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AGENDA

CANBY PLANNING COMMISSION

January 10, 2005

6:00 pm Workshop & 7:00 pm Regular Meeting
City Council Chambers - 155 NW 2nd Avenue

Workshop: North Redwood Master Plan

Planning Commissioners will discuss and provide input into the design of a neighborhood Master Plan for the area bounded by N Redwood Street, NE Territorial, Willow Creek and Highway 99E.

I. ROLL CALL

II. CITIZEN INPUT ON NON-AGENDA ITEMS

III. PUBLIC HEARINGS

DR04-08 HOPE VILLAGE The applicant is requesting approval to construct 24 additional Garden Homes on one 3.78 acre parcel at the HOPE Village retirement community. The proposal would complete the HOPE Village development with matching Garden Homes. The site is located on the west side of S Ivy Street, south of SW 13th Street.

IV. NEW BUSINESS

V. FINDINGS

Note: these are the final, written versions of previous oral decisions. No public testimony.

MOD 04-04 WILLAMETTE VALLEY COUNTRY CLUB

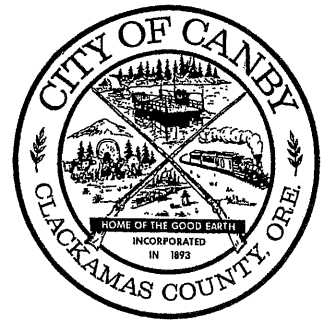
VI. MINUTES

December 13, 2004

VII. DIRECTORS REPORT

VIII. ADJOURNMENT

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for persons with disabilities should be made at least 48 hours before the meeting to Carla Ahl at 503-266-9404



MEMORANDUM

TO: *Canby Planning Commission*
FROM: *Darren Nichols, Associate Planner*
THROUGH: *John R. Williams, Community Development and Planning Director*
DATE: *January 3, 2005*
RE: *North Redwood Street Master Plan*

Happy New Year! To kick off 2005, the Planning Commission is invited to help develop a Master Plan for the North Redwood Street neighborhood. Staff will conduct a Master Plan prior to the public hearing on Monday, January 10, 2005. The workshop will begin at 6:00 PM in the City Hall Conference Room. A light supper will be provided.

The North Redwood Master Plan area includes all undeveloped and underdeveloped properties on the east side of N Redwood between Highway 99E and NE Territorial with additional properties included as necessary. During the workshop we hope to identify locations for roads, parks, pedestrian connections, utility infrastructure, wetlands and stormwater facilities and other necessary improvements. A copy of the preliminary site map is enclosed; please bring any drawings or suggestions that might help the discussion.

Previous meetings with neighbors and with the Northeast Canby Neighborhood Association provided the following considerations and concerns:

- No road connection to Willow Creek Estates
- Provide sufficient access to property east of Willow Creek (1 or 2 points)
- Use Willow Creek as a natural open space/ park/ pedestrian area
- Minimize the number of access points on N Redwood (4 max)
- Maintain high quality of design in the neighborhood
- Provide adequate emergency access

Other planning goals are attached along with the preliminary site plan and a wetlands diagram. If you have any questions, please call me at **503.266.9404**. If you can't make the workshop but would still like to participate, call or send me an e-mail.

Thanks for the help!

Darren Nichols

Associate Planner

503.266.9404

nicholsd@ci.canby.or.us

North Redwood Master Plan

Purpose

- To provide a predictable development pattern for future development
- To establish an acceptable, uniform development quality
- To maintain the integrity of the neighborhood throughout the development process
- To provide guidelines and to create land use efficiencies for multiple property owners

Development Standards (Existing)

- Low Density Residential = 4.2 homes per acre
- Medium Density Residential = 5.7 homes per acre
- High Density Residential = 14 homes per acre minimum

Development Constraints

- Limited connections to N Redwood Street
- Willow Creek and surrounding wetlands
- Limited east-west connections
- Existing development along the west side of N Redwood and at Willow Creek Estates
- Railroad as a barrier to access at Hwy 99E

Development Opportunities

- Potential park area and open space preservation along the Willow Creek wetlands
- Potential pedestrian connections to N Redwood, to Willow Creek, to the Willamette Wayside Park and to the Logging Road Trail
- Neighborhood specific subdivision design standards and home design standards
- Potential for zone changes to accommodate varying densities and/or increased open space
- Collaborative development between property owners to provide more efficient development

