

**BVO: BRIDGE VISTA OVERLAY ZONE**

14.085. PURPOSE.

The purpose of the Bridge Vista Overlay Zone is to implement the land use principles of the Astoria Riverfront Vision Plan, dated December 2009, as they pertain to the Bridge Vista Area. The Bridge Vista Overlay (BVO) Zone is intended to serve objectives including supporting water-dependent and water-related uses and new uses consistent with Astoria's working waterfront; encouraging design that is compatible with the area's historic and working waterfront character; protecting views of and access to the Columbia River; enhancing open space and landscaping, particularly adjacent to the River Trail; strengthening the pedestrian orientation and gateway characteristics of the area; and allowing for commercial and residential uses that complement the Downtown core and support other planning objectives for the area. The BVO Zone extends from approximately the West Mooring Basin to 2nd Street and between West Marine Drive / Marine Drive and the northern edge of overwater parcels on the Columbia River, as shown in the City's Zoning Map.

*(Section 14.085 added by Ord 15-03, 6-15-15)*

14.090. APPLICABILITY AND REVIEW PROCEDURES.

The provisions in Sections 14.085 to 14.125 apply all uses in all areas of the Bridge Vista Overlay Zone unless indicated otherwise in Table 14.090-1 and in the individual sections.

**Table 14.090-1: Applicability of Bridge Vista Overlay Zone Code Sections**

<b>Code Section</b>	<b>Applicability</b>
Section 14.095 Uses Prohibited for Overwater Development	<ul style="list-style-type: none"><li>• Aquatic Zones</li><li>• Shoreland Zones</li></ul>
Section 14.100 Standards for Overwater Development	Limitation Areas (Figure 14.100-1) – overwater and land north of the River Trail / 50' wide railroad line property
Section 14.105 Uses Permitted for On-Land Development	<ul style="list-style-type: none"><li>• Pedestrian-Oriented District (Figure 14.105-2)</li><li>• C-3 Zone</li></ul>
Section 14.110 Uses Prohibited for On-Land Development	<ul style="list-style-type: none"><li>• Pedestrian-Oriented District (Figure 14.105-2)</li><li>• C-3 Zone</li></ul>
Section 14.113 Standards for On-Land Development	<p>Minimum Setbacks</p> <ul style="list-style-type: none"><li>• North/south Rights-of-way between West Marine Drive / Marine Drive and Columbia River</li><li>• Adjacent to River Trail</li></ul>

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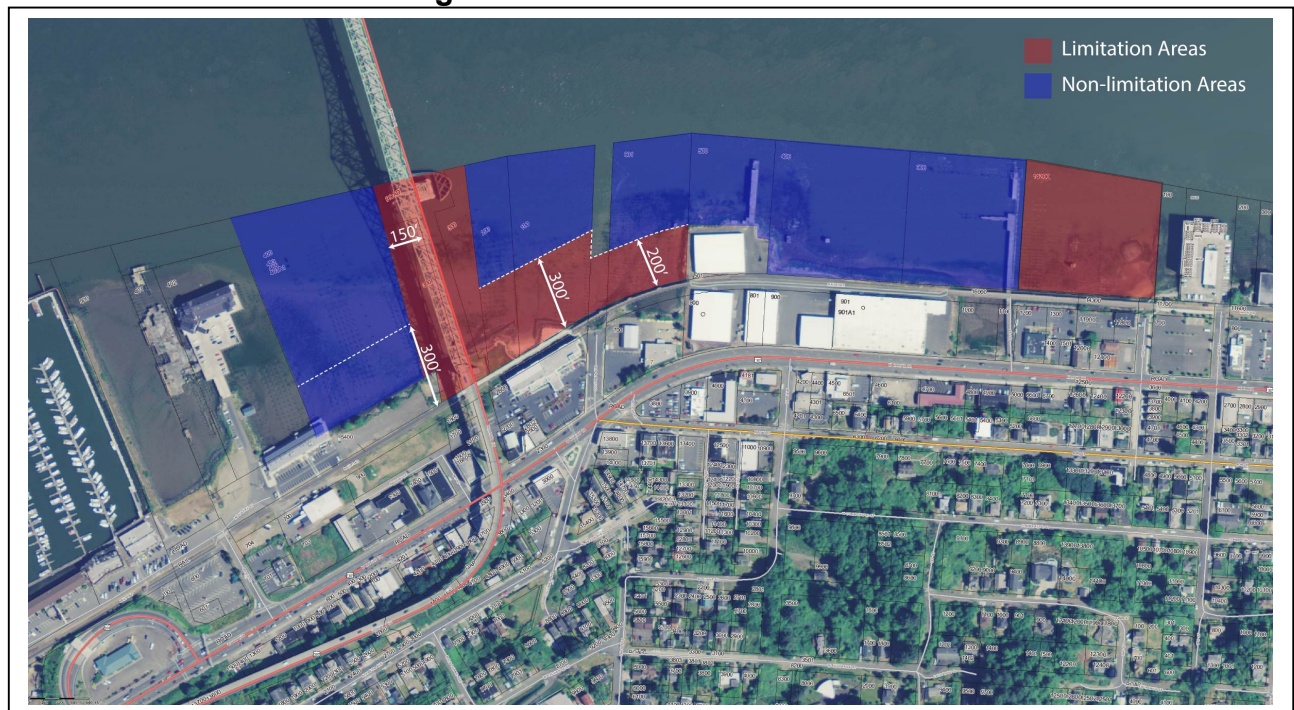
Code Section	Applicability
	<ul style="list-style-type: none"> <li>• Adjacent to West Marine Drive / Marine Drive and Other Rights-of-Way Parallel to West Marine Drive / Marine Drive (except River Trail)</li> </ul> <p>Maximum Setbacks</p> <ul style="list-style-type: none"> <li>• Adjacent to West Marine Drive / Marine Drive and Parallel Rights-of-Way</li> </ul> <p>Stepbacks</p> <ul style="list-style-type: none"> <li>• All Overlay Zone Adjacent to Rights-of-Way</li> </ul> <p>Size</p>
Section 14.115 Design Guidelines and Standards	<p>Building Style and Form</p> <ul style="list-style-type: none"> <li>• Standards for Projecting Wall-Mounted Mechanical Units Visible from Public Right-of-Way or River Trail</li> <li>• Guidelines for All Uses, All Overlay Zone Adjacent to Rights-of-Way (except West Marine Drive / Marine Drive)</li> </ul> <p>Roof Form and Materials</p> <ul style="list-style-type: none"> <li>• Form Standards for All Uses</li> <li>• Materials Standards for All Uses</li> <li>• Form Standards for Non-Industrial Uses</li> <li>• Form Standards and Guidelines for Industrial Uses</li> </ul> <p>Doors</p> <ul style="list-style-type: none"> <li>• Standards for All Uses</li> <li>• Guidelines for All Uses</li> <li>• Standards for Non-Industrial Uses</li> <li>• Guidelines for Non-Industrial Uses</li> </ul> <p>Windows</p> <ul style="list-style-type: none"> <li>• Coverage Standards for All Uses</li> <li>• Design Standards for All Uses</li> <li>• Design Guidelines for All Uses</li> <li>• Coverage Standards for Non-Industrial Uses in Pedestrian-Oriented District</li> <li>• Coverage Standards for Non-Industrial Uses Outside Pedestrian-Oriented District</li> <li>• Coverage Standards for Industrial Uses</li> </ul> <p>Siding and Wall Treatment</p> <ul style="list-style-type: none"> <li>• Standards for All Uses</li> <li>• Guidelines for All Uses</li> </ul> <p>Awnings</p> <ul style="list-style-type: none"> <li>• Standards for Types of Awnings/Treatments for All Uses</li> <li>• Guidelines for Types of Awnings/Treatments for All Uses</li> <li>• Standards Along River Trail and North/South Rights-of-Way</li> </ul> <p>Lighting</p> <ul style="list-style-type: none"> <li>• Standards for All Uses</li> </ul>

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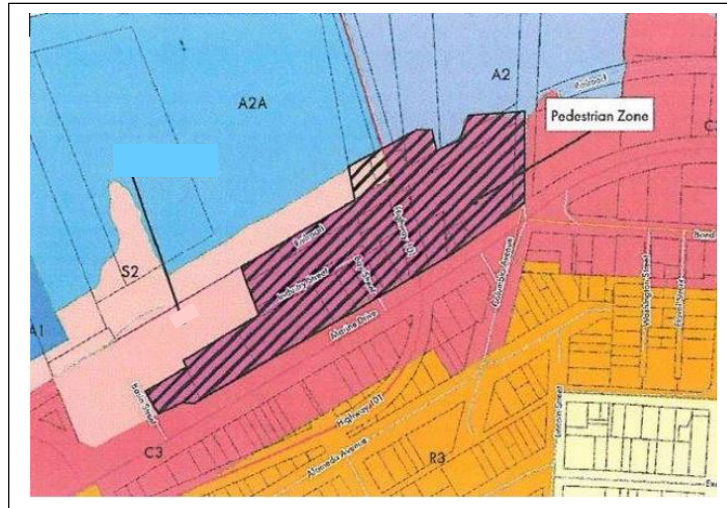
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Code Section	Applicability
	<ul style="list-style-type: none"> <li>Guidelines for All Uses</li> <li>Signs</li> <li>Standards for All Uses in Pedestrian-Oriented District</li> </ul>
Section 14.120 Landscaping	River Side/Riparian Land Side/Upland Street Trees <ul style="list-style-type: none"> <li>All Street Trees</li> <li>North-South Rights-of-Way Between West Marine Drive / Marine Drive and Columbia River</li> </ul>
Section 14.125 Off-Street Parking	In Pedestrian-Oriented District <ul style="list-style-type: none"> <li>Small Floor Area</li> <li>Buildings Covering Site</li> <li>Small Building Expansions</li> </ul>

**Figure 14.090-1: Limitation Area**



**Figure 14.090-2, Pedestrian-Oriented District**



*(Figure 14.090-2 amended by Ord 19-06, 7-1-2019)*

The provisions of the Bridge Vista Overlay Zone shall apply to all new construction or major renovation, where “major renovation” is defined as construction valued at 25% or more of the assessed value of the existing structure, unless otherwise specified by the provisions in this Section. Applications in the Bridge Vista Overlay Zone shall be reviewed in a public design review process subject to the standards and guidelines in Sections 14.095 to 14.125.

A. Historic Design Review.

When a development proposal is required to be reviewed by the Historic Landmarks Commission due to its proximity adjacent to a designated historic building, structure, site, or object, the Historic Landmarks Commission shall include review of the Bridge Vista Overlay sections relative to historic compatibility. If the proposed development is not adjacent to a historic property (as defined in Section 1.400) and not subject to review by the Historic Landmarks Commission, then the historic review of the Bridge Vista Overlay Zone shall be completed by the Design Review Commission.

*(Section 14.090.A added by Ord 19-06, 7-1-2019)*

*(Section 14.090 added by Ord 15-03, 6-15-15)*

14.095. USES PROHIBITED FOR OVERWATER AND SHORELAND AREA  
DEVELOPMENT.

*(Section 14.095 title amended by Ord 19-06, 7-1-2019)*

A. Aquatic Zones.

The following uses and activities and their accessory uses and activities are prohibited in Aquatic Zones in the Bridge Vista Overlay Zone. Permitted uses are identified in the base zones in Article 2.

1. Fossil fuel and petroleum product terminals.
2. Auto sales and gas stations.
3. Wood processing.
4. Eating and drinking establishments.
5. Retail uses.
6. Professional, medical offices.
7. Indoor entertainment.
8. Hotels/motels. Facilities existing prior to 2013 may be repaired, replaced, and/or redeveloped with new hotels/motels.
9. Conference center
10. Residential uses, including manufactured dwellings.

B. Shoreland Zones.

The following uses and activities and their accessory uses and activities are prohibited in Shoreland Zones in the Bridge Vista Overlay Zone. Permitted uses are identified in the base zones in Article 2.

1. Fossil fuel and petroleum product terminals.
2. Auto sales and gas stations.
3. Wood processing.
4. Professional, medical offices.
5. Indoor entertainment.
6. Hotels/motels. Facilities existing prior to 2013 may be repaired, replaced, and/or redeveloped with hotels/motels.
7. Conference center. Except if located south of the River Trail property.
8. Residential uses, including manufactured dwellings.

*(Section 14.095 added by Ord 15-03, 6-15-15)*

14.100. STANDARDS FOR OVERWATER DEVELOPMENT.

A. Applicability.

The following development standards apply to overwater development and to on-land development north of the River Trail in the Bridge Vista Overlay Zone in areas shown in Figure 14-090-1. These Limitation Areas are located approximately 200 Feet from Shoreline or 300 Feet from the north edge of the River Trail right-of-way as shown in Figure 14-090-1.

*(Section 14.100.A amended by Ord 19-06, 7-1-2019)*

B. Exemption.

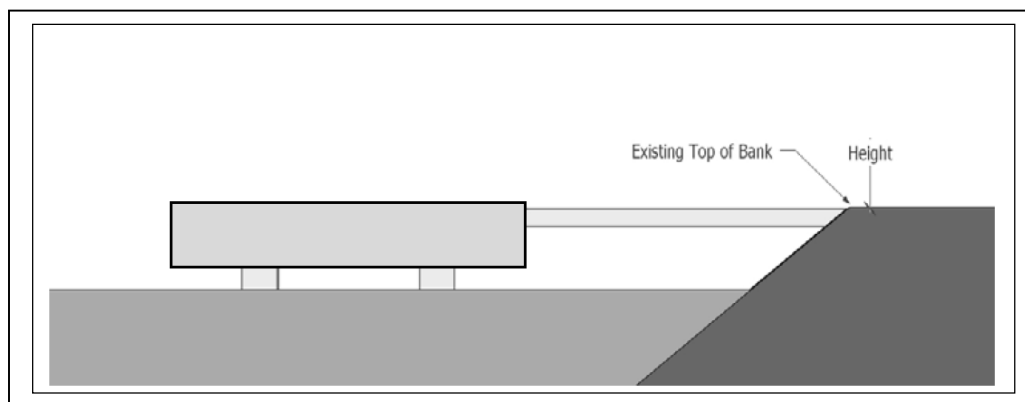
Maintenance, repair, or restoration of buildings existing prior to 2013 shall be exempt from the standards of this Section 14.100. Additions valued at 25% or more of the assessed value of the structure and/or new construction on these buildings shall be subject to these standards.

C. Distance from Shore and Height.

1. Structures within Designated Limitation Areas (Figure 14.090-1).

Maximum building height, except hand rails, shall be the top of the existing adjacent riverbank. No variance may be granted for an exception to this height limitation.

