRETE SURFACES.

NON-SHRINK GROUT

ALL NON-SHRINK GROUT SHALL BE NON-METALLIC GROUT CONFORMING TO ASTM C1107, AND SHALL HAVE A SPECIFIED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 5000 PSI. PRE-GROUTING OF BASE PLATES IS NOT PERMITTED.

STRUCTURAL STEEL

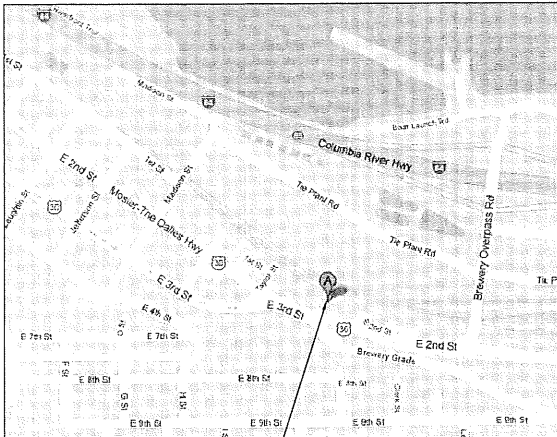
DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS (AISC 360-05).

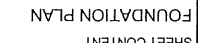
ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO THE FOLLOWING MATERIAL STANDARDS:

PIPE: ASTM A53, GRADE B, TYPE E OR S, Fy=35 KSI
ALL OTHER SECTIONS AND PLATES: ASTM A36

ALL STRUCTURAL STEEL SHALL HAVE ONE SHOP COAT OF PRIMER, EXCEPT SURFACES TO BE EMBEDDED IN CONCRETE OR MASONRY, OR STEEL TO BE GALVANIZED. EMBEDDED SURFACES SHALL BE FREE OF CONTAMINANTS. ALL EXPOSED STRUCTURAL STEEL TO HAVE ONE FINISH COAT OF RUST INHIBITING PAINT, COLOR BY OWNER.

ALL WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY (AWS) D1.1 USING E70XX ELECTRODES. WELD LENGTHS SHOWN ARE EFFECTIVE AS SPECIFIED PER THE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC). WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS FOR WELD TYPES SPECIFIED. WHERE WELD LENGTHS ARE NOT SHOWN, THE WELD SHALL BE FULL LENGTH OF MEMBERS BEING JOINED. ALL BUTT WELDS SHALL BE FULL PENETRATION WELDS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. ALL WELDS SHALL RECEIVE THE SAME FINISH COAT AS THE MEMBER BEING WELDED.






DRAWN BY:	BCH
CHECKED BY:	<i>[Signature]</i>
PROJECT NO:	130351
ISSUE DATE:	05.17.2013

9570 SW Barbours Blvd
Suite One Hundred
Portland, OR 97219
Phone 503.246.1250
Fax 503.246.1395
www.miller-se.com

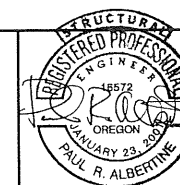
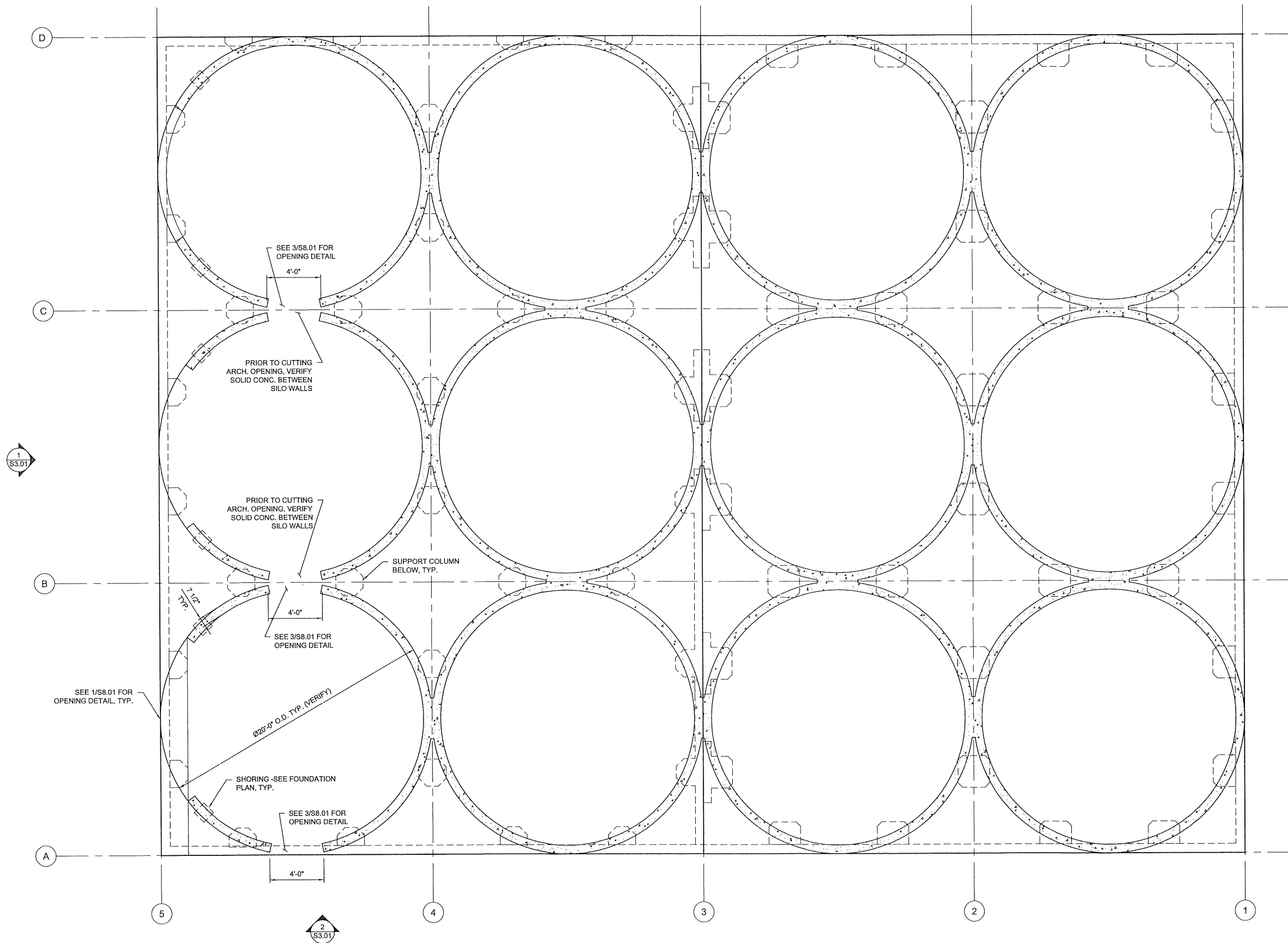
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EXPIRES: 12-31-2002