NE TERRITORIAL RD

FOREST

UGB

SPITZ RD

N TEAKWOOD ST

NE 21ST AV

NE 20TH AV

19TH AV

NE 19TH

City of Canby
1.85 acres

LP
Carole Berggren
2.31 acres

Ethan Manuel
.95 acres

Andrew & Paula Jarmer
1.82 acres 1.2 acres

Linda Thomas
4.95 acres

Lloyd & Joann Welch
.91 acres

Hugh and Roberta Boyle
10.06 acres

Dale and Linda Devnee
2.02 acres

Eric & Josephine Recht
2.48 acres

Allen Manuel
2.74 acres

Allen Manuel
Living Trust
.78 acres

Jerry & Londa
Corcoran
.93 acres

Damon & Cynthia Lyles
2.19 acres

Beverly Doolittle
2.77 acres

Altha Stewart
9.89 acres

Esther Morford
2.59 acres

Daryl & Margaret
Buchanan
6.97 acres

Martha Moretty
2.38 acres

Robert Swelland Jr.
4.57 acres

ManDan LLC

1.06 acres 1.44 acres

1.98 acres

TEAKWOOD ST

HWY

OTTO RD

1 ST

WILLOW CREEK

ST

N REDWOOD

MOLATA

N

99E

FOREST

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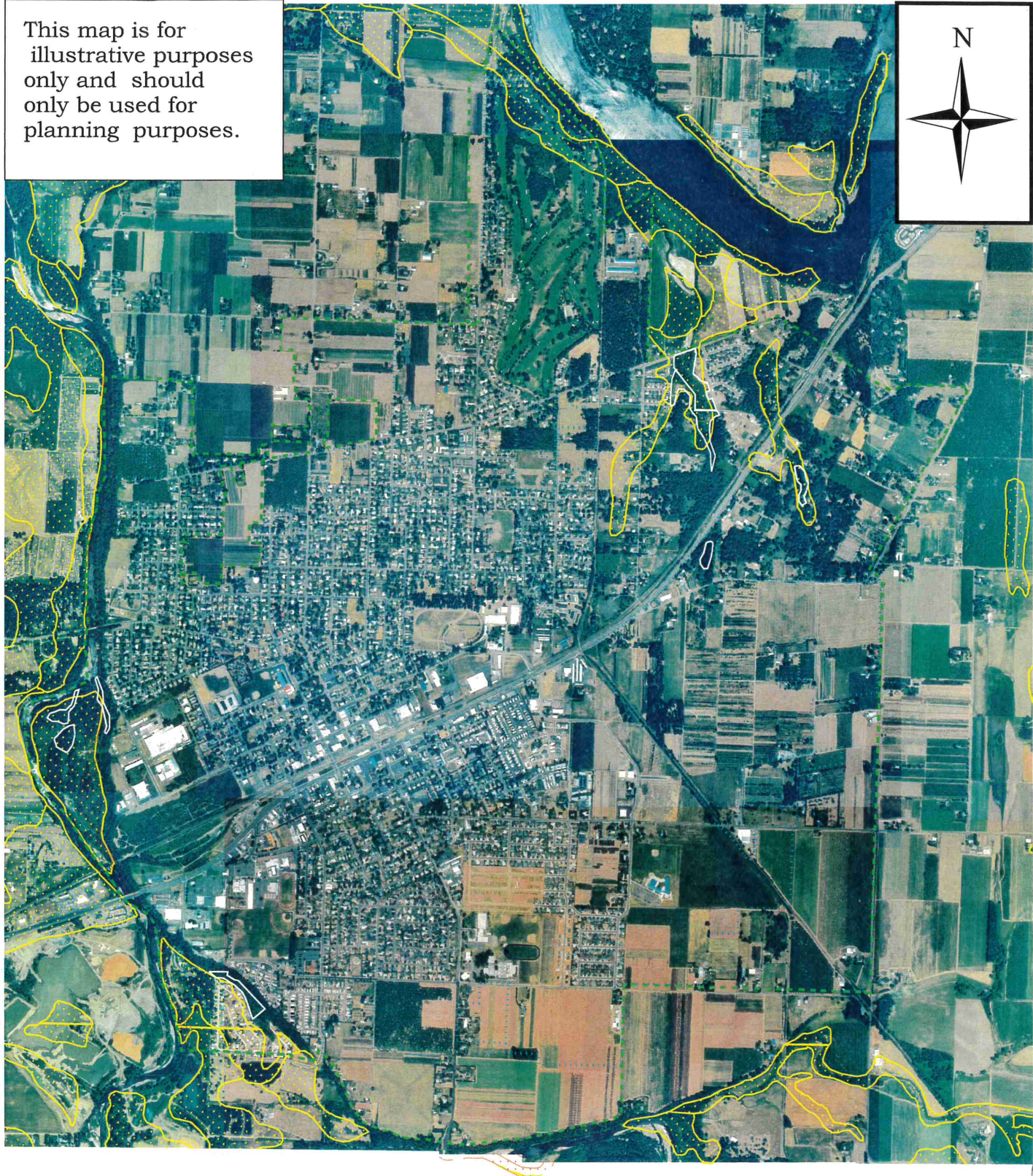
OTTO RD