**Figure 14.100-1: Maximum Building Height within Overwater Development Limitation Areas**



2. Structures Within Overwater Development Non-Limitation Areas (Figure -14.090-1). The maximum height shall be the top of the existing adjacent riverbank. No variance may be granted for an exception to this height limitation except as follows:

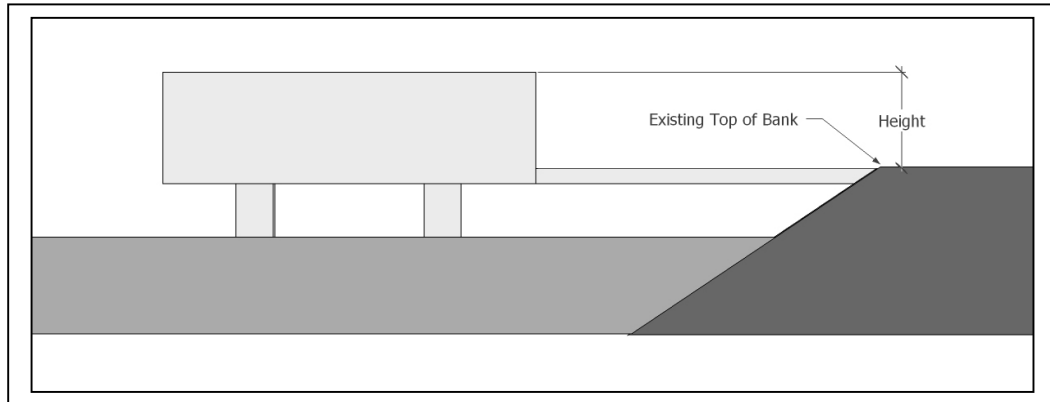
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- a. Water-dependent uses over water may construct water-dependent facilities up to 35' without a variance. The added feature is subject to all other design and/or location standards of the Code.

*(Section 14.100.C.2 amended by Ord 19-14, 10-21-2019)*

**Figure 14.100-2: Maximum Building Height Within Overwater Development Non-Limitation Areas**



*(Section 14.100.C, Figure 14.100-2 amended by Ord 19-14, 10-21-2019)*

D. Size.

1. Structures within overwater development Limitation Area (Figure 14.090-1). The maximum gross floor area of enclosed structures is 4,000 square feet.
2. Structures within the overwater development Non-Limitation Areas (Figure 14.090-1). There shall be no maximum gross floor area for buildings located in these areas.

*(Section 14.100.D.2 amended by Ord 19-14, 10-21-2019)*

E. Width and Spacing.

1. The maximum width of an individual overwater building shall be a maximum of 60% of the total parcel width (measured along the parcel frontage adjacent to the Columbia River shoreline) or 150 feet, whichever is less.
2. The maximum combined width of all overwater buildings located on a contiguous set of parcels under the same ownership shall be a maximum of 60% of the total width of the combined parcels (measured along the parcel frontage adjacent to the Columbia River shoreline) with no individual building exceeding 150 feet in width.

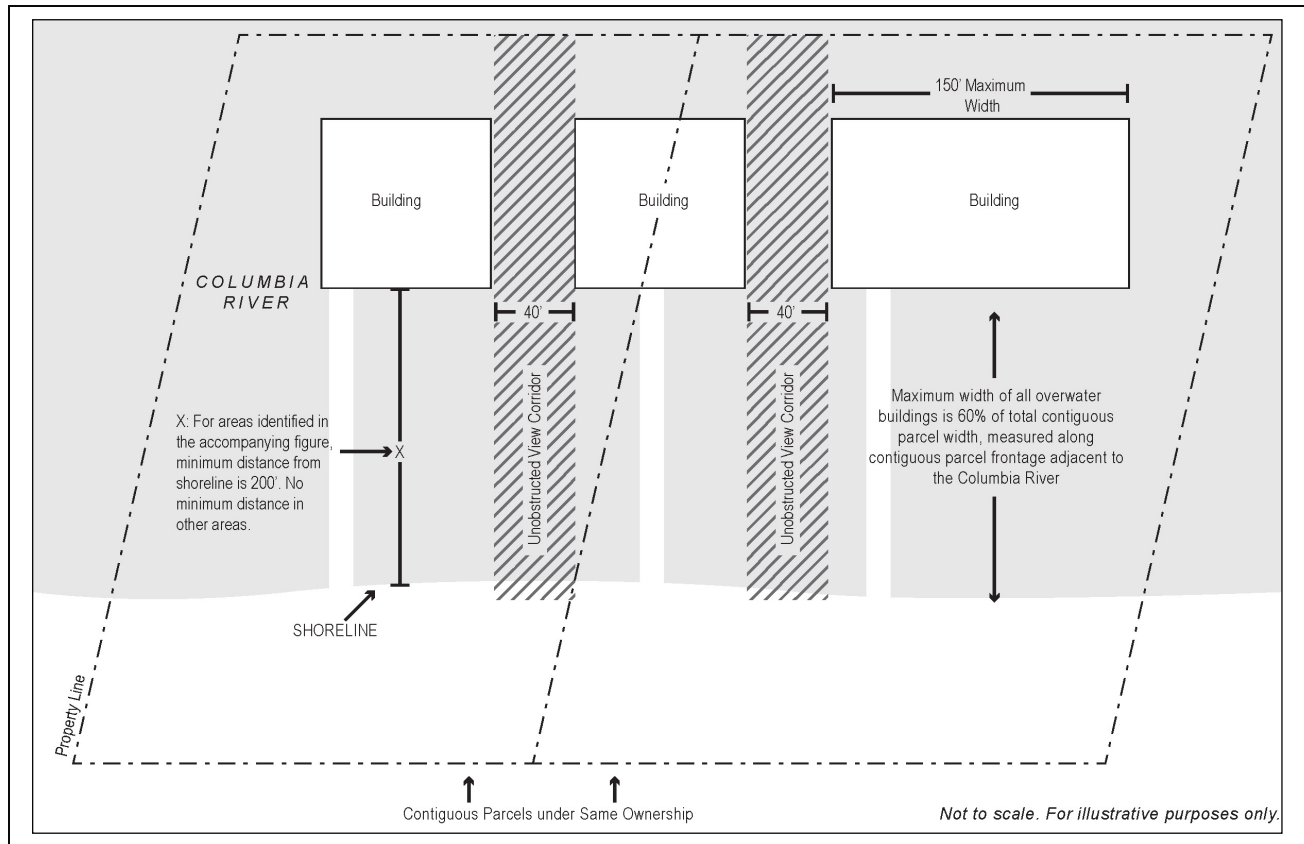
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3. There shall be a minimum 40 feet wide, unobstructed view corridor separation between individual buildings.



**Figure 14.100-3: Maximum Building Width (200'+ from Shoreline or 300'+ from North Edge of River Trail Right-of-Way)**



**F. Access to the Columbia River.**

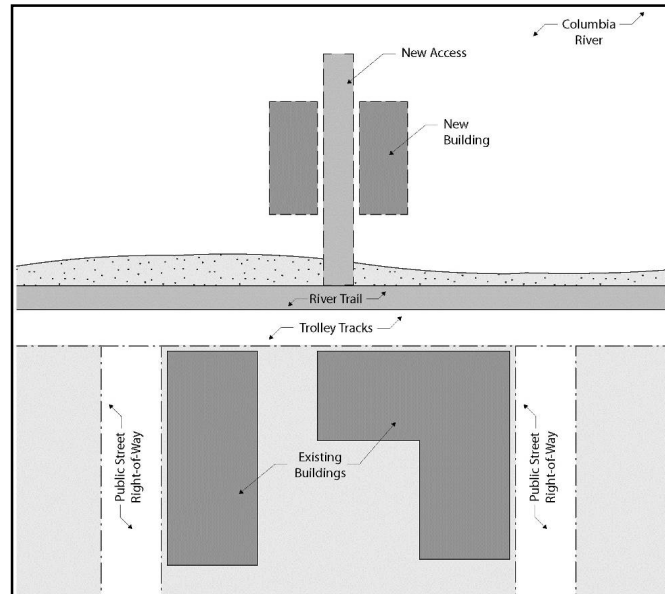
Access to the River shall be provided using piers and/or walkways as part of new construction and major renovations to structures constructed after the year 2013, where major renovation is defined as construction and alterations only to building exteriors valued at 75% or more of the assessed value of the existing structure.

Piers and walkways shall be constructed in accordance with Access Design A, Access Design B, or Access Design C, as shown and described below.

**1. Access Design A - "Mid-Site Access".**

This access design shall be provided in a public access easement provided through the middle of the development or structure.

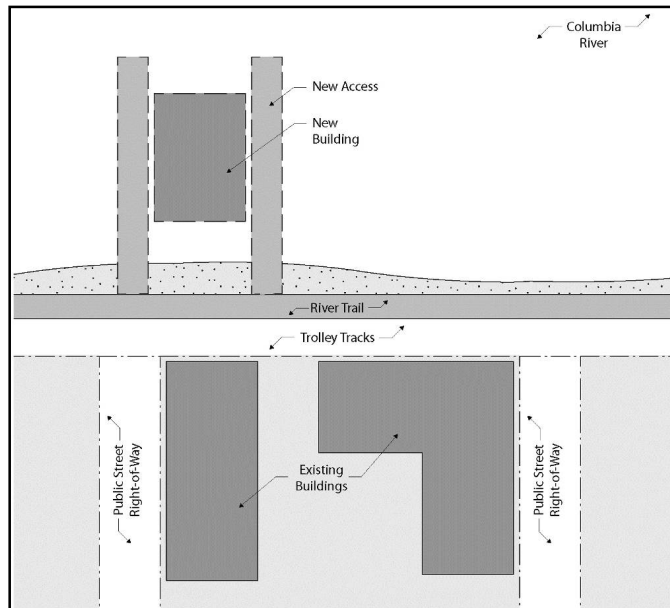
**Figure 14.100-4: Access Design A**



2. Access Design B - "Viewpoints".

This access design shall be provided through either existing right-of-way, right-of-way that is created and dedicated to the City, or a public access easement.

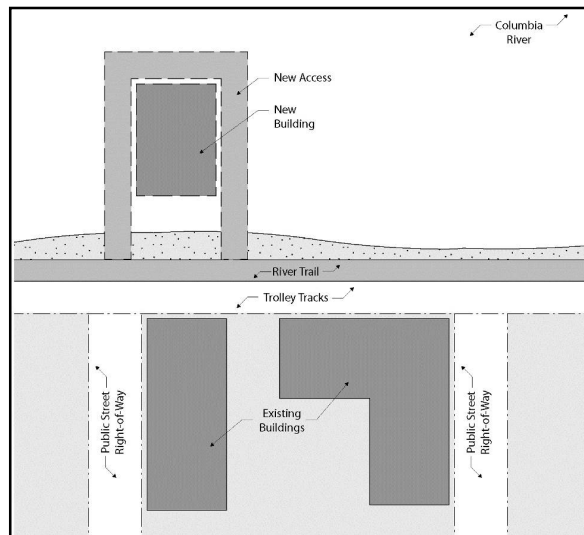
**Figure 14.100-5: Access Design B**



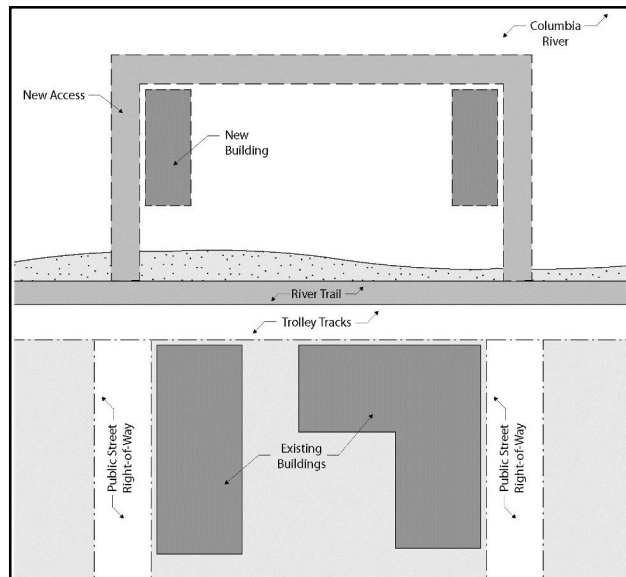
3. Access Design C – "Trail Extension".

This access design serves as an extension of the River Trail and shall be provided through either existing right-of-way, right-of-way that is created and dedicated to the City, or easements for the piers on the east and west sides of the development. The boardwalk along the north side of the development shall be provided in a public access easement. (Note: Two possible scenarios are illustrated in the following figures for this option.)

**Figure 14.100-6: Access Design C.1**



**Figure 14.100-7: Access Design C.2**



4. Pier and Walkway Width.

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Minimum pier and walkway width is 10 feet if one side of the pier or walkway is developed with overwater structures. Minimum pier and walkway width is 14 feet if both sides of the pier or walkway are developed with overwater structures.

5. Pier and Walkway Length.

Piers and walkways shall extend beyond the north face of the overwater development a minimum length of 10 feet to ensure that the river is visible beyond the adjacent structure(s).

6. Hours of Access.

Access on overwater piers and walkways may be restricted during hours specified in City Code Section 5.926 to 5.928.

7. Maintenance Responsibility.

Responsibility for maintenance of the piers and walkway shall be established through a recorded maintenance agreement acceptable to the City.

*(Section 14.100 added by Ord 15-03, 6-15-15)*

14.105. USES PERMITTED FOR ON-LAND DEVELOPMENT.

A. Pedestrian-Oriented District.

The following uses and activities and their accessory uses and activities are permitted outright in the Pedestrian-Oriented District (Figure 14.090-2) in the Bridge Vista Overlay Zone, in addition to uses permitted outright in the base zone identified in Article 2, and are subject to the other appropriate development provisions of this Section.

1. Manufacturing or light industrial with a retail component.
2. Motel, hotel, bed and breakfast, inn or other tourist lodging facility and associated uses when parking is located at the rear or interior of the site, screened by the building.
3. Existing motels and their expansion and reconstruction if destroyed.
4. Dwellings in a new or existing structure above the first floor that has commercial or mixed uses.

B. Commercial Zone.

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The following uses and activities and their accessory uses and activities are permitted outright in Commercial Zones in the Bridge Vista Overlay Zone, in addition to uses permitted outright in the base zone identified in Article 2, and subject to the other appropriate development provisions of this Section.

1. Manufacturing or light industrial with a retail component.
2. Dwellings in a new or existing structure above the first floor that has commercial or mixed uses.

*(Section 14.105 added by Ord 15-03, 6-15-15)*

14.110. USES PROHIBITED FOR ON-LAND DEVELOPMENT.

A. Pedestrian-Oriented District.

The following uses and activities and their accessory uses and activities are prohibited in the Pedestrian-Oriented District (Figure 14-090.2) in the Bridge Vista Overlay Zone. Permitted uses are identified in the base zones in Article 2 and in Section 14.105.A of this ordinance.