EXPIRES: 12-31-2013

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SILO MODIFICATIONS

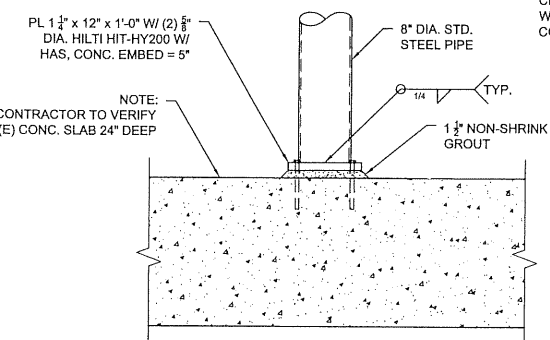
SUNSHINE MILL

901 E SECOND STREET
THE DALLES, OREGON

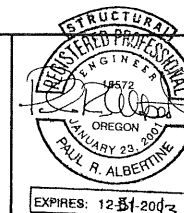
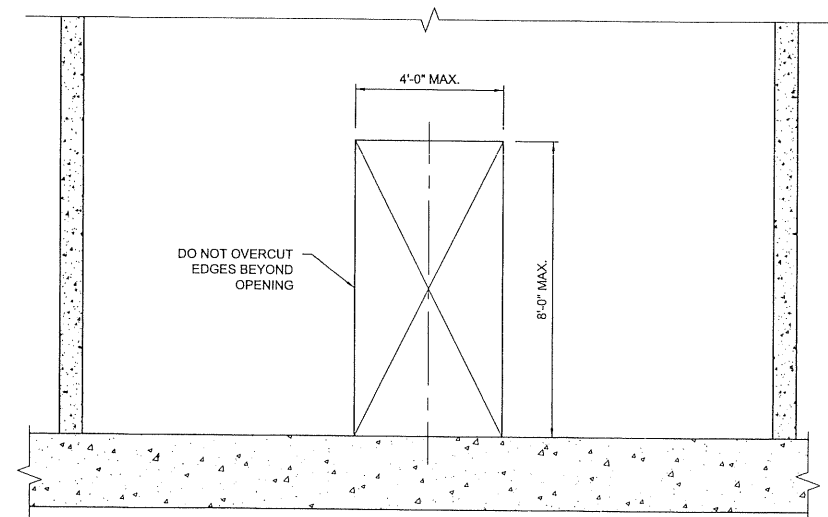
DRAWN BY: BCH
CHECKED BY: *[Signature]*
PROJECT NO: 130351
ISSUE DATE: 05.17.2013

REV.	DATE	DESCRIPTION

Architectural section drawing of a silo wall. The drawing shows a cross-section of a structure with a triangular roof. The roof is labeled "ANGLE - SEE SCHEDULE". The base of the roof is labeled "B' - SEE SCHEDULE". The wall on the right is labeled "SILO WALL". The bottom of the drawing is labeled "A' - SEE SCHEDULE". The drawing includes various construction lines and hatching to indicate different materials and structural elements.



NOTE:
CENTER SHORING COLUMN ON
WALL MID WAY BETWEEN CONC.
COLUMN. TYP.



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SILO MODIFICATIONS

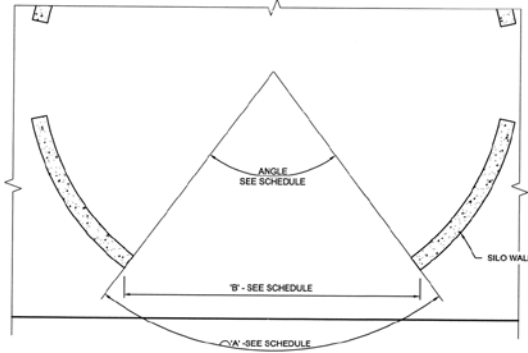
SUNSHINE MILL

901 E SECOND STREET
THE DALLES, OREGON

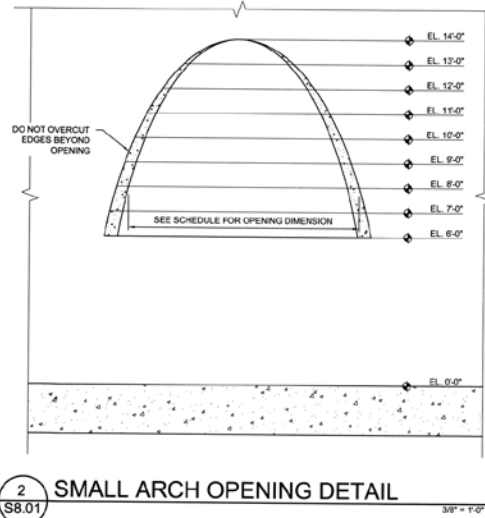
DRAWN BY:	BCH
CHECKED BY:	<i>FR</i>
PROJECT NO:	130351
ISSUE DATE:	05.17.2013

	REV.	DATE	DESCRIPTION
5 Agenda Packet			
SHEET CONTENT			
Page 20 of 56			

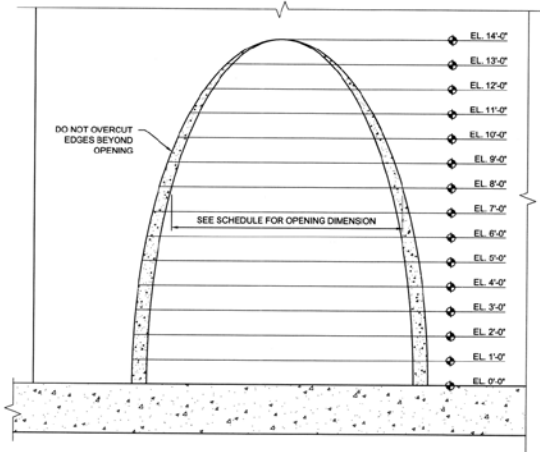
SILO OPENING SCHEDULE			
Elev. (Ft.)	Angle (Deg)	A (ArcLength)	B (Chord)
0.00	73.7398	12'-10.4"	12'-0"
1.00	73.5361	12'-10.0"	12'-11.625"
2.00	72.8471	12'-8.6"	12'-10.5"
3.00	71.7385	12'-6.2"	12'-8.625"
4.00	70.1593	12'-3.0"	12'-6"
5.00	68.1192	11'-10.8"	11'-2.5"
6.00	65.6634	11'-5.5"	11'-10.125"
7.00	62.6616	10'-11.1"	10'-4.6875"
8.00	59.0632	10'-3.6"	10'-10.1875"
9.00	54.7272	9'-6.6"	9'-2.1875"
10.00	49.6429	8'-8.9"	8'-4.75"
11.00	43.5662	7'-7.2"	7'-5.0625"
12.00	36.0118	6'-3.4"	6'-2.1875"
13.00	25.7302	4'-5.9"	4'-5.4375"
14.00	0.0000	0'-0.0"	0'-0"