1 ST

N REDWOOD ST

MOLALA

This map is for illustrative purposes only and should only be used for planning purposes.



City Limits



Urban Growth Boundary



Significant Wetlands

Hydric Soils



Top of Bank Full Stage

Riparian Buffer



City of Canby Wetland and Riparian Map

**BEFORE THE PLANNING COMMISSION
OF THE
CITY OF CANBY**

**A REQUEST TO EXPAND THE) FINDINGS, CONCLUSIONS & FINAL ORDER
MEMBERSHIP OF THE WILLAMETTE) MOD 04-04
VALLEY COUNTRY CLUB) (WVCC)**

NATURE OF APPLICATION

The applicant is requesting permission to expand their membership to 200 social members while limiting their "golf membership" to 500. Current membership is limited at 500 members total. The application is a modification of Conditional Use Permit 96-03, and as such is governed by the criteria for Conditional Use Permits.

HEARINGS

The Planning Commission held a public hearing and considered this application at its meeting of December 13, 2004.

CRITERIA AND STANDARDS

In judging whether or not a conditional use permit shall be approved, the Planning Commission shall weigh the proposal's positive and negative features that would result from authorizing the particular development at the proposed location and, to approve such use, shall find that the following criteria are either met, can be met by the application of conditions, or are not applicable.

- A. The proposal will be consistent with the policies of the Comprehensive Plan and the requirements of this title and other applicable policies of the City.
- B. The characteristics of the site are suitable for the proposed use considering size, shape, design, location, topography, existence of improvements, and natural features.
- C. All required public facilities and services exist to adequately meet the needs of the proposed development.
- D. The proposed use will not alter the character of the surrounding areas in a manner which substantially limits or precludes the use of surrounding properties for the uses listed as permitted in the zone.

I CERTIFY THAT THIS ORDER approving MOD 04-04 was presented to and **APPROVED** by the Planning Commission of the City of Canby.

DATED this 10th day of January, 2005.

Jim Brown, Chair
Canby Planning Commission

John R. Williams
Community Development & Planning Director

ATTEST:

ORAL DECISION – December 13, 2004

AYES: Brown, Manley, Molamphy, Ewert, Tessman, Helbling,

NAYS: none

ABSTAIN: none

ABSENT: none

WRITTEN FINDINGS – January 10th, 2005

AYES:

NAYS:

ABSTAIN:

ABSENT:

AGENDA
CANBY PLANNING COMMISSION

January 10, 2005

7:00 pm Regular Meeting/City Council Chambers, 155 NW 2nd

I. ROLL CALL

II. CITIZEN INPUT ON NON-AGENDA ITEMS

III. PUBLIC HEARINGS

DR04-08 HOPE VILLAGE The applicant is requesting approval to construct 24 additional Garden Homes on one 3.78 acre parcel at the HOPE Village retirement community. The proposal would complete the HOPE Village development with matching Garden Homes. The site is located on the west side of S Ivy Street, south of SW 13th Street.