1. Animal hospital or kennel
2. Auto sales and services.
3. Commercial or public off-street parking lot.
4. Conference center.
5. Construction service establishment.
6. Drive-through facilities.
7. Gasoline services stations.
8. Hospital
9. Manufacturing or light industrial without a retail component.
10. Repair service establishment not allowed as an Outright Use.
11. Transportation service establishment.
12. Wholesale trade or warehouse establishment.

B. Commercial Zone.

The following uses and activities and their accessory uses and activities are prohibited in the Commercial Zone in the Bridge Vista Overlay Zone. Permitted uses are identified in the base zones in Article 2 and in Section 14.105.B of this ordinance.

1. Auto sales and services.
2. Gasoline services stations.
3. Manufacturing or light industrial without a retail component.
4. Single-family dwelling.
5. Two-family dwelling.
6. Accessory Dwelling Unit.

*(Section 14.110.B.6 added by Ordinance 21-02, 2-16-21)*

C. Shoreland Zones.

The following uses and activities and their accessory uses and activities are prohibited in Shoreland Zones in the Bridge Vista Overlay Zone. Permitted uses are identified in the base zones in Article 2.

1. Fossil fuel and petroleum product terminals.
2. Auto sales and gas stations.
3. Wood processing.
4. Professional offices, medical offices.
5. Indoor entertainment.
6. Hotels/motels. Facilities existing prior to 2013 may be repaired, replaced, and/or redeveloped with hotels/motels.
7. Conference center. Except if located south of the River Trail property.
8. Residential uses, including manufactured dwellings.

*(Section 14.110.C added by Ord 19-06, 7-1-2019)*

*(Section 14.110 added by Ord 15-03, 6-15-15)*

14.113. STANDARDS FOR ON-LAND DEVELOPMENT

The following development standards apply to on-land development in the Bridge Vista Overlay Zone south of the River Trail. The Overwater Development standards shall apply to on-land development north of the River Trail.

*(Section 14.113 amended by Ord 19-06, 7-1-2019; amended by Ord 19-14, 10-21-2019)*

A. Height.

1. Maximum building height is 28 feet except as noted in subsection A.2 of this section. No variance may be granted for an exception to this height limitation.  
*(Section 14.113.A.1 amended by Ord 19-14, 10-21-2019)*

2. Building height up to 35 feet, is permitted in accordance with all of the following:

a. Public Access.

- 1) buildings shall be located to provide a 60' wide unobstructed view corridor with physical public access area from West Marine Drive that connects to the Riverfront via a public right-of-way and/or a recorded easement across another private property; and

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- 2) the public access area and view corridor shall be provided in a public access easement provided through the development site; and
- 3) the access area shall be open to the public but may be restricted during hours specified in City Code Section 5.926 to 5.928; and
- 4) walkways shall be installed and shall be at least 14 feet in width; and
- 5) provide some public amenities such as benches, interpretive signage, or other features approved by the Community Development Director; and
- 6) responsibility for maintenance of the public access / view corridor, walkway, and/or other public amenities shall be the responsibility of the property owner. If any portion of the public access is on City-owned property and/or public right-of-way, private responsibility shall be established through a recorded maintenance agreement acceptable to the City.

b. Stepback.

Stories above 15 feet or one story shall be stepped back at least 10 feet for the facade facing a right-of-way or the River Trail in accordance with Section 14.113.C.

*(Section 14.113.A.2 amended by Ord 19-14, 10-21-2019)*

*(Section 14.113.A.3 deleted by Ord 19-14, 10-21-2019)*

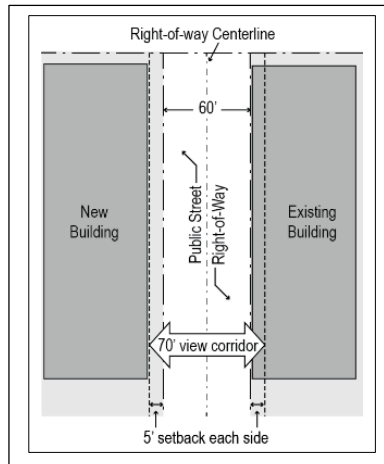
B. Setbacks.

1. Minimum Setbacks.

- a. North-South Rights-of-Way between West Marine Drive / Marine Drive and the Columbia River.

A minimum view corridor width of 70 feet, centered on the right-of-way centerline, shall be provided on north-south rights-of-way between West Marine Drive / Marine Drive and the Columbia River. Buildings shall be set back in order to achieve the 70-foot view corridor. If existing development on one side of the right-of-way does not meet the setback, the new development on the other side of the right-of-way is only required to provide its half of the view corridor width.

**Figure 14.113-1: Minimum Setbacks**



*(Section 14.113.B.1.a amended by Ord 19-06, 7-1-2019)*

- b. Adjacent to the River Trail.
  - (1) The minimum setback adjacent to the River Trail shall be 10 feet on the south side of the trail and 20 feet on the north side of the trail.
  - (2) The setback area shall be landscaped or shall include a combination of landscaping and pedestrian-oriented amenities such as walkways, seating, and plaza space.

- c. Adjacent to West Marine Drive / Marine Drive and Other Rights-of-Way Parallel to West Marine Drive (except River Trail).

The minimum setback for yards fronting West Marine Drive / Marine Drive and other public rights-of-way parallel to West Marine Drive / Marine Drive in the Bridge Vista Overlay Zone, with the exception of the River Trail, shall be zero (0) feet.

- d. Basin and Bay Street View Corridors.

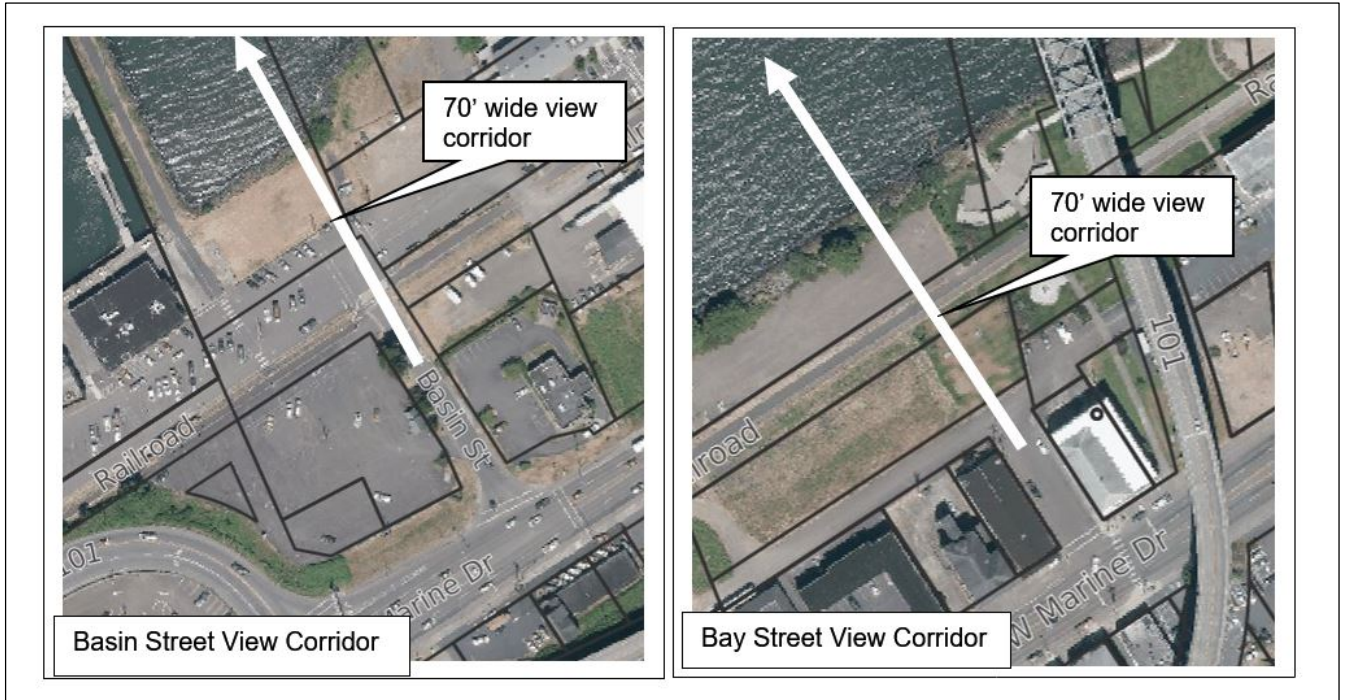
A minimum view corridor width of 70 feet, centered on the right-of-way centerlines of Basin and Bay Streets and extending through property from West Marine Drive and the north end of the rights-of-way north to the Columbia River pierhead line, shall be provided on these north-south rights-of-way and property between West Marine Drive and the Columbia River pierhead line (Figure 14.113-2). Buildings shall be set back in order to achieve the 70-foot view corridor. If existing development on one side of the right-of-way and/or property does not meet the setback, the new development on the other side of the right-



of-way and/or property is only required to provide its half of the view corridor width (Figure 14.113.1).

*(Section 14.113.B.1.d added by Ord 19-14, 10-21-2019)*

**Figure 14.113.2: Basin and Bay Street View Corridors**



*(Section 14.113.B.1.d, Figure 14.113-2 added by Ord 19-14, 10-21-2019)*

2. Maximum Setbacks.

- a. Adjacent to West Marine Drive / Marine Drive and Parallel Rights-of-Way.

The maximum setback for yards fronting West Marine Drive / Marine Drive and all parallel rights-of-way in the Bridge Vista Overlay Zone, with the exception of the River Trail, shall be five (5) feet.

- b. Allowed Extensions of Maximum Setbacks.

The maximum setback for yards fronting a public right-of-way in the Bridge Vista Overlay Zone may be extended to 20 feet for up to 50% of the building facade if the setback is used for a walkway, plaza, courtyard, or other pedestrian-oriented amenity or public gathering space.

3. Setback Between Buildings on Same Lot.

There shall be a minimum 60-foot-wide, north-south orientation, unobstructed view corridor separation between individual buildings on the same lot / building site, except within the Pedestrian-Oriented Overlay Zone. No structures or portions of structures shall encroach into the view corridor. Vehicle parking may be allowed in a view corridor area.

*(Section 14.113.B.3 added by Ord 19-14, 10-21-2019)*

4. Side Yard Setback.

A minimum 10' wide side yard setback shall be provided on one side of a development except as provided in Section 14.113.B.3.

*(Section 14.113.B.4 added by Ord 19-14, 10-21-2019)*

C. Stepbacks.

1. Purpose.

The purpose of a stepback is to allow for less obstructed views from above the building and to create a less imposing building scale as viewed from the street or parallel/adjacent trail. A stepback is also designed to allow more light down to the adjacent or fronting street, sidewalk, or trail.

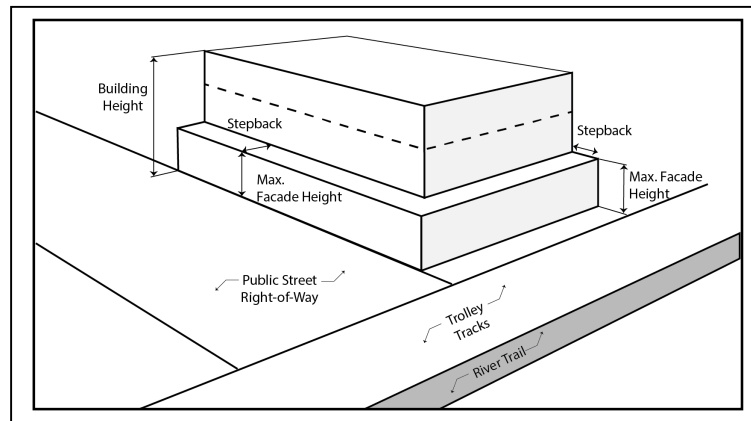
2. Additional Building Height.

Where the height of a building or building addition is proposed to exceed 15 feet, at least that portion of the building exceeding 15 feet or one story, whichever is less, shall provide a stepback of at least 10 feet from the front plane of the proposed building or building addition that faces the right-of-way and/or the River Trail.

- a. Balconies and fixed awnings shall not encroach into the required 10-foot stepback area; buildings must be stepped back further in order to accommodate balconies and/or fixed awnings.
- b. Balcony railings constructed to a maximum height of 15' are not encroachments when the building facade above the top of rail is stepbacked 10'.

*(Section 14.113.C.2 amended by Ord 19-14, 10-21-2019)*

**Figure 14.113-3: Building Stepbacks**



*(Section 14.113.C.2, Figure 14.113-3 amended by Ord 19-14, 10-21-2019)*

D. Size.

1. Gross Floor Area

The gross floor area of on-land development uses in the Bridge Vista Overlay Zone shall be a maximum of 30,000 square feet for each building (See definition of “Gross Floor Area”) except as noted below:

- a. See Astoria Warehousing Plan District Section 14.127 to 14.129.
- b. See Port of Astoria West Mooring Basing Plan District Section 14.124 to 14.126.

*(Section 14.113.D amended by Ord 19-14, 10-21-2019)*

E. Building Orientation.

Buildings shall have a north-south orientation (i.e. the width of the building parallel to West Marine Drive shall be narrower than the depth of the building) to allow for more unobstructed view corridors between buildings to the River.

*(Section 14.113.E added by Ord 19-14, 10-21-2019)*

F. Lot Coverage.

Buildings shall not cover more than 50 percent of the lot area of the “buildable lot” or combined lots of a single development.

*(Section 14.113.F added by Ord 19-14, 10-21-2019)*

*(Section 14.113 added by Ord 15-03, 6-15-15)*

14.114. RESIDENTIAL DESIGN STANDARDS.

*(Section 14.114 added by Ord 19-06, 7-1-2019)*

A. Applicability.

The following design standards apply to all new construction or major renovation of residential development, where major renovation is defined as construction valued at 25% or more of the assessed value of the existing structure.

B. Residential Design.

Residential development proposed in the Bridge Vista Overlay Zone may be reviewed in accordance with one of two review options: (1) pursuant to design review procedures and the design review guidelines applicable to all building types established in Section 14.115; or (2) pursuant to procedures for administrative review by the Community Development Director established in Article 9 and the following design review standards for residential development. Any deviation from the following design standards in Section 14.114 would require the complete application to be reviewed through the public design review process as noted in Option 1.

The following design standards apply to the administrative review of residential development and apply to all dwelling unit types (single-family, Accessory Dwelling Unit, two-family, and multi-family dwelling unit buildings), unless specified otherwise. All other standards of the Bridge Vista Overlay Zone shall be applicable.