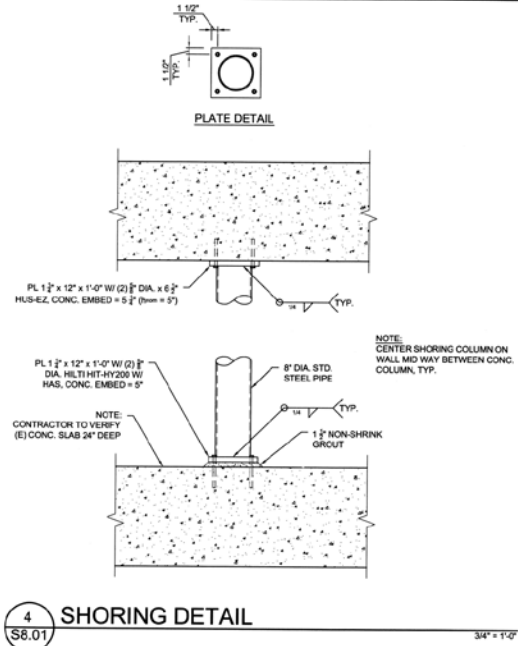
1 LARGE ARCH OPENING DETAIL
S8.01



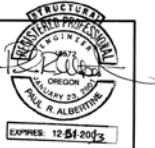
2 SMALL ARCH OPENING DETAIL
S8.01



3 OPENING DETAIL
S8.01



4 SHORING DETAIL
S8.01



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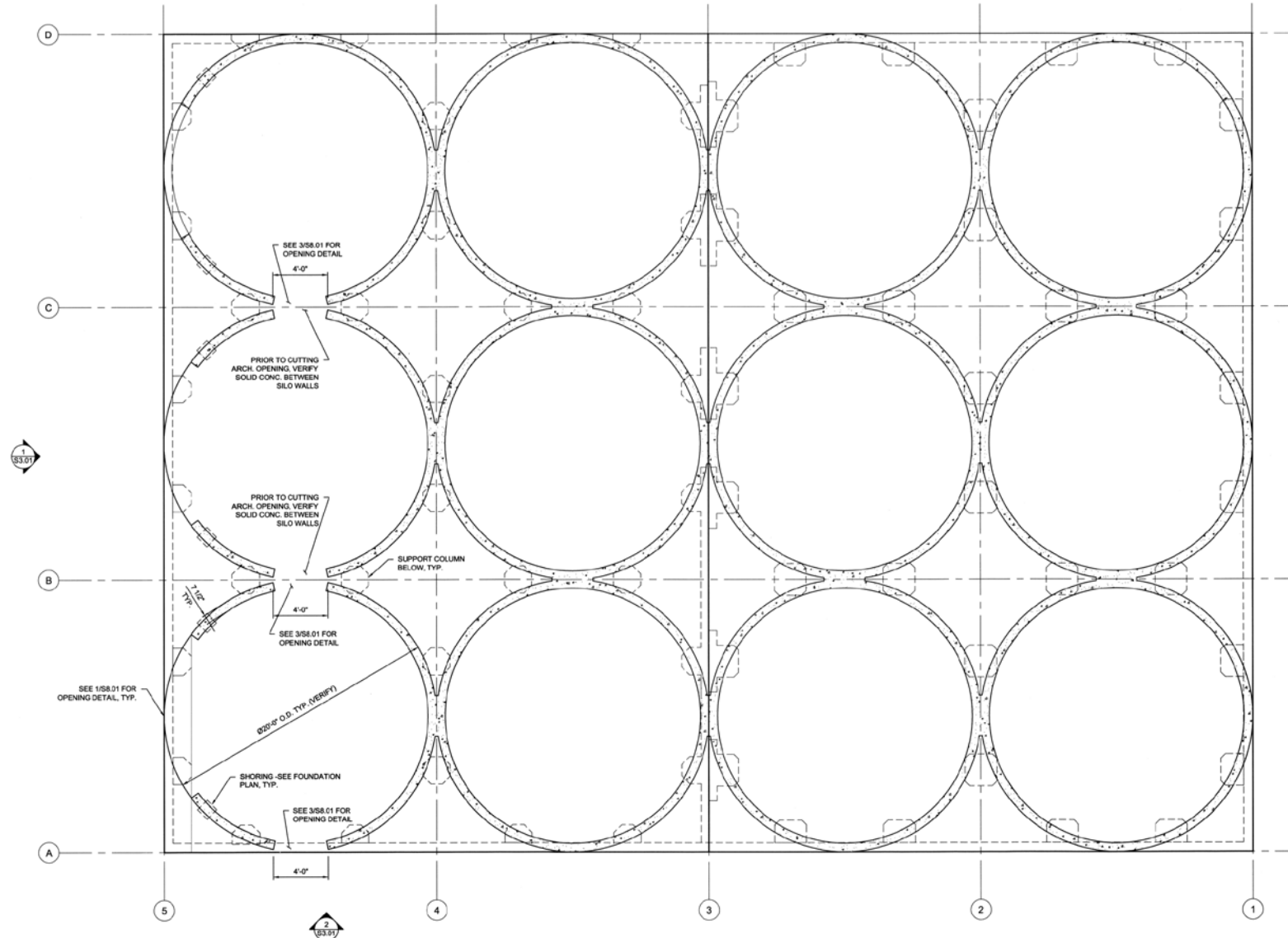
SILO MODIFICATIONS

SUNSHINE MILL
901 E SECOND STREET
THE DALLES, OREGON

DRAWN BY: BCH
CHECKED BY: JCH
PROJECT NO: 130351
ISSUE DATE: 05.17.2013

REV	DATE	DESCRIPTION

SHEET CONTENT
DETAILS



1
S1.02
SILO PLAN
1/4" = 1'-0"



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SILO MODIFICATIONS

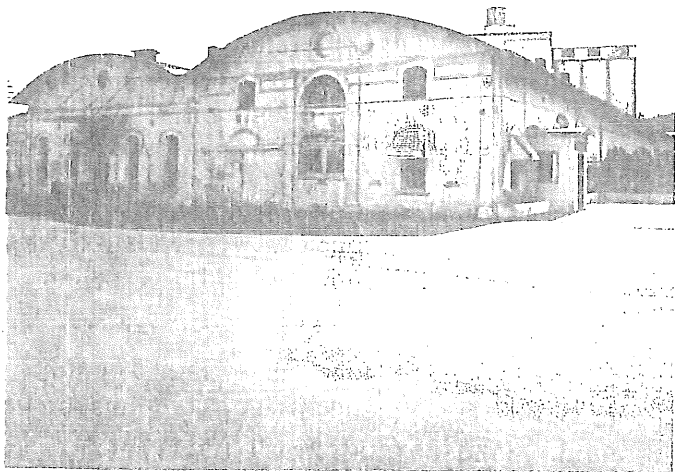
SUNSHINE MILL
901 E SECOND STREET
THE DALLES, OREGON

DRAWN BY: BCH
CHECKED BY: PJA
PROJECT NO: 130351
ISSUE DATE: 05.17.2013

REV.	DATE	DESCRIPTION

SHEET CONTENT
SILO PLAN

STATE OF OREGON INVENTORY
OF HISTORIC PROPERTIES
State Historic Preservation Office
Oregon State Parks, Salem, OR 97310



County Wasco
Theme manufacturing and processing
Name
(Common) Sunshine Biscuit Co. Building
Wasco Warehouse
(Historic) Milling Company Building
Address 901 East Second St.
The Dalles, OR 97058
Present Owner Interior Elevator Co.
Address P. O. Box 517, The Dalles, Ore.
Original Use Warehouse and offices
Date of Construction 1869

Physical description of property and statement of historical significance:

The Wasco Warehouse Milling Company Building is a large, two story brick building which extends over one block along the railroad tracks on the east end of The Dalles, Oregon. The building consists of two major sections, each possessing a dome roof surmounted with a series of louvered cupolas. Port hole windows are located in the south (side) elevation. The windows on the west (front) elevation are mostly four-over-four, double hung sash. All of the windows, including the port hole windows, have decorative brick "eyebrows".

Related grain elevator silos are located on the east side.

A biography of banker Joshua W. French, born in 1830, noted that he was a director of the Wasco Warehouse Milling Company. At the turn of the twentieth century this company was one of the largest flour mills in Oregon. On January 2, 1902 the Times-Mountaineer noted: "The Wasco Warehouse & Milling Company's plant at White River, just completed, is the most modern and complete on the coast. . . ."

Writing about 1953, William H. McNeal noted that the Wasco Warehouse was incorporated in 1883 by J.W. French, S.L. Brooks, and E.B. McFarland. Wentworth Lord served as manager. The firm handled wool, hides, pelts, hay, and grain.

continue on back if necessary

Recorded by Stephen Dow Beckham Date 7 July 1976
Updated by City Planning Department 2/85

Sources consulted (continue on back if necessary):

Illustrated History of Central Oregon. Spokane, Wash.: Western Historical Publishing Co., 1905, p. 147.

Please enclose map. Township 1 ^(N) _S 13 ^(E) _W Section 3DA
Roll 7, frame 8.



Silo Winery entry
points and contained
space safety
ventilation.