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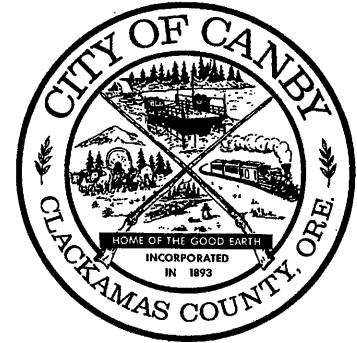
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Carla Ahl at 503-266-9404*



- STAFF REPORT -

APPLICANT:

Jerry Barkman, Executive Director
HOPE Village
1535 S Ivy Street
Canby, OR 97013

FILE NO.:

DR 04-08
(HOPE Village Garden Homes)

OWNER:

HOPE Village, Inc.
1535 S Ivy Street
Canby, OR 97013

STAFF:

Darren Nichols
Associate Planner

LEGAL DESCRIPTION:

Tax Lot 807 of Tax Map 4-1E-04D

DATE OF REPORT:

December 30, 2004

LOCATION:

Southwest quadrant of the intersection of S Ivy Street and SW 13th Avenue. The subject parcel lies at the northwest corner of the site.

DATE OF HEARING:

January 10, 2005

COMP. PLAN DESIGNATION:

R 1.5 – Medium Density Residential

ZONING DESIGNATION:

R 1.5 – Medium Density Residential

I. APPLICANT'S REQUEST:

The applicant is requesting approval to construct twenty four additional Garden Homes on one 3.78 acre parcel at the HOPE Village retirement community. The proposal would complete the HOPE Village development with matching Garden Homes. Access to the proposed extension would be provided by means of an existing 25' private street with ingress/egress at existing locations along SW 13th Avenue and S Fir Street.

II. APPLICABLE REGULATIONS

City of Canby General Ordinances:

- 16.10 Off-street Parking and Loading
- 16.18 R 1.5 Medium Density Residential Zone
- 16.21 Residential Design Standards
- 16.49 Site and Design Review

III. MAJOR APPROVAL CRITERIA

16.49.040 Site and Design Review - Criteria and Standards

1. The Board shall, in exercising or performing its powers, duties or functions, determine whether there is compliance with the following:
 - A. The proposed site development, including the site plan, architecture, landscaping and graphic design, is in conformance with the standards of this and other applicable city ordinances insofar as the location, height and appearance of the proposed development are involved; and
 - B. The proposed design of the development is compatible with the design of other developments in the same general vicinity; and
 - C. The location, design, size, color and materials of the exterior of all structures and signs are compatible with the proposed development and appropriate to the design character of other structures in the same vicinity.
 - D. The Board shall, in making its determination of compliance with subsections B and C above, use the following matrix to determine "compatibility". An application is considered to be "compatible", in regards to subsections B and C above, if a minimum of 65 percent of the total possible number of points (not including bonuses) are accumulated for the whole development.
 - E. It must be demonstrated that all required public facilities and services are available, or will become available through the development, to adequately meet the needs of the proposed development.
2. The Board shall, in making its determination of compliance with the above requirements, be guided by the objectives and standards set forth in this section. If the site and design review plan includes utility facilities or public utility facility, then the City Planner shall determine whether those aspects of the proposed plan comply with applicable standards.

3. The Board shall, in making its determination of compliance with the requirements set forth, consider the effect of its action on the availability and cost of needed housing. The Board shall not use the requirements of this section to exclude needed housing types. However, consideration of these factors shall not prevent the Board from imposing conditions of approval necessary to meet the requirements of this section. The costs of such conditions shall not unduly increase the cost of housing beyond the minimum necessary to achieve the purposes of this ordinance.

4. As part of the site and design review, the property owner may apply for approval to cut trees in addition to those allowed in Section 12.20.080 of the City Tree Ordinance. The granting or denial of said application will be based on the criteria in Chapter 12.20 of the City Tree Ordinance. The cutting of trees does not in and of itself constitute change in the appearance of the property which would necessitate application for site and design review.