*(Section 14.114.B amended by Ordinance 21-02, 2-16-21)*

1. Building Forms.

- a. All dwelling unit buildings shall be based on a rectangular or square form.
- b. Single-family and two-family dwelling units must have a front porch, at least six (6) feet deep and 60 square feet in area.

**Figure 14.114-1: Residential Building Form**

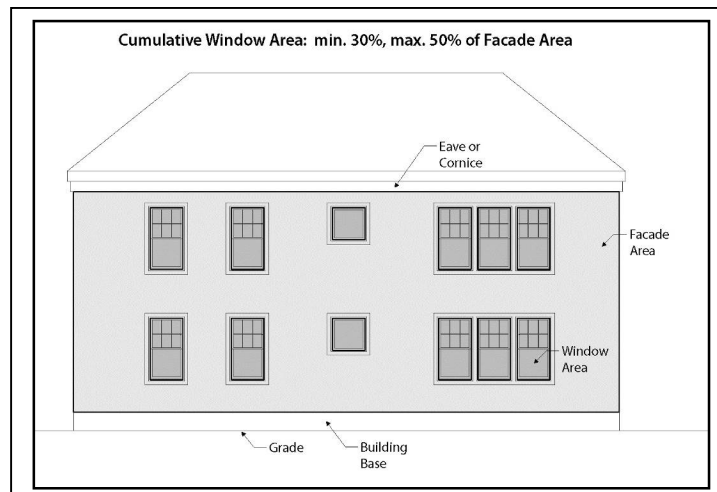


2. Window Design.

The following design standards apply to all facades for all dwelling unit types.

- a. Windows required. All facades facing a right-of-way, River Trail, or common open space shall have windows.
- b. Window area. Window area shall cover a minimum of 30% of all facade areas facing a right-of-way, River Trail, or common open space, and shall not exceed 50% of facade areas facing a right-of-way.

**Figure 14.114-2: Window Area**



- c. Window lites. Window lite design shall be one of the following:
  - 1) Single-lite windows; or
  - 2) Multiple-lite true-divided windows; or

- 3) Combination of single and multiple-lite true-divided windows; or
- 4) Applied muntins with profile facing window exterior to create exterior shadow lines.

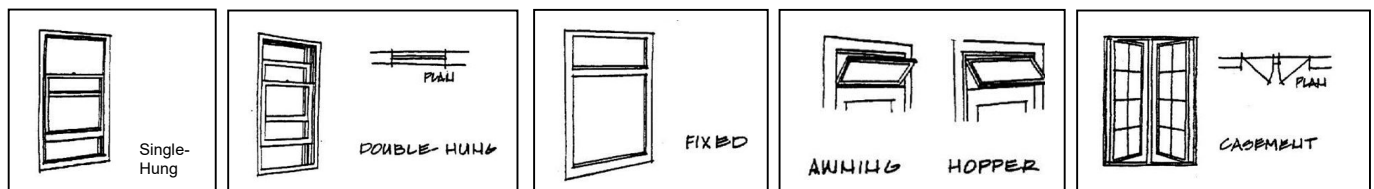
**Figure 14.114-3: Window Lites**



d. Windows shall be fixed or open in one of the following configurations:

- 1) Fixed window; or
- 2) Single-hung windows; or
- 3) Double-hung windows; or
- 4) Awning or hopper windows; or
- 5) Casement windows.

**Figure 14.114-4: Fixed and Opening Windows**

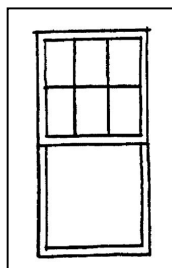


e. Window shape. Window shape shall be one of the following:

- 1) Vertical rectangle; or
- 2) Square.
- 3) Arched or decorative windows are permitted but should not exceed more than 30% of the total window coverage on all facades of the building.

**Figure 14.114-5: Window Shapes**

*Vertical rectangular window*



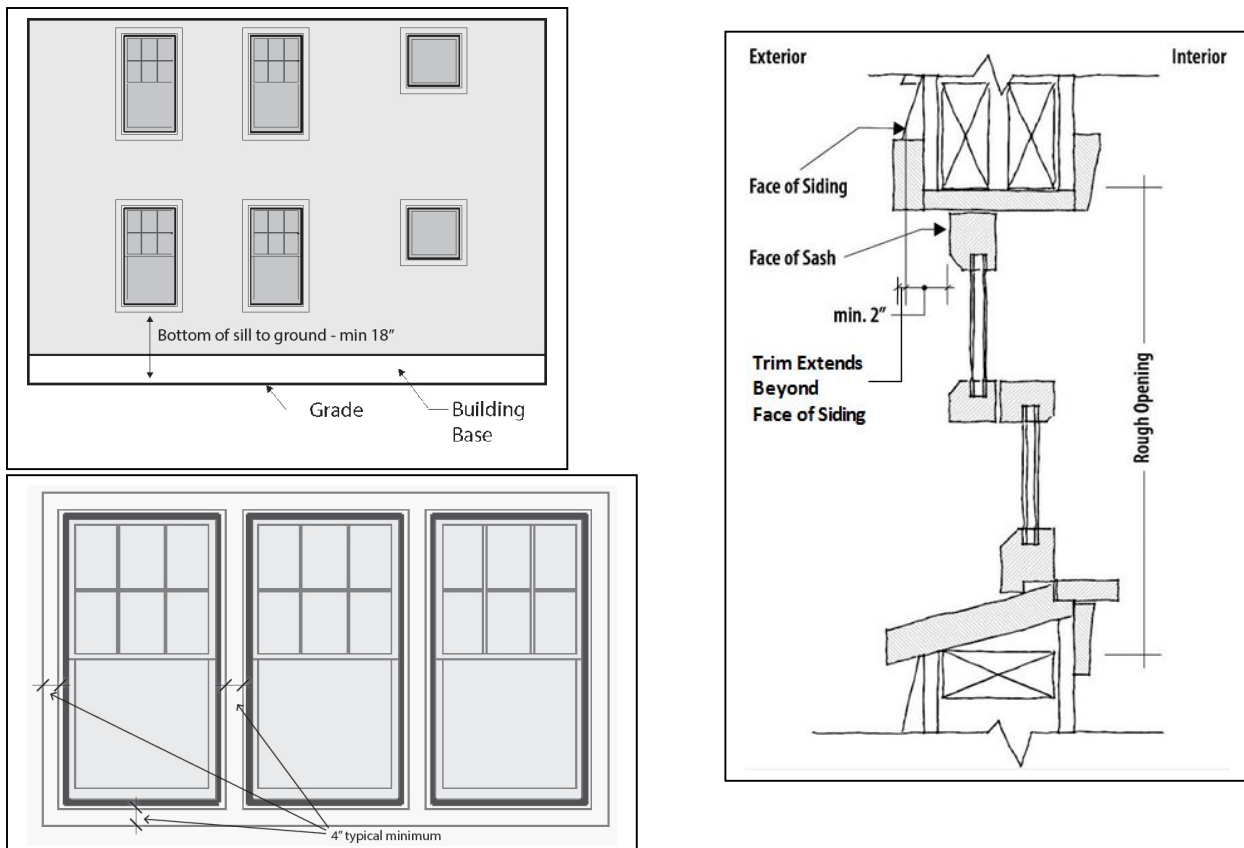


*Examples of arched or decorative windows*



- f. **Window detailing.** Windows shall have casings/trim, sills, and crown moldings. Window detailing shall meet the following requirements.
- 1) Casings/trim shall have minimum dimensions of 5/4 inch x 4 inch and shall extend beyond the facade siding.
  - 2) Windows shall be recessed a minimum distance of two (2) inches from the trim surface to ensure a shadow line/effect.
  - 3) The bottom of the sill shall be a minimum of 18 inches above the ground or floor elevation.

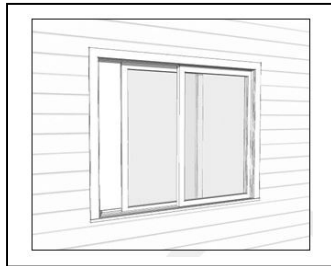
**Figure 14.114-6: Window Detailing – Trim and casement location and dimensions**



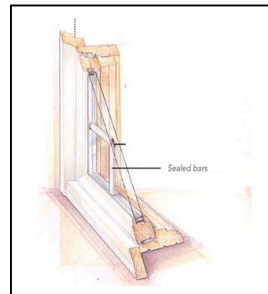
- g. Window design prohibited. The follow window design features are prohibited.
- 1) Applied muntins that have no profile.
  - 2) Smoked, tinted, or frosted glass, except for bathroom windows not on the facade facing a right-of-way.
  - 3) Mirrored glass.
  - 4) Horizontal sliding windows.
  - 5) Aluminum frame windows.
  - 6) Vinyl windows.
  - 7) Blocked-out windows.
  - 8) Windows that extend beyond the plane of the building facade.

**Figure 14.114-7: Window Design Prohibited**

*Horizontal sliding window*



*Muntins with no profile*



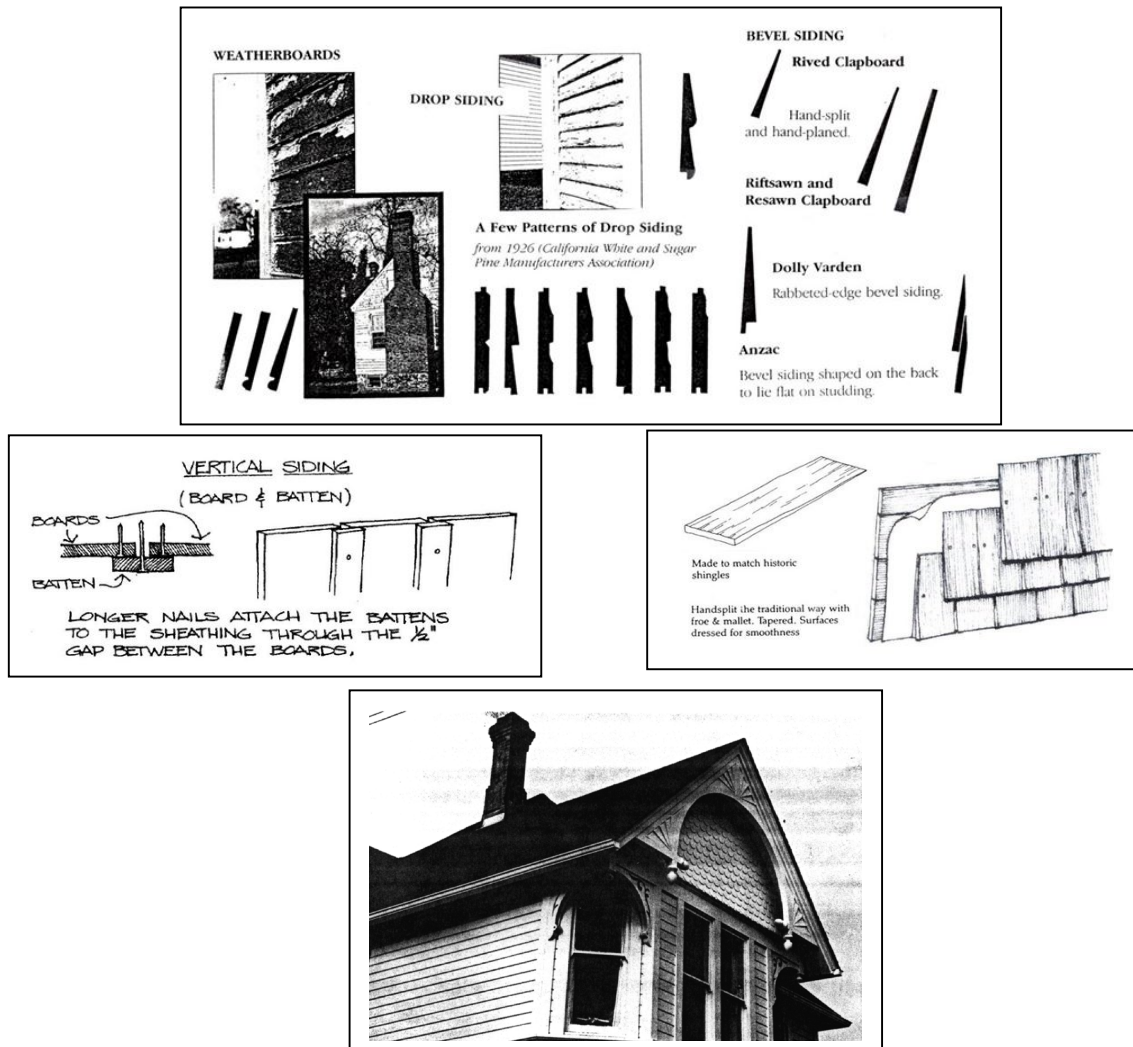
3. Exterior Wall Treatments and Materials.

The following design standards apply to all dwelling unit types.

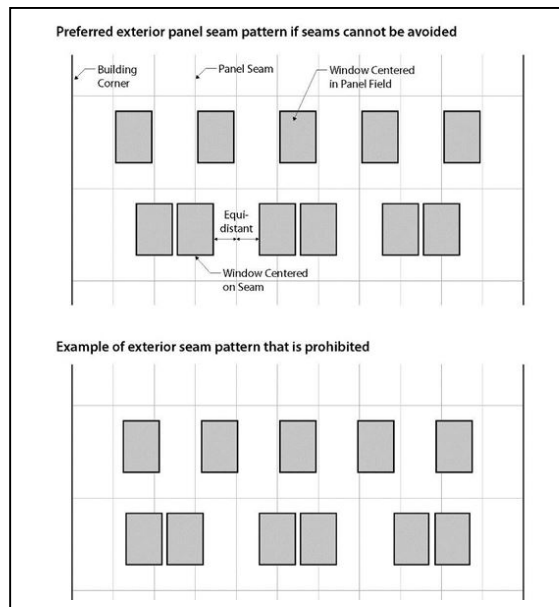
- a. A minimum of 80% of exterior walls shall be constructed of one or more of the following sets of treatments and materials.
  - 1) Drop siding; or
  - 2) Weatherboard siding; or
  - 3) Clapboard; or
  - 4) Rectangular wood shingle; or
  - 5) Decorative wood shingle; or
  - 6) Board and batten.
- b. Horizontal siding shall have six inches or less exposure.
- c. Vertical board and batten shall have true battens.
- d. Fiber cement siding shall be smooth, not textured.