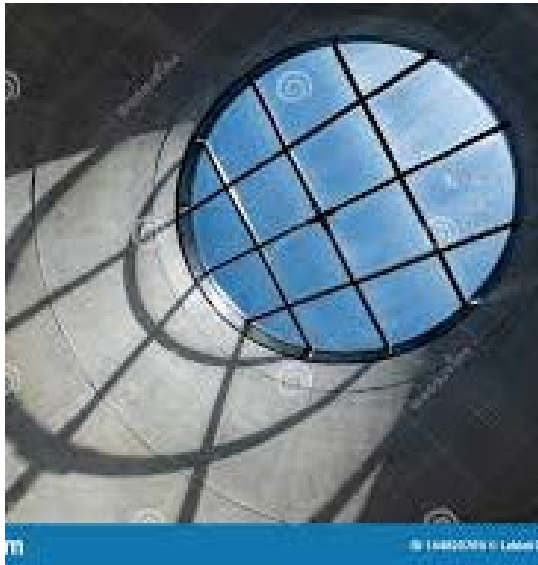
Silo Winery

Comparison to the Historic Zeitz Museum and Hotel





The Zeitz - South Africa's Number one tourist destination



Creative concrete cutting in the re-development for Silo Occupation



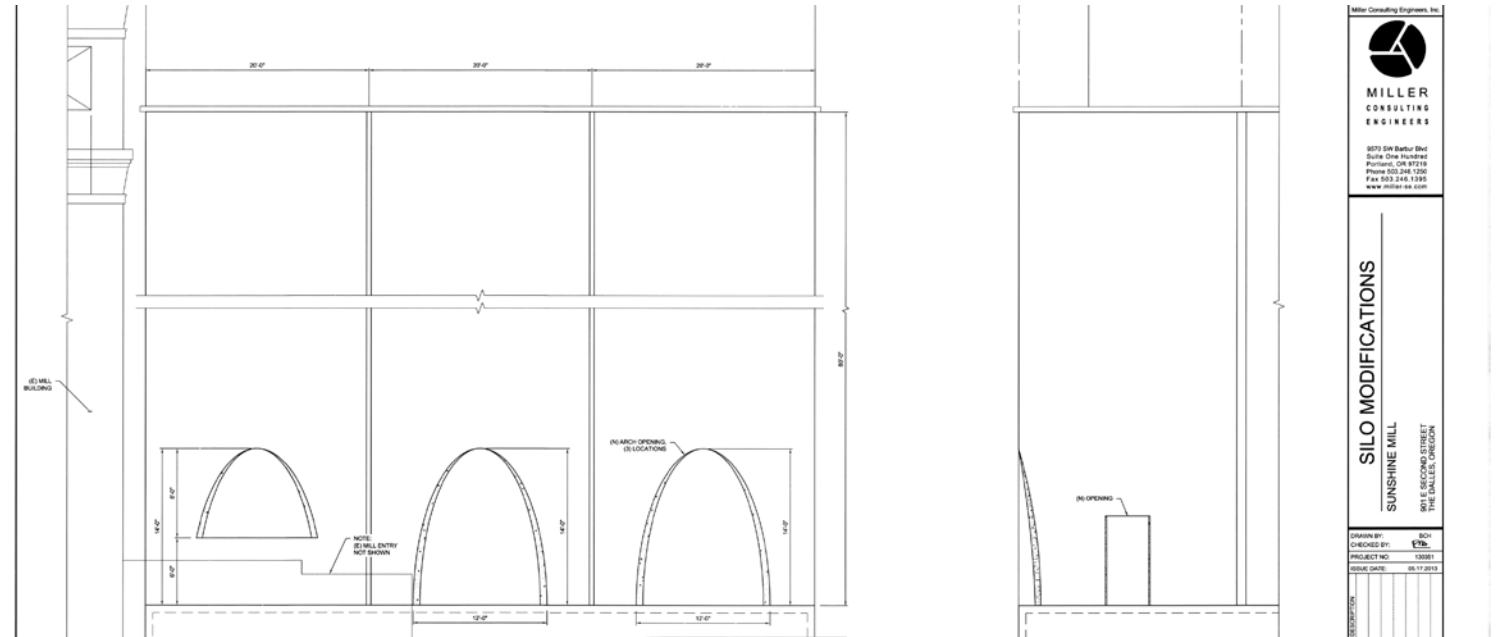
Design that functions



Reuse allows for a mixture
of the past present and to
imagine the future



The Silo Winery Hotel Next steps – Expanding Silo occupancy for premium wine production for a sustainable step towards the long-term property vision

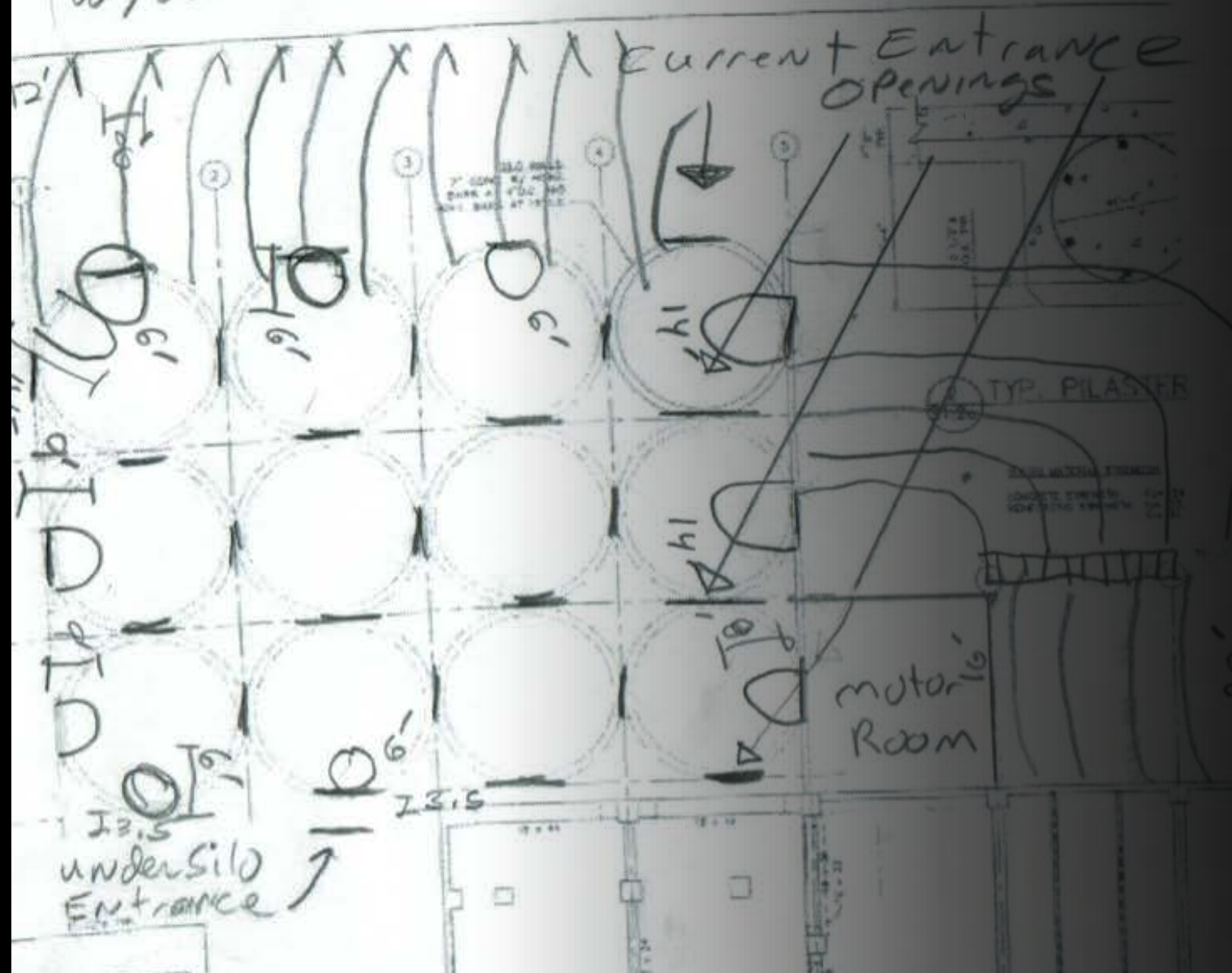


West Side Silos



South Side Silos • East Side Silos

Proposed Entrances/windows includes Line
w/out ARROWS 8'x4'



Silo Map Cuts

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**CITY of THE DALLES**

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
COMMUNITY DEVELOPMENT DEPARTMENT

STAFF REPORT HISTORIC LANDMARKS REVIEW # 182-20

TO: The Dalles Historic Landmarks Commission

FROM: Dawn Marie Hert, Senior Planner

HEARING DATE: Special Meeting, Wednesday, August 5, 2020

ISSUE: Approval to expand the existing driveway for access to rear of property and replacing the front yard fencing.