DESIGN REVIEW MATRIX

Parking			
Screening of loading facilities from public ROW [not screened /partially screened / full screening]	0	1	2
Landscaping (breaking up of expanse of asphalt)	0	1	
Parking lot lighting [no / yes]	0	1	
Location (behind the building is best)[front / side / behind]	0	1	2
Number of parking spaces (% of min.) [x>120% / 100%-120% / x=100%]	0	1	2
Traffic			
Distance of access to intersection [x<70' / 70'-100' / x>100']	0	1	2
Access drive width (% of minimum) [x<120% or x>150% / 120%-150%]	0	1	
Pedestrian access from public sidewalk to bldg. [1 entrance connected / all entrances connected]	0		2
Pedestrian access from parking lot to building [No walkways / Walkway next to bldg / No more than one undesignated crossing of access drive and no need to traverse length of access drive]	0	1	2
Tree Retention			
For trees outside of the building footprint and parking/access areas (3 or more trees) [No arborist report / follows <50% of arborist recommendation / follows 50%-75% of arborist rec. / follows 75% of arborist rec.]	0	1	2 3
Replacement of trees removed that were recommended for retention [x<50% / x>50%]	0	1	
Bonus Points			
2 or more trees at least 3" in caliper		1	2
Park/open space retention for public use		1	2
Trash receptacle screening		1	

Signs			
Dimensional size of sign (% of maximum permitted) [x>75% / 50% - 75% / x<50%]	0	1	2
Similarity of sign color to building color [no / some / yes]	0	1	2
Pole sign [yes / no]	0	1	
Location of sign [x>25' from driveway entrance / within 25' of entrance]	0	1	

Building Appearance			
Style (architecture) [not similar - similar to surrounding]	0	1	2
Color (subdued and similar is better) [neither/similar or subdued/similar & subdued]	0	1	2
Material [concrete or wood or brick is better]	0	1	
Size (smaller is better) [over 20,000 s.f. / under 20,000 s.f.]	0	1	

Types of Landscaping			
# of non-required trees [x<1 per 500 SF of landscaping / 1 or more per 500 SF of landscaping]	0	1	
Amount of Grass [<25% / 25% - 50% / x>50%]	0	1	2
Location of shrubs [foreground / background]	0	1	
Automatic Irrigation) [no / yes]	0		4

V. FINDINGS:

A. Background and Relationships:

The HOPE Village campus is located on the south side of SW 13th Avenue, between S Fir Street and S Ivy Street. The site is zoned R-1.5 Medium Density Residential. Adjacent to the west and to the south are parcels outside the City limits. One parcel adjacent to the HOPE campus at the northwest corner is annexed and constructed as a single family subdivision (Sequoia Place). To the east is a mix of city parcels zoned R-1.5 and R-1 and several parcels outside city limits. To the north, across 13th Avenue, are established neighborhoods zoned R-1 Low Density Residential.

Recent road improvements at SW 13th Avenue and S Fir Street are sufficient to provide access to the subject parcel. Additional improvements proposed as part of this Site and Design Review application will facilitate pedestrian activity and improve pedestrian access to the HOPE Village campus.

The HOPE project initially received approval as a Planned Unit Development in July of 1991 (PUD 91-01/CUP 91-05). The current application is one of a series filed by HOPE Village. The application meets the requirements of the CUP/PUD conditions of approval, since the proposed homes are included in the HOPE Village master site plan (see the overall site Master Plan included in applicant's packet).

This proposal differs from the original approved Master Plan in that it calls for 24 Garden Homes instead of the 18 originally approved for this phase. The original site plan proposed a pedestrian oriented open space at the corner of SW 13th and Fir. The development has since incorporated additional open space and pedestrian amenities at The Meadows portion of the HOPE development. These existing improvements provide a quieter off-street park area, making the "corner park" somewhat redundant.

The applicant proposes instead a smaller scale "corner garden" with pedestrian amenities (greenery, benches and a small plaza). The garden is intended to provide an enjoyable resting spot for walkers while making room one additional set of Garden Homes. The Garden Homes fill a unique niche in Canby's housing market, providing single story attached units for independent seniors. Providing several more housing units to this market meets the needs of the community and further utilizes the amenities already in place on the HOPE campus.

B. Evaluation Regarding Site and Design Review Approval Criteria

1. Parking Lot Landscaping Standards

The site has no existing landscape. The site plan calls for lawn and shrub material with several trees. Proposed landscaping is more than sufficient to meet Site and Design Review requirements.

2. Parking

The applicant intends to provide 48 full size parking spaces – one space at the front of each dwelling and 24 spaces in a common parking area at the north and west ends of the development. The proposal meets minimum parking requirements for the site (2 spaces per dwelling for a total of 48).

3. Access

Vehicle parking will most likely be accessed from a common campus entrance on S Fir Street. Traffic may also access the development from a drive entrance into the existing parking area along SW 13th. Pedestrian access is proposed by means of new interior sidewalks as well as existing walkways along street frontages. Existing and proposed vehicle and pedestrian accesses are adequate to serve the subject parcel and surrounding development.