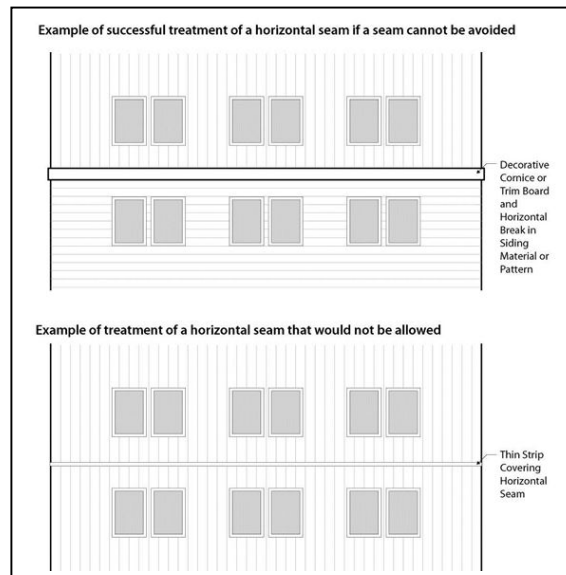
**Figure 14.114-8: Exterior Walls – Permitted Materials**



**Figure 14.114-9: Exterior Walls – Seam Treatment**



**Figure 14.114-10: Exterior Walls – Horizontal Seam Treatment**



- e. Exterior wall treatments and materials prohibited. The following types of treatments and materials are prohibited.
- 1) Exposed textured concrete block;
  - 2) Flagstone or other applied stone products;
  - 3) Precast concrete or decorative concrete panels;
  - 4) Wood shakes;
  - 5) Plywood paneling;

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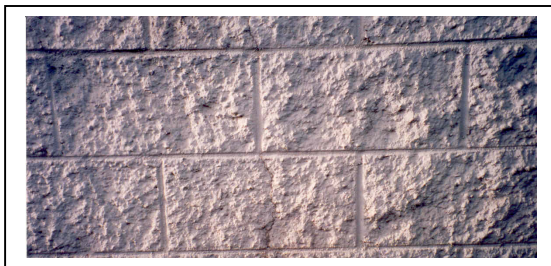
- 6) Cladding materials such as corrugated metal panels or spandrel glass;
- 7) Neon or other fluorescent colors;
- 8) Bright or primary wall colors for the entire wall surface;
- 9) Painted brick; and
- 10) Non-durable materials such as synthetic stucco or shingles at the ground floor.

**Figure 14.114-11: Exterior Wall Treatments and Materials Prohibited**

*Applied stone*



*Textured concrete*



4. Roof Elements.

The following design standards apply to all dwelling unit types.

a. Roof design shall be one of the following:

- 1) Steep (minimum 5:12 pitch) gable with broad (minimum 1 foot) eaves;
- 2) Steep (minimum 5:12 pitch) hip with broad (minimum 1 foot) eaves; or
- 3) An Italianate style hip, gable, or cube roof with a minimum roof pitch of 4:12 and broad (minimum 1 foot) eaves.

**Figure 14.114-12: Roof Design Permitted**

*Steep pitched hip roof with  
broad eaves and dormer elements*



*Italianate Roof*



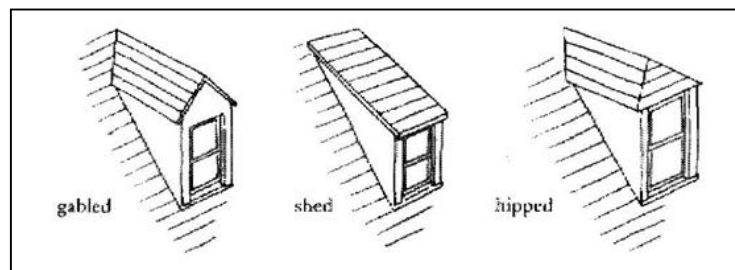
- 4) A roof may consist of sections of flat roof for up to 75% of the roof area.

b. Roof elements permitted. The following roof design elements are permitted.

- 1) Dormers with gable, hip, or shed roofs.
- 2) Flat panel skylights or roof windows on secondary elevations.

**Figure 14.114-13: Roof Elements Permitted**

*Gabled, shed, and hipped dormers*



*Flat panel skylights*



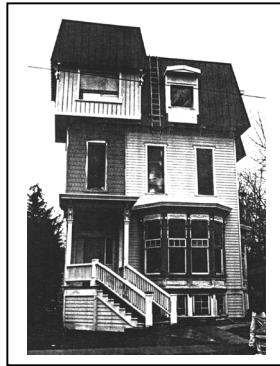
c. Roof elements prohibited. The following roof design elements are

prohibited.

- 1) False mansard or other applied forms.
- 2) Dome skylights.

**Figure 14.114-14: Roof Elements Prohibited**

*False mansard roof*



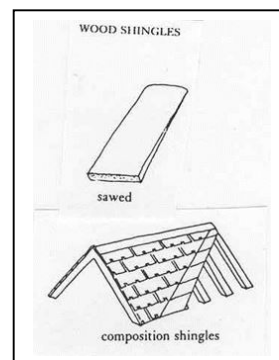
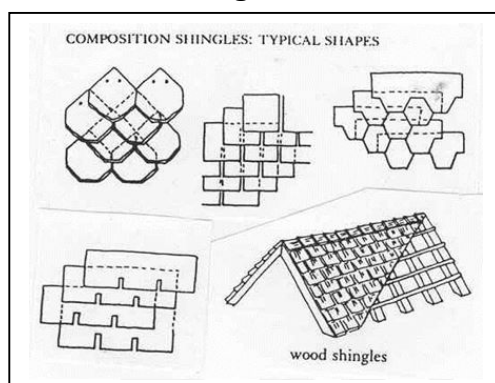
5. Roofing Materials.

The following design standards apply to all dwelling unit types.

a. Roofing material. Roofing shall be one of the following materials:

- 1) Wood shingle; or
- 2) Composition roofing; or
- 3) Metal with no-profile seams or low-profile seams (less than 1/4 inch x 1 1/4 inch).

**Figure 14.114-15: Roofing Material Permitted**



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- b. Roofing material color. Roofing material shall be gray, brown, dark green, black, or deep red. Other subdued colors may be approved by the Community Development Director.
- c. Roofing materials prohibited. The following roofing materials are prohibited.
  - 1) High profile standing seam (1/4 inch x 1 ¼ inch or greater) metal roof.
  - 2) Brightly colored roofing material, as determined by the Community Development Director.

**Figure 14.114-16: Roofing Material Prohibited**

*High profile metal seam roof*



6. Signs.

Signs are subject to the sign provisions in Section 8.040 and 8.160.

7. Doors.

The following design standards apply to all dwelling unit types.

- a. Doors shall have at least one light (glass) panel.
- b. Sliding doors are not permitted on the ground floor of the front facade.
- c. All materials are permitted.
- d. Metal or metal-clad doors shall be painted.

8. Garage Doors.

The following design standards apply to attached and detached garages:

- a. Each garage door shall be a maximum of ten (10) feet in width and

seven (7) feet in height.

- b. A minimum of 10% of each garage door shall be window panels, raised trim, or other architectural details.

**Figure 14.114-17: Garage Doors Permitted**



*(Section 14.114 added by Ord 19-06, 7-1-2019)*

14.115. DESIGN STANDARDS AND GUIDELINES

A. Applicability and Review.

The following design standards and guidelines apply to all new construction or major renovation, where “major renovation” is defined as construction valued at 25% or more of the assessed value of the existing structure. Applications in the Bridge Vista Overlay Zone shall be reviewed in a public design review process subject to the standards and guidelines in Sections 14.095 to 14.125.

Some of the following design standards and guidelines apply to all uses. Other standards and guidelines are differentiated by non-industrial uses and industrial uses. For the purposes of these Sections, industrial uses include the following as further defined in Section 1.400 of the Development Code:

1. Water-dependent or water-related commercial or industrial use.
2. Communication facility.
3. Communication service establishment.
4. Utility.
5. Cold storage and/or ice-processing facility independent of seafood processing facility.
6. Water-dependent facilities including terminals and transfer facilities.
7. Seafood receiving and processing.
8. Ship and boat building and repair.
9. Aquaculture and water-dependent portions of aquaculture facility.
10. Wholesale trade, warehouse, and/or distribution establishment (including trucking terminal).



11. Research and development laboratory.
12. Wood processing.
13. Manufacturing.
14. Light manufacturing.
15. Petroleum receiving, dispensing and storage for marine use.
16. Transportation services

Non-industrial uses include all other uses that are allowed outright or conditionally in the S-2, A-1, A-2, A-2A, and C-3 zones in the Bridge Vista Overlay Zone.

**B. Building Style and Form.**  
*(Section 14.115.B amended by Ord 19-06, 7-1-2019)*

1. Standards for All Uses.
  - a. Projecting wall-mounted mechanical units are prohibited where they are visible from a public right-of-way or the River Trail. Projecting wall-mounted mechanical units are allowed where they are not visible from a public right-of-way or River Trail.
  - b. Solid waste disposal, outdoor storage, and utility and mechanical equipment shall be enclosed and screened from view (14.115-1). A cover shall be required if screened items can be viewed from above. Rooftop equipment shall be screened from view by a parapet wall, a screen made of a primary exterior finish building material used elsewhere on the building, or by a setback such that it is not visible from adjacent properties and rights-of-way up to approximately 100 feet away. Also see Section 3.215, Outdoor Storage Areas and Enclosures.

**Figure 14.115-1: Screening Waste Disposal, Outdoor Storage, and Utility/Mechanical Equipment**



2. Guidelines for All New Construction.



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- a. The design should respect significant original characteristics, scale, and massing of adjacent structures that are visible from the public right-of-way within three blocks of the development site. Buildings should be designed so that they are not substantially different in character from adjacent structures in terms of size, mass, or architectural form. Also see Section 14.002.C, Resolving Conflicts within the Code.
- b. New Construction should respect significant characteristics of composition and material of adjacent structures that are visible from the public right-of-way within three blocks of the development site. Also see Section 14.002.C, Resolving Conflict within the Code.
- c. Building forms should be simple single geometric shapes, e.g. square, rectangular, triangular (14.115-2).

**Figure 14.115-2: Geometric Building Form**



3. Guidelines for All Existing Buildings.

- a. Distinctive stylistic features or examples of skilled craftsmanship of existing buildings and/or structures proposed for renovation, alteration, and/or additions should be treated with sensitivity. All buildings should be respected and recognized as products of their time.
- b. Renovations, alterations, and/or additions to existing buildings should respect significant original characteristics of adjacent structure scale and massing for the entire structure, and should be designed so that they are not substantially different in terms of size, mass, or architectural form. Also see Section 14.002.C, Resolving Conflicts within the Code.
- c. Renovations, alterations, and/or additions should retain and/or respect significant original characteristics of the existing structure composition and material, for the entire structure. Also see Section 14.002.C, Resolving Conflicts within the Code.

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- d. Building forms should be simple single geometric shapes, e.g. square, rectangular, triangular (14.115-2).
- e. Mid-century slip covers which are not part of the original historic design should be removed when possible.
- f. Incompatible additions or building alterations using contemporary materials, forms, or colors on building facades are discouraged.

4. Standards for Non-Industrial Uses.

a. Facade Variation.

All non-industrial buildings shall incorporate design features such as offsets, balconies, projections, window reveals, or other similar elements to preclude large expanses of uninterrupted building surfaces in areas which are visible to the public. Design features shall occur at a minimum of every thirty (30) feet for all building facades visible from a public right-of-way or River Trail.

The facade shall contain at least two (2) of the following features:

- 1) Recess (e.g., deck, patio, courtyard, entrance, or similar feature) that has a minimum depth of six (6) feet;
- 2) Extension (e.g., floor area, deck, patio, entrance, or similar feature) that projects a minimum of two (2) feet and runs horizontally for a minimum length of four (4) feet;
- 3) Offsets or breaks in roof elevation of two (2) feet or greater in height;
- 4) Outdoor seating area, plaza, or other interactive landscaped area adjacent to the building that is specifically identified and/or covered, and approved by the review authority; and/or
- 5) Other similar facade variations approved by the review authority.

**Figure 14.115-2.a: Facade Variation**



b. Base, Middle, and Top of Building.

All non-industrial buildings shall have a clear and distinct base, middle and top to break up vertical mass (Figure 14.115-2.b). All facades visible from a right-of-way or River Trail shall utilize horizontal bands and/or changes in color, material, form and/or pattern to differentiate the base, middle, and top of the building, subject to the following requirements:

- 1) Horizontal bands or other changes in pattern or material shall be a minimum of 8 inches high (the length of a standard brick) and shall project a minimum of one inch from the building face.
- 2) Changes in building massing and form may also be used to differentiate a building's base, middle, and top. This may include architectural setbacks or projections, measuring a minimum of 3 inches.

**Figure 14.115-2.b: Base, Middle, Top of Building**



5. Guidelines for Non-Industrial Uses

- a. The massing, scale, and configuration of non-industrial buildings should be similar to historic structures that are visible from the public right-of-way within three blocks of the development site.
- b. Non-Industrial buildings should be compatible with the vertical proportions of historic facades and the simple vertical massing of historic structures that are visible from the public right-of-way within three blocks the development site.
- c. The location, size, and design of windows and doors in non-industrial buildings should be compatible with historic structures that are visible from the public right-of-way within three blocks of the development site.
- d. Development should be designed so that structures are not substantially different in character from adjacent buildings in terms of size, mass, or architectural form.

*(Section 14.115.B amended by Ord 19-06, 7-1-2019)*

C. Roof Form and Materials.

1. Roof Form Standards for All Uses.

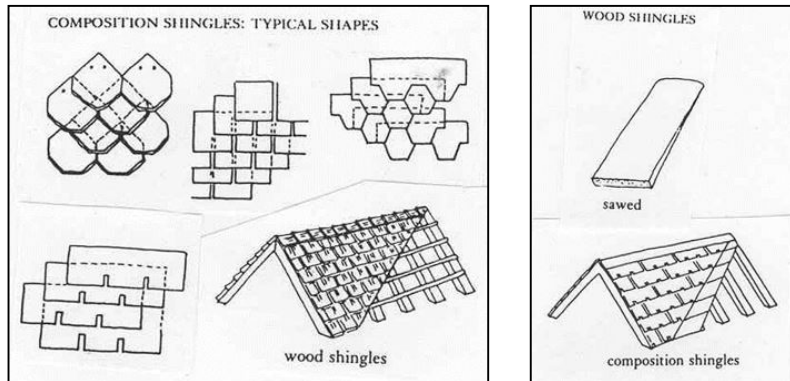
The following roof forms are prohibited:

- a. False mansard or other applied forms; and
- b. Dome skylights.