SYNOPSIS:

APPLICANT	Charles and Connie-Marie Sanders
PROPERTY OWNER	Connie M. Sanders
LOCATION	531 W. Third Place, The Dalles, OR 97058
ZONING	"CBC-3" – Central Business Commercial, Trevitt's Addition Historic District
EXISTING USE	Single Family Residential
SURROUNDING USE	Commercial and Residential
HISTORIC STATUS	Classified as a Compatible/Non-historic/Non-contributing resource in Trevitt's National Historic District.

NOTIFICATION: Published advertisement in local newspaper; notification to property owners within 100 feet, SHPO.

RECOMMENDATION: Approval, with conditions, based on the following findings of fact.

BACKGROUND: The Merrill House is a Ranch Style house built in 1950. It is a one-story building, rectangular in plan with a hip roof and a daylight basement that opens to the back yard which is adjacent to Mill Creek. The house has had minor alterations over the years.

The applicants are applying to expand their existing driveway for access to their rear property and installation of fencing in the front yard.

ANALYSIS: The Historic Landmarks Commission is responsible for conducting hearings dealing with proposed alterations to historic buildings. The Dalles Municipal Code, Title 11 Planning, Chapter 11.12 – Historic Resources provides process as well as established design

guidelines to assist the Commission in making these decisions. The purpose of the Historic Landmarks Commission, the Historic Code and the review criteria are to:

- *Protect historic and cultural resources from destruction, inappropriate alteration, and incompatible adjacent development;*
- *Stabilize and improve property values in historic districts and citywide;*
- *Enhance the city's attractiveness to visitors and residents, and stimulate business, industry and tourism;*
- *Educate The Dalles' citizens and visitors concerning the city's heritage;*
- *Preserve the historic housing stock of The Dalles;*
- *Comply with The Dalles Comprehensive Plan.*

A. THE DALLES MUNICIPAL CODE – TITLE 11.12 – HISTORIC RESOURCES – CODE RELATING TO HISTORIC RESOURCES WITHIN THE CITY OF THE DALLES.

Section 11.12.070, Subsection A. Review Criteria:

3. "Secretary's Standards. Commission decisions shall be based on the Secretary of the Interior's Guidelines for the Treatment of Historic Properties." The following are pertinent standards from the "Guide".

1. *"A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships."*

FINDING A-1: The existing building was constructed as a residence in circa 1950 and has continued to be used as a residence over the years. Criterion met.

2. *"The historic character of a property shall be retained and preserved. The removal of historic materials or alterations to features and spaces that characterize a property shall be avoided."*

FINDING A-2: The request does not include removing any historic materials from the building. Criterion met.

3. *"Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."*

FINDING A-3: There are no plans for additions that would create a false sense of historical development. Criterion met.

4. *"Changes to a property that have acquired historic significance in their own right shall be retained and preserved."*

FINDING A-4: No known changes are planned to be removed. Criterion does not apply.

5. *"Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."*

FINDING A-5: There are no plans for removal of any historic features. Criterion met.

6. *“Deteriorating historical features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.”*

FINDING A-6: The applicants do not plan to alter any historic features to the site or building. The existing fence is not listed in the historic inventory and does not appear to be original to the site. The proposed metal and wood fence will be similar in height to the current fence and be complementary to the design of the non-contributing resource. No historic photos were available. Criterion met.

7. *“Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.”*

FINDING A-7: The applicant did not include plans to surface clean the building. However, if desired, any exterior cleaning will be required to be gentle without sandblasting or chemicals involved. Criterion will be addressed as a condition of approval.

8. *“Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.”*

FINDING A-8: Only minor ground disturbance is planned for the installation of the driveway and fencing. Criterion will be addressed as a condition of approval.

9. *“New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”*

FINDING A-9: The applicant is proposing a new fence that will not be attached to the historic structure. Photos were provided to give the commission an idea of the design and style. The size of the proposed fence structure will be compatible in size and scale and will be differentiated from the circa 1950's house. Criterion met.

10. *“New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”*

FINDING A-10: The new fencing structure will not be connected to the house. Therefore this criterion does not apply.

B. THE DALLES MUNICIPAL CODE – TITLE 11.12.095 – HISTORIC RESOURCES – CODE RELATING TO DESIGN GUIDELINES FOR HISTORIC RESOURCES.

LANDSCAPING

“Yards in the Trevitt's Addition vary as a result of the topography and in general the houses are setback from the sidewalk in contrast with the commercial district. They have three zones; sidewalk, front yard and house. New construction and rehabilitation should maintain the alignment of houses in the district and the historic character of the yards.

GUIDELINES:

- a. *New construction should be set back from the street property line a minimum of 15 feet.*
- b. *Street facing portions of the property should be preserved so that the public's visual access is not obstructed.*
- c. *Shrubs, trees, and foundation plantings should not dominate the appearance of the house; rather, they should be complimentary and highlight important features of the building.*
- d. *Preserve and maintain all mature landscaping, remove only if diseased or presenting a life safety hazard.*
- e. *New construction should keep landscaping low near the building using flowers and low shrubs with larger plants and trees further away from the building.*
- f. *In choosing landscaping elements the following should be considered:*
 - style of house*
 - climate appropriate plantings*
- g. *Use of fences is recommended provided they are in keeping with the style of the house and the scale of the neighborhood.*
- h. *The use of historic photographs for reference is recommended.”*

FINDING-B (a): The proposed fence will be on the property line. This criterion is intended for structures; a fence is not considered a structure. Therefore the criterion is met.

FINDING-B (b): As shown on the submitted site plan, the new fence and driveway will not obscure the public visual access of the house. The applicant will need to ensure that the driveway isn't used to park vehicles that could occasionally obstruct the public's visual access to the historic structure. Criterion will be addressed as a condition of approval.

FINDING-B (c): There are no plans to modify the landscaping at this time. Criterion does not apply.

FINDING-B (d) (e) (f): The existing landscaping will remain, only minor modifications will be made with the installation of the driveway expansion and fencing. Criterion met.

FINDING-B (g): The applicant is proposing to install a wood and metal fence along the front property line and will be four feet in height. The fence will complement the 1950's era home. Criterion met.

FINDING-B (h): The applicant did not provide any historic photographs of the property. However, the modifications are not altering the essential form of the existing landscaping. The new fence design is compatible with the era of the 1950's home and the driveway will modify only a small portion of the existing front landscape.

CONCLUSIONS: The proposed improvements to the site will be within the historic design guidelines. The addition of the driveway will be minor and allow for needed access to the rear of the property; the new fencing will complement the residence and enhance the street façade. These changes to the site will encourage the continued use of this historic landmark. In all

respects this application meets the standards of the Secretary of the Interior and The Dalles Municipal Code, Title 11.12 Historic Resources with the following conditions:

Recommended Conditions of Approval:

1. Work will be completed in substantial conformance to the pictures and proposals as submitted and reviewed.
2. If any archeological resources or materials are discovered during excavation, the applicants shall stop excavation and have the site professionally evaluated prior to continuing work.
3. The materials used for new fence shall be wood and metal, and consistent with the submitted photos and drawings.
4. Any surface cleaning of the house will be required to be gentle without sandblasting or chemicals involved.
5. The applicant shall ensure the driveway is not used to park vehicles that would obstruct the public's visual access to the historic structure.