4. Architecture and Signs

The Garden Homes are also subject to residential design standards as outlined in CMC 16.21. The proposed design meets Canby's minimum design standards and matches existing adjacent Garden Homes. Two signs are also proposed as part of this design review; one each at the NW and NE corners of the campus. Signs are proposed to be 18" tall, non-illuminated concrete at the street corners of the development. The signs are intended to provide assistance to drivers unfamiliar with the HOPE Village campus.

5. Availability of Adequate Public Facilities and Services

All utility providers were sent a Request for Comments. The proposed extension of Garden Homes is part of the HOPE Village Master Plan, which anticipates the proposed development. Utility and service providers stated that adequate public facilities are available or will become available through the development.

6. Compatibility

The proposed development is compatible with the surrounding residential neighborhood and is in keeping with the original approved Master Plan. The Garden Home design provides an aesthetic street presence and an inviting façade to the surrounding community. The overall site design provides an open campus with ample pedestrian access for residents and neighbors. A proposed corner garden will add pedestrian amenities and encourage passersby to enjoy the campus.

In order to be considered "compatible", an application must meet at least 65% of the total number of points possible.

** See Design Review Matrix above and scoring below.*

CRITERIA	PTS/ POSS	NOTES
Parking		
Screening of loading facilities	N/A	
Parking lot landscaping	1/1	Landscaping in parking area.
Parking lot lighting	1/1	Parking lot lighting provided.
Location of parking	0/2	Parking on street side.
Number of parking spaces	2/2	Provides 100% of required.
Traffic		
Distance of access to intersection	2/2	Intersections over 100' away.
Pedestrian access from public sidewalk	2/2	Entrance connected.
Pedestrian access from parking lot to residences	2/2	Interconnected walkways.
Signs		
Dimensions of signage proposed	2/2	Less than 50% of allowable
Similar color to homes	2/2	Concrete signs compatible
Pole sign – No	1/1	18” ground signs, no poles
Sign location from driveways	0/1	Signs > 25’ from driveways
Building Appearance		
Style	2/2	Style of architecture will be similar to existing Garden Homes and surrounding development.
Color	2/2	Colors subdued and similar.
Material	1/1	Wood siding with brick wainscoting.
Size	1/1	Building area < 20,000 square feet.
Types of Landscaping		
Non-Required Trees	0/1	The applicant is not proposing more than 1 non-required tree per 500 square feet of landscaping.
Lawn Area	2/2	> 50% of the landscaping is lawn.
Shrub Location	1/1	Majority of shrubs in the background.
Automatic Irrigation	4/4	All areas automatically irrigated.
Bonus Points		
Trash Receptacle Screening	1/0	Trash receptacles are screened.
Park/Open Space	1/0	A portion of the HOPE development is designated for public open space.

Proposed Score with Bonus Points: 30/32 = 94%

The proposed design meets more than the minimum 65% required for consideration.

7. Development Standards

The R-1.5 zone allows residential development, including zero lot line development as a conditionally permitted use. The proposed development meets height and setback requirements in the R-1.5 zone and the residences do not infringe on any vision clearance areas.

V. CONCLUSION

Staff concludes that the application meets the requirements for Site and Design Review approval with additional recommended conditions. In direct response to the criteria for Site and Design Review, staff concludes the following:

- A. The proposed development, including the site plan, architecture, landscaping and graphic design, is in conformance with the standards of this and other applicable City ordinances insofar as the location, height and appearance of the proposed development are involved;

The proposal meets the minimum development requirements for the R-1.5 zone pertaining to lot size, building area, setbacks and residential design.

- B. The proposed design of the development is compatible with the design of other developments in the same general vicinity; and
- C. The location, design, size, color and materials of the exterior of all structures and signs are compatible with the proposed development and appropriate to the design character of other structures in the same vicinity.

See specific comments under section IV(B) above.

- D. The Board shall, in making its determination of compliance with subsections B and C above, use the following matrix to determine “compatibility”. An application is considered to be “compatible”, in regards to subsections B and C above, if a minimum of 65% of the total possible number of points (not including bonuses) are accumulated for the whole development.

The application meets 94% of the possible points. For specific performance or the proposal, refer to the matrix analysis above.