2. Roof Materials Standards for All Uses.

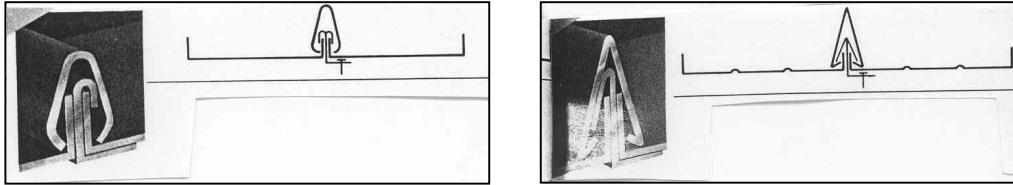
- a. Buildings shall be constructed or reconstructed with one of the following roofing materials.
  - (1) Cedar shingle (Figure 14.115-3);
  - (2) Composition roofing (Figure 14.115-3); or
  - (3) Materials cited in Section 14.115.C.4 or Section 14.115.C.6.

**Figure 14.115-3: Roofing Materials**



- b. The following roofing materials are prohibited for all types of buildings:
- (1) High profile standing seam metal roof (Figure 14.115-4); and
  - (2) Brightly colored roofing material.

**Figure 14.115-4: Low ( $\frac{3}{8}$ " x 1") and High ( $\frac{1}{4}$ " x 1- $\frac{1}{4}$ ") Roof Seams**



- c. Roofing materials shall be gray, brown, black, deep red, or another subdued color.
3. Roof Form Standards for Non-Industrial Uses
- Buildings for non-industrial uses shall include one of the following roof forms:
- a. Single gable with low pitch; or
  - b. Repetitive gable with steep pitch; or
  - c. Flat or gable roof behind parapet wall (Figure 14.115-5).

**Figure 14.115-5: Non-Industrial Building, Flat Roof Behind Parapet Wall**



4. Roof Materials Standards for Non-Industrial Uses.

Buildings for non-industrial uses shall be constructed or reconstructed with one of the following roofing materials:

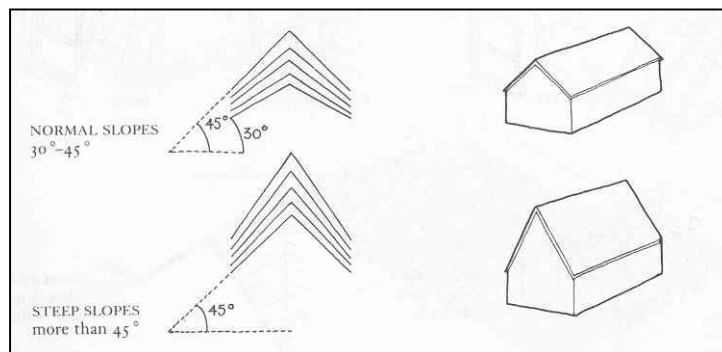
- a. Materials cited in Section 14.115.C.2; or
- b. Built-up roofing materials.

5. Roof Form Standards for Industrial Uses.

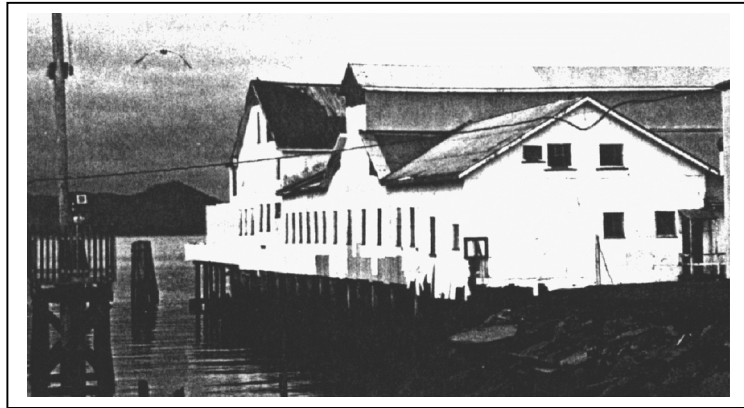
Buildings for industrial uses shall include the following roof forms:

- a. Single gable with low pitch; or
- b. Repetitive gable with steep pitch (Figure 14.115-6 and Figure 14.115-7); and
- c. Shallow eaves (Figure 14.115-7).

**Figure 14.115-6: Roof Pitches**



**Figure 14.115-7: Industrial Building, Multiple Gables, Monitor Roof, and Shallow Eaves**



6. Roof Materials Standards for Industrial Uses.

Buildings shall be constructed or reconstructed with one of the following roofing materials:

- a. Materials cited in Section 14.115.C.2; or
- b. Galvanized corrugated metal; or
- c. Low profile standing seam, metal roof (Figure 14.115-4); or
- d. Roll down.

7. Roof Form Guidelines for Non-Industrial Uses.

Buildings for non-industrial uses may also include the following roof forms or features:

- a. Structural skylights
- b. Shallow eaves behind parapet wall

8. Roof Form Guidelines for Industrial Uses.

Buildings for industrial uses may also include one or more of the following roof forms or features:

- a. Small shed roof dormers
- b. Monitor roof on ridge line (Figure 14.115-7)
- c. Flat panel skylights or roof window

D. Doors.

1. Standards for All Uses.

The following types of doors and door treatments are prohibited:

- a. Automatic sliding doors;
- b. Primary entry doors raised more than three feet above sidewalk level;
- c. Doors flush with building facade;
- d. Clear anodized aluminum frames; and
- e. Reflective, opaque, or tinted glazing.

2. Guideline for All Uses.

Building lighting should emphasize entrances.

3. Standards for Non-Industrial Uses.

- a. Solid metal or wood doors with small or no windows are prohibited.
- b. Doors with a minimum of 50% of the door area that is glass are required.

4. Guidelines for Non-Industrial Uses.

- a. Doors should be recessed when feasible (Figures 14.115-8 and 14.115-9).
- b. Large cafe or restaurant doors that open the street to the interior by pivoting, sliding, or rolling up overhead are encouraged (Figure 14.115-8).
- c. Well-detailed or ornate door hardware is encouraged (Figure 14.115-9). Contemporary hardware should be compatible with the design of the door.
- d. Transom, side lites, or other door/window combinations are encouraged (Figure 14.115-9).
- e. Doors combined with special architectural detailing are encouraged.
- f. Double or multiple door entries are encouraged (Figure 14.115-9).



**Figure 14.115-8: Roll-Up Doors and Recessed Doors**



Examples of doors recommended: roll up doors to create open space into the buildings, recessed door

**Figure 14.115-9: Recessed Doors, Contemporary Door Hardware, Single/Double Doors, Side Lites, and Transom Windows**



Example of doors recommended: retain original opening dimensions, recessed, compatible contemporary hardware; single or double doors with side lites. Entry lighting in recess entryway. Transom windows above door.

**E. Windows.**

**1. Coverage Standards for All Uses.**

All building facades visible from a public right-of-way and/or the River Trail shall have windows or other openings in the facade. Blank walls on any facades visible from the right-of-way and/or River Trail for any type of use are prohibited.

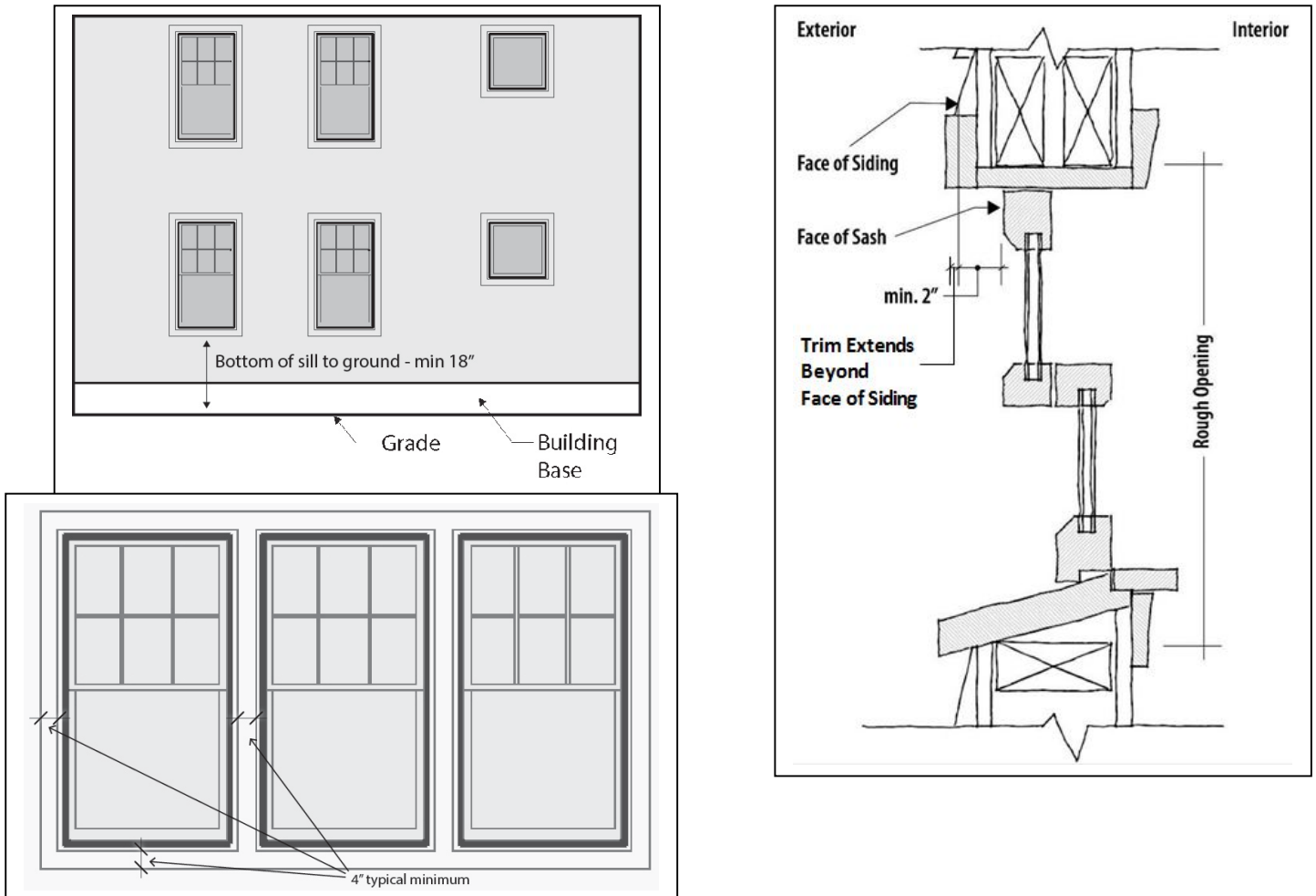
**2. Design Standards for All Uses.**

a. Window detailing. Windows shall have casings/trim, sills, and crown moldings. Window detailing shall meet the following requirements.

- 1) Casings/trim shall have minimum dimensions of 5/4 inch x 4 inch and shall extend beyond the facade siding.
- 2) Windows shall be recessed a minimum distance of two (2)

- inches from the trim surface to ensure a shadow line/effect.
- 3) The bottom of the sill shall be a minimum of 18 inches above the ground or floor elevation.

**Figure 14.115-10: Window Detailing – Trim and casement location and dimensions**



b. The following types of windows or window treatments are prohibited:

- 1) Residential-styled window bays;
- 2) Half-round windows;
- 3) Tinted and/or reflective glass;
- 4) Sliding windows;
- 5) Vinyl windows; and
- 6) Blocked-out windows; and
- 7) Windows that extend beyond the plane of the building facade.

3. Design Guidelines for All Uses.

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- a. Windows, including transoms on existing buildings, should retain their original size and location as part of renovation activities.
- b. Windows that open by pivoting, casement, single hung, or other shuttering are encouraged.
- c. Painted wood or stucco panels or tile clad panels below windows are encouraged (Figure 14.115-11).
- d. Clear glass is encouraged.
- e. True divided lites are encouraged (Figure 14.115-11). Simulated divided lites shall have exterior muntins to create exterior shadow lines.
- f. Boldly articulated window and storefront trim are encouraged.

**Figure 14.115-11: Transom Windows, Panels Below Windows, and True Divided Lites**



4. Coverage Standards for Non-Industrial Uses.

a. In the Pedestrian-Oriented District.

In the Pedestrian-Oriented District (Figure 14-090.2) and adjacent to the River Trail, at least 50% of the ground-floor street-facing facades of non-industrial uses shall be covered by windows and at least 30% of the upper-floor street-facing facades should be covered by windows.

b. Outside Pedestrian-Oriented District.

Outside the Pedestrian-Oriented District, at least 40% of the ground-floor facing facades of non-industrial uses visible from a right-of-way or River Trail shall be covered by windows and at least 30% of the upper-floor facades visible from a right-of-way should be covered by windows, except as follows:

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- 1) At least 20% of the ground-floor facades and 10% of the upper-floor facades of non-industrial uses north of River Trail visible from the Columbia River shall be covered by windows.
- 2) An exception to the window coverage standard may be allowed for the portion of a building facade that includes an elevator shaft with the inclusion of architectural detail / design features in amounts equal to the minimum window coverage requirement. Such architectural details shall include but not be limited to a change in material, horizontal projections, engaged columns or pilasters, belt course, moldings, clock, or other similar features.

*(Section 14.115.E.4.b amended by Ord 19-06, 7-1-2019)*

5. Coverage Standards for Industrial Uses.

- a. All building facades of buildings for industrial uses in the Bridge Vista Overlay Zone that are visible from a public right-of-way and/or River Trail shall have windows. However, buildings for industrial uses are not subject to minimum window area requirements.
- b. Buildings for industrial uses are not required to have ground floor windows but shall have, at the least, clear story or transom windows on the upper story facades or above a height of 14 feet.

F. Siding and Wall Treatment.

1. Standards for All Uses.

The following types of siding and wall materials and treatments are prohibited:

- a. Cladding materials such as corrugated metal panels or spandrel glass;
- b. Panels that are poorly detailed or do not have detailing;
- c. Neon or other fluorescent colors;
- d. Bright or primary wall colors for the entire wall surface;
- e. Flagstone, simulated river rock, or other similar veneer cladding;
- f. Painted brick; and
- g. Non-durable materials such as synthetic stucco or shingles at the ground floor.

2. Guidelines for All Uses.

- a. Variations in wall cladding materials and patterns consistent with historic patterns are encouraged (Figure 14.115-12).
- b. Natural or subdued building colors are encouraged (Figure 14.115-12).

- c. Bright colors may be used for accent trim in limited amounts.
- d. Durable materials such as brick, stucco, granite, pre-cast concrete, board and batten, or horizontal wood siding should be used (Figure 14.115-12). These materials include galvanized corrugated metal on buildings for industrial uses.
- e. Architectural wall features such as belt courses, pilasters, and medallions are encouraged.