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CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058



(541) 296-5481 ext. 1125
FAX: (541) 298-5490
Community Development Dept.

HLC # 182-20
Fee: \$25.00

HISTORIC LANDMARKS APPLICATION

Application is required for modifications and/or alterations to the exterior of certified historic structures and all structures within certified historic districts. Additionally, new construction within established historic districts are also required to appear before the City of The Dalles Historic Landmarks Commission.

Applicant Name CHARLES AND CONNIE-MARIE SANDERS

Mailing Address 531 WEST 3RD PLACE THE DALLES, OREGON 97058

Phone 541-296-5095

Business Name N/A

Site Address 531 WEST 3RD PLACE THE DALLES, OREGON 97 58

Phone 541-296-5095

Map and Tax Lot 4921 1 N 13 E 4 AA 900

Zoning TREVITT HISTORICAL DISTRICT

Please describe your project goals.

① PUT IN DRIVEWAY IN ORDER TO ACCESS BACK YARD +

② Replace Front Yard Fence

How will your project affect the appearance of the building and or site?

① VERY LITTLE AS DRIVEWAY WILL BE FLAT AND BEHIND FENCE. PLEASE SEE ATTACHED INFORMATION.

② CURRENT FENCE IS IN DISREPAIR AND NEEDS TO BE REPLACED FOR BOTH SAFETY AND AESTHETIC REASONS

What efforts are being made to maintain the historic character of this structure?

① DRIVE WAY WILL ASSURE THAT BACKYARD TO MILL CREEK CAN BE CLEAN, CLEAR AND LESS OF FIRE HAZZARD

② NEW FENCING WILL BE MORE REFLECTIVE OF THE ERA OF THE STRUCTURE

What is the current use of this property?

RESIDENTIAL


Will the use change as a result of approval of this application? ☐ Yes ☒ No


List any known archeological resources on site.

NONE KNOWN

The review criteria for each application are the Secretary of the Interior's Standards. These standards have been adopted by City Ordinance 94-1194 as local review criteria.

I certify that the above information is correct and submit this application with nine (9) copies of a site plan drawn to scale, nine (9) copies of detailed, elevation drawings with proposed changes, and nine (9) current color photographs (4X6 inch minimum) of the building/structure front.


Applicant


Date


Owner (if not the applicant)

I have reviewed the above application and certify that it is complete and accepted for processing.


Secretary, Historical Landmarks Commission

=====

For Office Use Only

Historical Classification Minor Compatible/Non-Historic/Non Contributing
(Primary, Secondary, Historical, Etc.)

Historic Building/Site ☐ Historic District: Trevitt ☒ Commercial ☐ Other ☐

Historic Name (if any) None - Common Name: Merrill House

Year(s) Built '45-'46 (Inventory shows 1950)

ADENDUM - Project #1
SANDERS APPLICATION FOR INSTATION OF DRIVEWAY TO BACK YARD
531 WEST 3RD PLACE THE DALLES, OR

ALL THE HOUSES ON THE NORTH SIDE OF WEST 3RD PLACE HAVE VEHICLE ACCESS ALONG DOWN TO THE CREEK EXCEPT OUR HOUSE. CURRENTLY, THE VEHICLE ACCESS ENDS ON THE EAST SIDE OF OUR NEIGHBOR'S PROPERTY.

CONSEQUENTLY, THE WEED AND DEAD DEBRIS PILE UP. AS WELL AS THE LONG-ABANDONED YARD WORK THAT HAS BEEN NEGLECTED FOR SOMETIME.

THERE IS REALLY NO PRACTICAL WAY TO REMOVE ANY OF THE DEBRIS. WE DO HAVE A BURN PILE, BUT AS YOU KNOW THAT CAN NOT BE BURNED UNTIL FALL. SO, ALL SUMMER LONG WE HAVE THIS LARGE FIRE HAZZARD IN OUR BACK YARD, NOT TO MENTION HAVING TO LOOK AT IT.

MANY YEARS AGO, WHEN MY FATHER PURCHASED THE PROPERTY, HE WORKED VERY HARD TO CLEAN UP THE BACKYARD AREA AND MAINTAIN THE AREA DOWN TO THE CREEK. TO THAT END, HE RECEIVED SEVERAL CITY BEAUTIFICATION AWARDS.

MY FATHER ALWAYS WANTED TO BUILD A DRIVEWAY DOWN TO THE BACK, BUT MY MOTHER WAS DEAD SET AGAINST IT—HER REASONING BEING, SHE FELT THAT IF THEY PUT IN A DRIVEWAY, GIVING THEM EASIER ACCESS TO KEEP UP THE CREEK AREA, THE CITY WOULD NOT LIVE UP TO THEIR OBLIGATION OF KEEPING THE CREEK CLEAN. (Some of you may remember her feelings about this from previous city council meetings.) MY FATHER GAVE UP HIS PLAN FOR A DRIVEWAY. HE DRAGGED UP MANY BUNDLES OF NON-BURNABLE DEBRIS AND PILED AND BURNED THE REST. HOWEVER, AT THE TIME HE WAS DOING THAT, HE WAS MUCH YOUNGER THAN WE ARE NOW.

THEN THE BIG FLOOD CAME---AND REALLY WASHED AWAY MUCH OF MY FATHER'S LANDSCAPPING. AFTER ALL THE DAMAGE HE BECAME VERY DISHEARTENED AND NEVER REALLY DID MUCH AFTER THAT.

THAT BRINGS US TO TODAY. THERE IS MUCH WORK THAT NEEDS TO BE DONE. IVY HAS TAKEN OVER THE HILL SIDE AND DAMAGED MANY OF THE TREES. MUCH CLEARING AND PRUNING NEEDS TO BE DONE. WE ARE WILLING TO DO THE WORK, BUT WE WOULD VERY MUCH LIKE TO HAVE ACCESS TO GET OUR PICK-UP AND LAWN MOWER AND OTHER TOOLS EASILY DOWN THE HILL AND THE GARBAGE BACK UP.

THE DRIVEWAY WILL GO ACROSS THE FRONT YARD AND DOWN THE HILL ALONG THE SIDE AND TO THE BACK OF THE HOUSE RETAINING WALL. IT WILL NOT BE USED FOR VEHICLE PARKING, BUT AS A ROADWAY DOWN THE HILL. THE DRIVEWAY WILL NOT BE WITHIN A 100' OF THE CREEK. BUT IF NEEDED, THE DRIVEWAY WILL ALSO PROVIDE ACCESS TO FIRE OR CITY EQUIPMENT IF THERE WERE A NEED TO GET TO THE CREEK.