**Figure 14.115-12: Siding Variety and Compatible Materials and Colors**



G. Awnings.

1. Standards for Types of Awnings and Treatments.

The following types of awnings and awning treatments are prohibited:

- a. Fixed “bubble shaped” awnings (Figure 14.115-13); and
- b. Awnings lit internally.
- c. Awnings improperly sized for the building/entry/window (Figure 14.115-13).

2. Guidelines for Types of Awnings and Treatments.

The following types of awnings and awning treatments are discouraged:

- a. Vinyl or other non-compatible material awnings (Figure 14.115-13); and



**Figure 14.115-13: Prohibited and Discouraged Awning Types and Treatments**



3. Standards for Awning Locations Along River Trail and North/South Rights-of-Way.

Awnings are generally discouraged and shall not project into the setback and/or stepback areas.

*(Section 14.115.G.3 amended by Ord 19-06, 7-1-2019)*

#### H. Lighting.

1. Standards for Lighting Types and Treatments for All Uses.

The following lighting types or treatments are prohibited:

- a. Neon silhouette accent lighting;
- b. Fluorescent tube lighting;
- c. Security spotlight;
- d. Signs lit by lights containing exposed electrical conduit, junction boxes, or other electrical infrastructure; and
- e. Up-lighting that shines into the sky or light that shines into other properties or traffic.

2. Standards Regarding Glare for All Uses.

All uses shall comply with applicable lighting standards in Section 3.128.  
*(Section 14.115.H.2 amended by Ord 19-05, 6-17-2019)*

3. Guidelines Regarding Wall-Washing Light.

Wall-washing lighting fixtures should be concealed and integrated into the design of buildings or landscape walls and stairways (Figure 14.115-14).

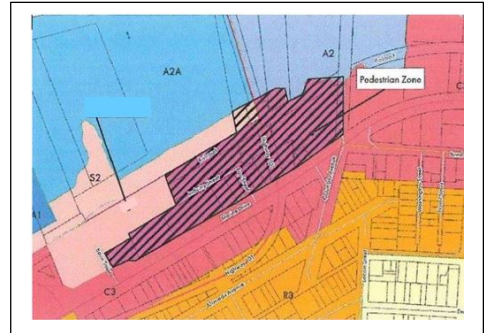
**Figure 14.115-14: Downward and Diffused Lighting, Wall-Washing Lighting**



I. Signs.

Signs in the Bridge Vista Overlay Zone are subject to the requirements in Article 8 (Sign Regulations) of the Astoria Development Code. The following additional standards apply to signs in the Pedestrian-Oriented District.

*(Section 14.115.I amended by Ord 19-06, 7-1-2019)*



1. Monument signs (Figure 14.115-15) are allowed up to a maximum of 32 square feet.
2. Monument signs shall be a maximum of five (5) feet tall.
3. Monument signs shall be constructed from materials that are consistent with the historic character of the area, including wood, brick, stone, and metal.
4. Freestanding pole-mounted signs are prohibited (Figure 14.115-15).

**Figure 14.115-15: Monument Signs and Freestanding Pole-Mounted Signs**



*(Section 14.115 added by Ord 15-03, 6-15-15)*

14.120. LANDSCAPING.

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Landscaping is required in the Bridge Vista Overlay Zone in accordance with the provisions in this Section and those in Section 3.120 to 3.125. The provisions in this Section apply to new construction or exterior renovations with a value of at least 20% of the assessed value of the structure, or in the event of installation of new parking areas.

A. River Side and/or Riparian Standards.

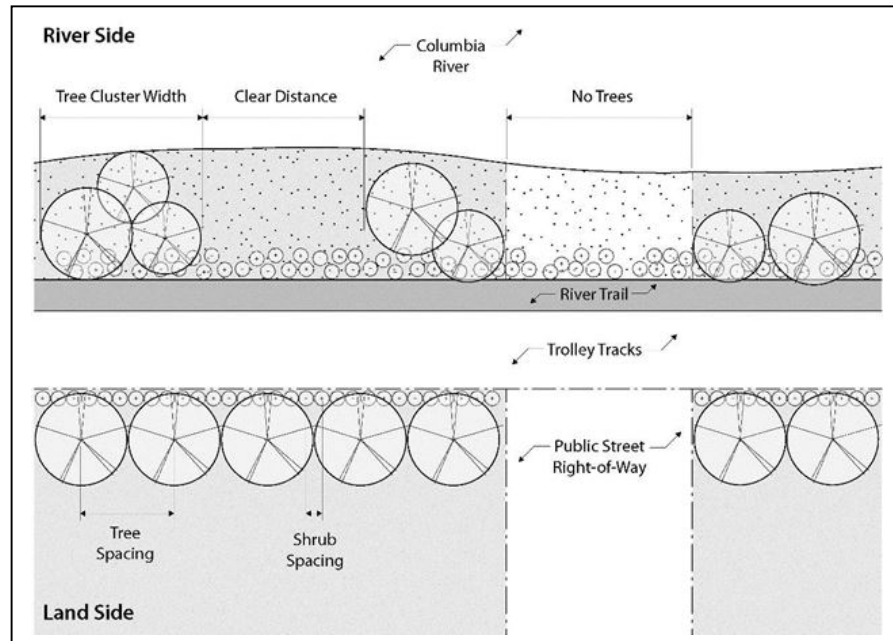
The following standards apply to landscaping on the river side of the River Trail and to riparian areas to the south of the River Trail. Riparian area is defined as the landward limit of Columbia River aquatic vegetation or, where aquatic vegetation is absent, the Mean Higher High Water.

*(Section 14.120.A amended by Ord 19-06, 7-1-2019)*

1. Height and Spacing.
  - a. Maximum shrub height is 30 inches.
  - b. Maximum width of clusters of trees is 30 feet.
  - c. Clusters of trees shall have a minimum of 50 feet clear between branches at maturity.
  - d. Trees are not permitted to be planted on the river side of the River Trail within the extended public right-of-way or view corridor extending from it for a distance of 70 feet centered on the right-of-way centerline.
  - e. Trees shall not exceed 25 feet in height at maturity
  - f. Maximum height of fences is three (3) feet.



**Figure 14.120-1: River Side/Riparian Landscaping**



2. Native Plants.

See Section 3.125 concerning use of native plants and list of recommended native plants.

3. Landscaping Credits for Non-Vegetation Features.

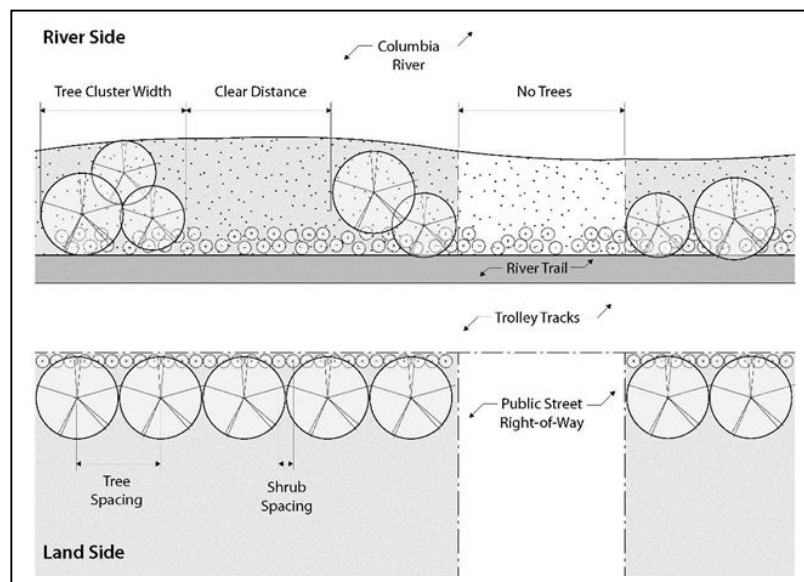
- a. The Community Development Director may approve non-vegetative features to account for up to 40% of required landscaping when the features consist of hardscaped pedestrian-oriented areas (e.g., courtyards, plazas). Permeable paving and other stormwater management techniques are encouraged in the design of these areas.
- b. An application proposing more than 40% of required landscaping be credited by non-vegetative features is subject to approval in accordance with procedures in Article 9 and Article 12.
- c. Non-vegetative features allowed in the public right-of-way and/or on the River Trail in lieu of required landscaping shall be maintained by the applicant. There shall be a maintenance agreement or other City approved agreement. Failure to maintain or loss of the non-vegetative feature will result in the requirement for installation of the landscaping in accordance with the Code at the time of the loss.

B. Land Side or Upland Standards.

The following standards apply to landscaping along the frontage of parcels abutting the River Trail to the south except where riparian areas are located to the south of the River Trail. Riparian areas are subject to the standards of Section 14.120.A. (Section 14.120.B amended by Ord 19-06, 7-1-2019)

1. Height and Spacing.
  - a. Maximum spacing of trees.
    - (1) 20 feet on center for non-industrial uses
    - (2) 15 feet on center for industrial uses
  - b. Maximum spacing of shrubs
    - (1) Five (5) feet on center for non-industrial uses
    - (2) Three (3) feet on center for industrial uses
  - c. Ground cover landscaping is required in between shrubs and trees.
  - d. Trees shall not exceed 35 feet in height at maturity

**Figure 14.120-2: Land Side Landscaping**



2. Parking Area Landscaping.
  - a. Landscaping required between parking areas, streets, and sidewalks in accordance with Section 3.120.A.7 shall also be required between parking areas and the River Trail.
  - b. Landscaping shall minimize pedestrian exposure to parking lots with a hedge or a decorative fence that is 36" to 42" high.

- c. Maximum tree height and width in parking areas shall be 15 feet at maturity.

3. Landscaping Credits for Non-Vegetation Features.

- a. The Community Development Director may approve non-vegetative features to account for up to 25% of required landscaping when the features consist of the following:
  - (1) Hardscaped pedestrian-oriented areas (e.g., courtyards, plazas); and/or
  - (2) At least one of the following amenities meeting the City approved design within the public right-of-way and/or River Trail right-of-way:
    - (a) bike rack
    - (b) bench
    - (c) table
    - (d) drinking fountain
    - (e) directional or interpretive/information signage
    - (f) trash or recycling container
    - (g) lighting
    - (h) restroom

Permeable paving and other stormwater management techniques are encouraged in the design of these areas.

- b. An application proposing more than 25% of required landscaping be credited by non-vegetative features is subject to approval in accordance with procedures in Article 9 and Article 12.
- c. Non-vegetative features allowed in the public right-of-way and/or on the River Trail in lieu of required landscaping shall be maintained by the applicant. There shall be a maintenance agreement or other City approved agreement. Failure to maintain or loss of the non-vegetative feature will result in the requirement for installation of the landscaping in accordance with the Code at the time of the loss.

C. Street Trees.

Street trees shall be planted within the right-of-way along both sides of the street in the Bridge Vista Overlay Zone in accordance with the provisions in this Section.

1. Spacing should be 30 feet on center, depending on species and branching habit.
2. Minimum size of deciduous trees should be 2" caliper, with an upright form.
3. Mature branching height should be a minimum of 15 feet.
4. Maximum height for street trees along north-south streets between West Marine Drive / Marine Drive and the Columbia River is 35 feet.  
*(Section 14.120.C.4 amended by Ord 19-06, 7-1-2019)*
5. Street trees along north-south streets between West Marine Drive / Marine Drive and the Columbia River shall have narrow profiles and/or be pruned to a maximum width of 15 feet.
6. Street trees along north-south streets between West Marine Drive / Marine Drive and the Columbia River shall be one of the columnar species listed in Section 3.125.B.1, unless otherwise approved by the Community Development Director.
7. Durable tree grates and trunk protectors should be installed.
8. Areas between trees should be landscaped with a variety of shrubs and perennials, with an emphasis on flowering species.
9. Required street trees shall be maintained by the adjacent property owner and/or other identified entity. There shall be a maintenance agreement or other City approved agreement.

*(Section 14.120 added by Ord 15-03, 6-15-15)*

14.122. OFF-STREET PARKING.

In the Pedestrian-Oriented District in the Bridge Vista Overlay Zone (Figure 14.090-2), the following provisions apply to parking requirements established in Article 7 of this Code.

*(Section 14.122 renumbered from 14.125 by Ord 19-14, 10-21-2019)*

A. Reductions.

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Minimum parking space requirements in Section 7.100 may be reduced by 50% for uses with less than 5,000 square feet of gross floor area.

B. Exemptions.

Exemptions from minimum parking space requirements in Section 7.100 are permitted under the following conditions:

1. Existing buildings that cover the maximum area of the site allowable
2. Building expansions of 10% or less.

14.124. PORT OF ASTORIA WEST MOORING BASIN PLAN DISTRICT.

The property situated approximately between Portway Avenue to the west, Bay Street to the east, the top of bank to the north, and West Marine Drive to the south, shall constitute a subarea within the Bridge Vista Overlay Zone. The purpose of this subarea is to permit adoption of development standards, known as a Plan District, not applicable to other properties in the Bridge Vista Overlay Zone. If approved under the criteria of Section 14.124.A the Plan District shall be known as the Port of Astoria West Mooring Basin Plan District.

A. Plan District Adoption Criteria.

A Plan District may be established if all the following adoption criteria are met:

1. The area proposed for the Plan District has special characteristics or problems of a natural, economic, historic, public facility, or transitional land use or development nature which are not common to other areas of the Bridge Vista Area. Economic viability of a project alone shall not be deemed as justification for the proposed modifications;
2. Existing base and overlay zone provisions limited to those identified in Section 14.124.D are inadequate to achieve a desired public benefit as identified by the City Council, and/or to address identified needs or problems in the area;
3. The proposed Plan District and regulations result from a Plan documenting the special characteristics or problems of the area and explain how a Plan District will best address relevant issues; and
4. The regulations of the Plan District conform with the Comprehensive Plan and do not prohibit, or limit uses or development allowed by the base zone without clear justification.

B. Review.

1. Sunset Clause.

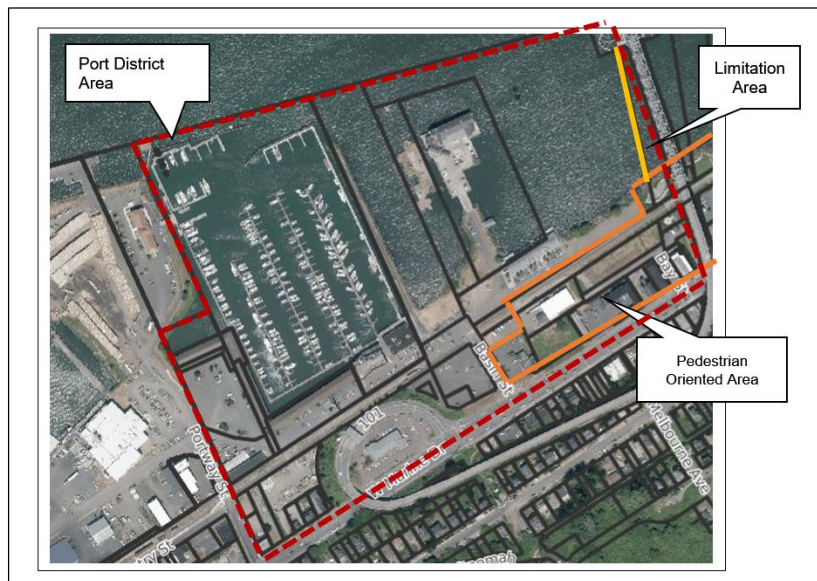
Application to establish the Port of Astoria West Mooring Basin Plan District shall occur no later than January 1, 2025. If an application is not received by that date, the Planning Commission shall re-evaluate the appropriateness and/or need for a Plan District as noted in Section 14.124. Any changes and/or the elimination of this section shall be processed as a legislative text amendment in accordance with Development Code Articles 9 and 10.