Project #1
Driveway

Proposed
Driveway
10' wide
2' from
Fence

Fence

House

Garage

Cement
DRIVE

SIDE WALK

WEST 3RD PLACE



Plot Plan

City of The Dalles
Community Development
Department

4921

Map, Tax Lot: 1N 13E 4 AA 900

Applicant: SANDERS

Owner(s): SANDERS

Address: 531 WEST 3RD PLACE
THE DALLES, OR

Phone #: 541-246-5095

Date: JULY 6, 2020

Scale: (select one)

One Inch = 10 Feet ☐

One Inch = 20 Feet ☒

One Inch = 50 Feet ☐

3 SQUARES = 1 unit

Planning Department Only:

File #: _____

Approval Date: _____

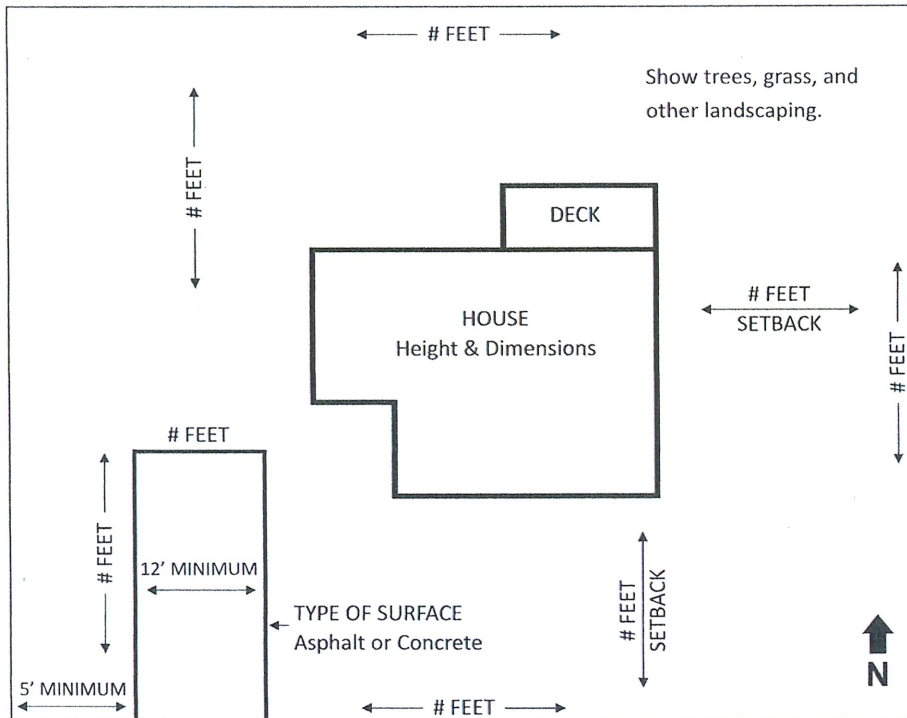
Signature: _____

Project #1 - Driveway

10.6.010.020 Definition

- A. For the purposes of this Section and this Ordinance, unless otherwise specified, 'landscaping' shall mean a minimum of 40% of the required landscape area be planted with live plant material. Trees on the recommended tree list, which are 2.5 inch caliper 5 feet above the ground at time of planting shall each be considered to cover 250 square feet. Trees smaller than 2.5 inch caliper shall be considered to cover the area under the tree's drip line. Dry landscaping may cover up to 60% of the required landscape area. Dry landscaping shall not include crushed rock, pea gravel, or similar material as determined by the approving authority. Parking areas may require additional landscaping. See Article 10.7.030.040.
- B. Single family dwellings, including manufactured homes, shall landscape the undeveloped portions of the front yard, as defined in this Ordinance, within the first 6 months after occupancy. For purposes of this subsection, landscaping may be live plant material, dry landscaping, or a combination of live plant material and dry landscaping.

SAMPLE PLOT PLAN



PLOT PLAN CHECKLIST

All Plot Plans must show:

- ☒ Legal Description (Map and Tax Lot Number)
- ☒ Applicant and/or Owner name and address
- ☒ Scale of site plan (select one)
- ☒ Property dimension in feet
- ☒ Setback distances to all:
 - ☐ Side, front and rear property lines
 - ☐ Roadways or easements
 - ☐ Waterways, irrigation ditches

ON SITE DEVELOPMENT

- ☐ Existing structures with location, size and height
- ☐ Proposed structures with location, size and height
Include all porches, decks, and landings for entrances/exits
- ☐ Utilities (proposed and existing)
- ☐ Driveway length, width and surface type: asphalt, concrete, or pavers
Minimum width 12' — Maximum width 24' Residential. Shall not be closer than 5 feet to any property line.

OTHER PLAN VIEWS

- ☐ Landscaping Plan (See Article 10.6.010.020 B. and show on plot plan)
- ☐ Elevation Drawing (for all buildings over 400 sq. ft.)

PLEASE NOTE;
CURRENTLY, OUR CONTRACTOR IS ILL AND NOT AVAILABLE. THUS, THE DIAGRAMS ARE NOT AS PROFESSIONAL AS THEY SHOULD BE.

Project #1





Project #1 Photos - Driveway



ADDENDUM - Project #2
SANDERS APPLICATION FOR FENCE REPLACEMENT
531 WEST 3RD PLACE THE DALLES, OR

REPLACEMENT OF FENCE WILL PROVIDE MULTIPLE SERVICES.

CONSTRUCTION WILL CONSIST OF MULTIPLE PANELS. 4' X 10' LASER CUT METAL PANELS CONNECTED TO WOODEN POSTS.. POSTS WILL BE 4" BY 4" PRESURE TREATED WOOD. COLOR WILL BE HAMMERED COPPER METAL AND BROWN CEDAR STAIN ON POSTS. POSTS WILL BE TOPPED WITH COPPER SOLAR LIGHT CAPS. FENCE WILL HAVE MULTIPLE FLOWER POTS ALONG IT' LENGTH, WITH SEASONAL FLOWERS.

WE HAVE PUT UP A SAMPLE PANEL IN ORDER TO TAKE PICTURES FOR THIS APPLICATION. WE HAVE HAD MANY PEOPLE STOP BY TO SAY HOW MUCH THEY LIKE IT. NO ONE HAS STOPPED TO SAY THEY DID NOT LIKE IT.

THE CURRENT FENCE WAS CONSTRUCTED 20 PLUS YEARS AGO AND DID NOT REALLY RELECT THE MID-CENTURY DESIGN OF THE HOUSE, BUT MORE THE SINGLE-STORY RANCH STYLE IT ALSO IS. THE NEW FENCE WILL RELECT THE MID-CENTURY ERA.

WE FEEL IT ALSO WILL SHOW A WONDERFUL CONTRAST TO THE VICTORIAN HOUSE ACROSS THE STREET. IT WILL HAVE A FEELING OF SCULPTURE AND OUTDOOR ART. IT WILL ALSO BE A WONDERFUL USE OF RECYCLED MATERIALS. THE METAL PANELS ARE ACTUALLY THE SKELETONS OF LASER CUT METALS.

WE ARE NOT FANATICAL ABOUT RECYCLE, BUT WE TRY TO USE REPURPOSED MATERIALS AS MUCH AS WE CAN.

WE REALIZE THAT THIS FENCE PROJECT WILL STAND OUT AS BEING DIFFERENT FROM THE NORM. BUT WE FEEL THAT IT WILL BEAUTIFUL, EVERCHANGING WITH THE SEASONS AND FOR THE MOST PART WELL RECEIVED BY THE COMMUNITY AND VISITORS.

Project #2
Fence



Project #2
Fence

Proposed
Driveway
10' wide
21' from
Fence

House
↓

Garage
↓

Cement
↓
DRIVE

SIDE WALK

WEST 3RD PLACE



Plot Plan

City of The Dalles
Community Development
Department

Map, Tax Lot: 4921
1N 13E 4 AN 900

Applicant: SANDERS

Owner(s): SANDERS

Address: 531 WEST 3RD PLACE
THE DALLES, OR

Phone #: 541-246-5095

Date: JULY 6, 2020

Scale: (select one)

One Inch = 10 Feet ☐

One Inch = 20 Feet ☒

One Inch = 50 Feet ☐

3 SQUARES = 1 unit

Planning Department Only:

File #: _____

Approval Date: _____

Signature: _____



Project #2 Photos - Fence



United States Department of the Interior
National Park ServiceNational Register of Historic Places
Continuation Sheet

Section number 7 Page 94

steel suspension bridge had been built across Mill Creek. The county market road became part of the state-owned Columbia River Highway, built in 1913-21 between Troutdale and The Dalles, and the existing Mill Creek Bridge was constructed as part of the scenic highway project in 1920. In 1935, the Columbia River Highway (U.S. Route 30) was realigned from its route along West Sixth Street and West Third Place to West Second Street. The old route and bridge went into city ownership at that time.

Auxiliary Building: None

#56	Address: Vacant Lot south of 531 W. 3rd St. Historic Name: NA Common Name: NA Year Built: NA Architect: NA Style: NA Use: Vacant Alterations: NA Vacant	Owner: Dalles City City Offices The Dalles, OR 97058 Map No: 1N 13 4AA Reference No: 14022 Plat: Trevitt's Addition Block: 50 Lot: C, D, E, and F Tax Lot: 1900
-----	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

#57	Address: 531 West Third Place Historic Name: NA Common Name: Merrill House Year Built: 1950 45-46 Architect: Unknown Style: Ranch Use: Residential Alterations: Minor Compatible/Non-Historic/ Non-Contributing	Owner: L Clifford 531 West Third Place The Dalles, OR 97058 Map No: 1N 13 4AA Reference No: 4921 Plat: Trevitt's Addition Block: NA Lot: NA Tax Lot: 1700
-----	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

*Builder: Mid State Construction built for
Donal, Merrill
- day's later
perry's
** See Page
85
Section
1*

Description: The one-story building is rectangular in plan and has a hip roof covered with composition asphalt shingles. The house is faced with a light colored cut-ashlar stone. A wide overhang shelters the front entrance. The windows are a combination of fixed-pane and two over two double-hung wood sash windows. The house has a wooden deck on the rear elevation. The house has small perimeter plantings, larger shrubs on the western property line. A concrete parking pad is on the east side of the driveway. The house is in good condition.

Auxiliary Building: None



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
COMMUNITY DEVELOPMENT DEPARTMENT

HISTORIC LANDMARKS RESOLUTION NO. 170-20

Adopting The Dalles Historic Landmarks Commission Application #181-20 of Discover Development/Sunshine Mill. This application is for a Historic Landmarks Commission hearing to gain approval for work on the Silo building to include: installation of additional entry doors and windows, trimming exterior with wood planters and wood trim, painting the Head House, and installation of a roof top garden with overhead wind projections. The property is located at 901 E. Second Street, The Dalles, Oregon and is further described as 1N 13E 3 DA tax lot 100. The Wasco Warehouse Milling Company, commonly known as the Sunshine Mill, is a locally landmarked building. Property is zoned CBC – Central Business Commercial.

I. RECITALS:

- A. The Historic Landmarks Commission of the City of The Dalles has, on August 5, 2020, conducted a public hearing to consider the above request.
- B. A Staff Report was presented, stating findings of fact and conclusions of law.
- C. Staff Report 181-20 and the minutes of the August 5, 2020 hearing, upon approval, provide the basis for this resolution and are herein attached by reference.

II. RESOLUTION: Now, therefore, be it FOUND, DETERMINED, and ORDERED by the Historic Landmarks Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part “I” of this resolution.
- B. Historic Landmarks Review 181-20, Discover Development, is *approved* with the following conditions:
 - 1. Work will be completed in substantial conformance to the pictures and proposals as submitted and reviewed. The applicants are required to notify the City of any alteration of the approved plans.
 - 2. Prior to construction, the applicant shall apply to the City for approval. Once approved, the applicant shall apply for a structural permit from Wasco County Building Codes Services.
 - 3. The modification to the façade shall not alter the essential form and integrity of the historic property. Utmost care will be taken with construction of the new door and window openings, wood trim and boxes, overhead wind projection and painting.

4. In the event that excavation is necessary, any archeological resources or materials discovered during excavation require the applicant to stop excavation and have the site professionally evaluated prior to any continued excavation.
5. New construction should use appropriate materials that provide scale making a more pedestrian friendly environment and meet the historic design guidelines.
6. The proposed new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of this historic property and its environment will be unimpaired.
7. Cleaning of the historic structures requires the applicants to use the gentlest means possible. No harsh chemical or sandblasting will be allowed.
8. Painting will be required to follow the historic guidelines and be approved by City staff prior to start of work.

III. APPEALS, COMPLIANCE AND PENALTIES:

- A. Any party of record may appeal a decision of the Historic Landmarks Commission to the City Council for review. Appeals must be made in accordance to Article 11.12.090 of The Dalles Municipal Code, Chapter 11.12 Historic Resources, and must be filed with the City Clerk within ten (10) days of the date of mailing of this Order.
- B. Failure to exercise this approval within the time line set either by Order or by The Dalles Municipal Code will invalidate this permit.

ADOPTED THIS 5TH DAY, AUGUST, 2020.

Robert McNary, Chair
Historic Landmarks Commission

I, Dawn Marie Hert, Senior Planner & Historic Landmarks Secretary for the Community Development Department of the City of the Dalles, hereby certify that the foregoing Order was adopted at the meeting of the City Historic Landmarks Commission, held on August 5, 2020.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

ATTEST: _____

Dawn Marie Hert, Senior Planner & Historic Landmarks Commission Secretary
City of The Dalles Community Development Department



CITY of THE DALLES

313 COURT STREET
THE DALLES, OREGON 97058

(541) 296-5481 ext. 1125
COMMUNITY DEVELOPMENT DEPARTMENT

HISTORIC LANDMARKS RESOLUTION NO. 171-20

Adopting The Dalles Historic Landmarks Commission Application #182-20 of Charles and Connie-Marie Sanders. This application is for a Historic Landmarks Commission hearing to gain approval to expand the existing driveway for access to rear of property and replacing the front yard fencing. The property is located at 531 W. Third Place, The Dalles, Oregon and is further described as 1N 13E 4 AA tax lot 900. The Merrill House is a Ranch Style house built in 1950 and is a compatible, non-historic, non-contributing resource in Trevitt's National Historic District.

I. RECITALS:

- A. The Historic Landmarks Commission of the City of The Dalles has, on August 5, 2020, conducted a public hearing to consider the above request.
- B. A Staff Report was presented, stating findings of fact and conclusions of law.
- C. Staff Report 182-20 and the minutes of the August 5, 2020 hearing, upon approval, provide the basis for this resolution and are herein attached by reference.

II. RESOLUTION: Now, therefore, be it FOUND, DETERMINED, and ORDERED by the Historic Landmarks Commission of the City of The Dalles as follows:

- A. In all respects as set forth in Recitals, Part "I" of this resolution.
- B. Historic Landmarks Review 182-20, Charles and Connie-Marie Sanders, is ***approved*** with the following conditions:
 - 1. Work will be completed in substantial conformance to the pictures and proposals as submitted and reviewed.
 - 2. If any archeological resources or materials are discovered during excavation, the applicants shall stop excavation and have the site professionally evaluated prior to continuing work.
 - 3. The materials used for new fence shall be wood and metal, and consistent with the submitted photos and drawings.
 - 4. Any surface cleaning of the house will be required to be gentle without sandblasting or chemicals involved.
 - 5. The applicant shall ensure the driveway is not used to park vehicles that would obstruct the public's visual access to the historic structure.

III. APPEALS, COMPLIANCE AND PENALTIES:

- A. Any party of record may appeal a decision of the Historic Landmarks Commission to the City Council for review. Appeals must be made in accordance to Article 11.12.090 of The Dalles Municipal Code, Chapter 11.12 Historic Resources, and must be filed with the City Clerk within ten (10) days of the date of mailing of this Order.
- B. Failure to exercise this approval within the time line set either by Order or by The Dalles Municipal Code will invalidate this permit.

ADOPTED THIS 5TH DAY, AUGUST, 2020.

Robert McNary, Chair
Historic Landmarks Commission

I, Dawn Marie Hert, Senior Planner & Historic Landmarks Secretary for the Community Development Department of the City of the Dalles, hereby certify that the foregoing Order was adopted at the meeting of the City Historic Landmarks Commission, held on August 5, 2020.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

ATTEST: _____
Dawn Marie Hert, Senior Planner & Historic Landmarks Commission Secretary
City of The Dalles Community Development Department