2. After Adoption of District.

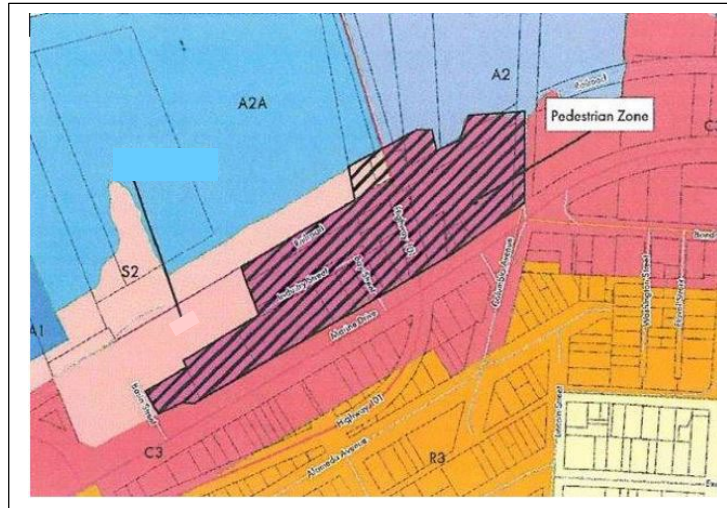
After adoption of Port of Astoria West Mooring Basin Plan District regulations, the Planning Commission shall review the Port of Astoria West Mooring Basin Plan District and its regulations every five years to determine the impacts on development, the usefulness and usability of the regulations, and the public need for any amendments to the regulations.

C. Mapping.

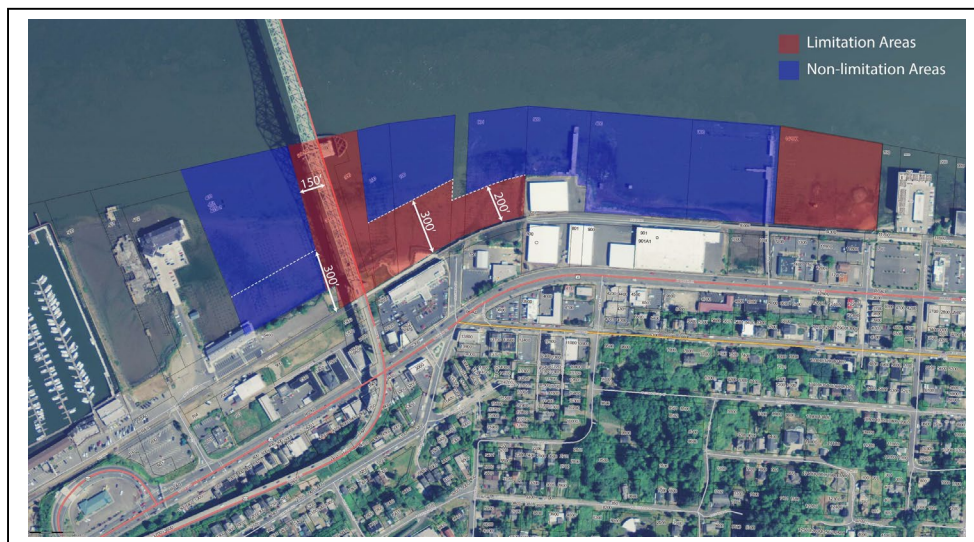
The boundaries of the Port of Astoria West Mooring Basin Plan District are illustrated on a map referenced below and generally are described as the land area north of West Marine Drive between Portway Avenue and Bay Street. The over-water area within the Plan District shall not be subject to changes from the approved Bridge Vista Overlay uses, standards, and/or requirements. The boundaries may be refined as part of the Plan District adoption or amendment.



**Figure 14.090-2, Pedestrian-Oriented District**



**Figure 14.090-1: Limitation Area**



D. Standards.

The standards for the on-land area within the Port of Astoria West Mooring Basin Plan District may expressly change and vary from those applicable under the Bridge Vista Overlay Zone and those of the base zone. The over-water area within the Plan District shall not be subject to changes from the approved Bridge Vista Overlay uses, standards, and/or requirements. Such on-land changes may include:

1. Adding or deleting uses;
2. Changes to building height limits / stepbacks up to a maximum of 35' high;
3. Setback modifications. No reduction in view corridors shall be allowed.

4. Building size and permissible footprint.
5. "Limitation Areas" shall remain as "Limitation Areas" with the existing standards.
6. "Pedestrian Oriented Area" shall remain as "Pedestrian Oriented Area" with the existing standards. Amendment to the boundaries of the Pedestrian Oriented Area may be allowed.

E. Application Procedure.

1. An application to establish the Port of Astoria West Mooring Basin Plan District shall be processed through the following procedures:
  - a. The City or Port of Astoria may apply to establish development regulations that affect one or more properties within the Port of Astoria West Mooring Basin Plan District.
  - b. An application to establish regulations that would govern development within the Port of Astoria West Mooring Basin Plan District is a legislative text amendment processed in accordance with the procedures established in Section 14.124 and in Development Code Articles 9 and 10.
  - c. An application to establish the boundaries of the Port of Astoria West Mooring Basin Plan District Overlay area is a legislative map amendment processed in accordance with the procedures established in Section 14.124 and in Development Code Articles 9 and 10 and may be processed concurrently with applications under subsection E.1.a.
  - d. The application shall include a master plan for the site along with written justification for the need to establish the Plan District and the specific proposed code modifications. Economic viability of a project alone shall not be deemed as justification for the proposed modifications.
2. An application to apply the Port of Astoria West Mooring Basin Plan District regulations to a specific project shall be processed through the following procedures:
  - a. The Port of Astoria shall be the applicant or co-applicant on all applications.



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- b. An application shall be processed as a quasi-judicial permit in accordance with the procedures established with the Plan District adoption and in accordance with the Development Code as applicable.

*(Section 14.124 added by Ord 19-14, 10-21-2019)*

14.125 to 14.126. PORT OF ASTORIA WEST MOORING BASIN PLAN DISTRICT REGULATIONS.

(Reserved for codifying future Plan District regulations.)

*(Section 14.125 and 14.126 added by Ord 19-14, 10-21-2019)*

14.127. ASTORIA WAREHOUSING PLAN DISTRICT.

The property situated approximately between Columbia Avenue to the west, 1st Street to the east, the top of bank to the north, and West Marine Drive to the south, shall constitute a subarea within the Bridge Vista Overlay Zone. The purpose of this subarea is to permit adoption of development standards, known as a Plan District, not applicable to other properties in the Bridge Vista Overlay Zone. If approved under the criteria of Section 14.127.A, the Plan District shall be known as the Astoria Warehouse Plan District.

A. Plan District Adoption Criteria.

A Plan District may be established if all the following adoption criteria are met:

1. The area proposed for the Plan District has special characteristics or problems of a natural, economic, historic, public facility, or transitional land use or development nature which are not common to other areas of the Bridge Vista Area. Economic viability of a project alone shall not be deemed as justification for the proposed modifications;
2. Existing base and overlay zone provisions limited to those identified in Section 14.127.D are inadequate to achieve a desired public benefit as identified by the City Council, and/or to address identified needs or problems in the area;
3. The proposed Plan District and regulations result from a Plan documenting the special characteristics or problems of the area and explain how a Plan District will best address relevant issues; and
4. The regulations of the Plan District conform with the Comprehensive Plan and do not prohibit, or limit uses or development allowed by the base zone without clear justification.

B. Review.

1. Sunset Clause.

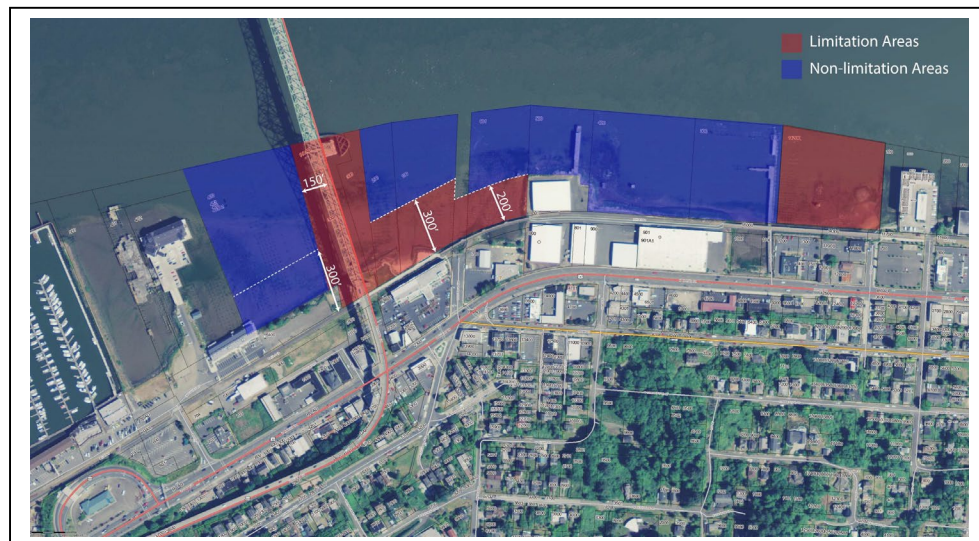
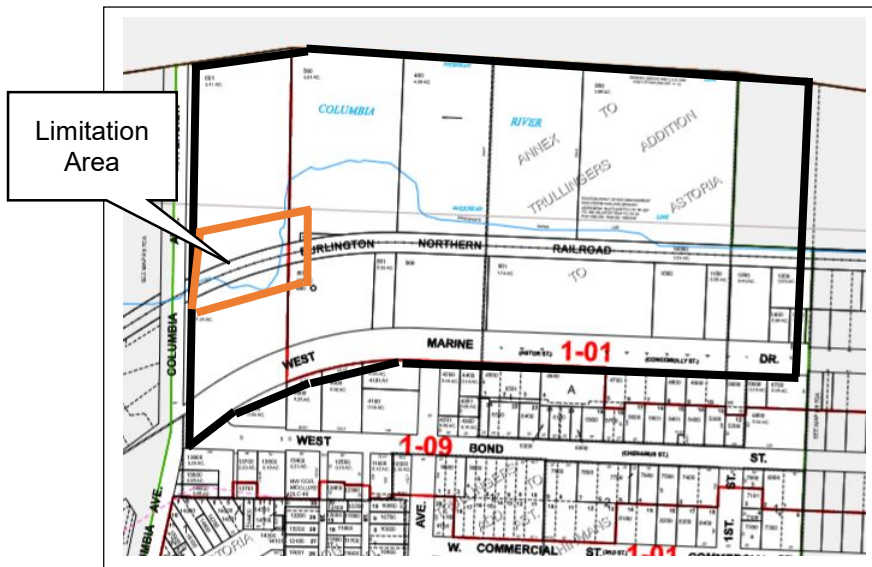
Application to establish the Astoria Warehousing Plan District shall occur no later than January 1, 2025. If an application is not received by that date, the Planning Commission shall re-evaluate the appropriateness and/or need for a Plan District as noted in Sections 14.127. Any changes and/or the elimination of this section shall be processed as a legislative text amendment in accordance with Development Code Articles 9 and 10.

2. After Adoption of District.

After adoption of Astoria Warehousing Plan District regulations, the Planning Commission shall review the Astoria Warehousing Plan District and its regulations every five years to determine the impacts on development, the usefulness and usability of the regulations, and the public need for any amendments to the regulations.

C. Mapping.

The boundaries of the Astoria Warehousing Plan District are illustrated on a map referenced below and generally are described as the land area north of West Marine Drive between Columbia Avenue and 1st Street. The over-water area within the Plan District shall not be subject to changes from the approved Bridge Vista Overlay uses, standards, and/or requirements. The boundaries may be refined as part of the Plan District adoption or amendment.



D. Standards.

The standards for the on-land area within the Astoria Warehousing Plan District may expressly change and vary from those applicable under the Bridge Vista Overlay Zone and those of the base zone. The over-water area within the Plan District shall not be subject to changes from the approved Bridge Vista Overlay uses, standards, and/or requirements. Such on-land changes may include:

1. Adding or deleting uses;
2. Changes to building height limits / stepbacks up to a maximum of 35' high;
3. Setback modifications. No reduction in view corridors shall be allowed;
4. Building size and permissible footprint.
5. "Limitation Areas" shall remain as "Limitation Areas" with the existing standards.

E. Application Procedure.

1. An application to establish the Astoria Warehousing Plan District shall be processed through the following procedures:
  - a. The City or property owner/owners within the Plan District may apply to establish development regulations that affect one or more properties within the Astoria Warehousing Plan District.
  - b. An application to establish regulations that would govern development within the Astoria Warehousing Plan District is a legislative text amendment processed in accordance with the procedures established in Section 14.127 and in Development Code Articles 9 and 10.
  - c. An application to establish the boundaries of the Astoria Warehousing Plan District Overlay area is a legislative map amendment processed in accordance with the procedures established in Section 14.127 and in Development Code Articles 9 and 10 and may be processed concurrently with applications under subsection E.1.a.
  - d. The application shall include a master plan for the site along with written justification for the need to establish the Plan District and the specific proposed code modifications. Economic viability of a

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project alone shall not be deemed as justification for the proposed modifications.

2. An application to apply the Astoria Warehousing Plan District regulations to a specific project shall be processed through the following procedures:
  - a. The property owner shall be the applicant or co-applicant on all applications.
  - b. An application shall be processed as a quasi-judicial permit in accordance with the procedures established with the Plan District adoption and in accordance with the Development Code as applicable.

*(Section 14.127 added by Ord 19-14, 10-21-2019)*

14.128 to 14.129. ASTORIA WAREHOUSING PLAN DISTRICT REGULATIONS.

(Reserved for codifying future Plan District regulations.)

*(Section 14.128 and 14.129 added by Ord 19-14, 10-21-2019)*