- E. It must be demonstrated that all required public facilities and services are available, or will become available through the development, to adequately meet the needs of the proposed development.

All public facilities and services are available to service the development.

- F. The Board shall, in making its determination of compliance with the above requirements, be guided by the objectives and standards set forth in this section. If the site and design review plan includes utility facilities or public utility facility, then the City Planner shall determine whether those aspects of the proposed plan comply with applicable standards.

All utilities exist or can be modified to adequately serve the site.

- G. The Board shall, in making its determination of compliance with the requirements set forth, consider the effect of its action on the availability and cost of needed housing. The Board shall not use the requirements of this section to exclude needed housing types. However, consideration of these factors shall not prevent the Board from imposing conditions of approval necessary to meet the requirements of this section. The costs of such conditions shall not unduly increase the cost of housing beyond the minimum necessary to achieve the purposes of this ordinance.

This proposal will provide needed housing without impacting cost/availability.

- H. As part of the site and design review, the property owner may apply for approval to cut trees in addition to those allowed in Section 12.20.080 of the City Tree Ordinance. The granting or denial of said application will be based on the criteria in Chapter 12.20 of the City Tree Ordinance. The cutting of trees does not in and of itself constitute change in the appearance of the property which would necessitate application for site and design review.

N/A

VI. RECOMMENDATION:

Based on the application and visual inspection, along with the site plan received by the City, the facts, findings and conclusions of this report, and without the benefit of a public hearing, staff recommends that the Planning Commission approve DR 04-08 with the following conditions:

Prior to construction:

1. A pre-construction conference shall be held prior to the issuance of building permits. Thirteen copies of the pre-construction plans shall be given to the City Planner's Office to be reviewed and approved by all applicable utility providers *prior to the pre-construction conference.*
2. A revised, full-size set of **all** submitted development plans (including site plan, utility plan, grading plan, landscape plan, etc.) shall be provided, depicting each of the written conditions to the satisfaction of the City Planning Department.
3. The design, location and planned installation of all utilities, including but not limited to water, electric, sanitary sewer, natural gas, and telephone and cable communications shall be approved by the appropriate utility provider. Any relocation of existing utilities shall be performed at the expense of the applicant.

4. As necessary, any recorded easements on the property shall be approved for vacation by appropriate utility providers and/or new easements shall be recorded to utility providers' specifications.

For the Building Permit Application:

5. A detailed landscape construction plan shall be submitted with the building permit application. The detailed landscape plan shall show: the number of plants, plant spacing and location of planting, the type and size of plant materials, a planting schedule and irrigation plans. The final landscape plan shall reflect the approved landscape plan submitted with the Site and Design Review application and any modifications conditioned.
6. Landscape materials shall be planted to provide a minimum of 95% coverage of landscaped areas with vegetation within a 3-year time period. Bark mulch, rock and similar material shall consist of not more than 5% of the total landscaped area after said 3-year period. All required trees shall be a *minimum* of 2" caliper at the time of installation.
7. The development shall provide a minimum of 48 parking spaces; on-site parking shall include a minimum of 24 full sized spaces, not including garage space. For all additional parking, wheel stops shall be required in areas where abutting sidewalks are less than 8 feet in width and in areas where landscaping within 2 feet of the curb is not limited to lawn and groundcover or could be damaged by vehicle overhangs. For parking spaces that do not meet the above criteria, wheel stops shall be placed twenty four inches in front of the end of the space.
8. All interior sidewalks and accessways shall be a minimum of five feet in width.
9. Bicycle parking shall be provided as per requirements of CMC 16.10.100.
10. Details of sign dimensions and construction techniques shall be shown on the building permit submittal or on a subsequent sign permit application.

Prior to Issuance of a Building Permit

11. All storm water shall be disposed on-site. The design of stormwater facilities shall be approved by the City Engineer and Public Works Supervisor. The applicant is responsible for obtaining approval from Clackamas County and the State of Oregon – DEQ for stormwater management permit approval.
12. An Erosion Control permit is required. Approved erosion control measures shall be in place during construction and shall conform to the City of Canby's Erosion Control Ordinance.

During Construction

13. All grading and fill on the site shall comply with State, City and County regulations.
14. Any relocation of existing utilities required due to construction of the development shall be performed at the expense of the applicant.
15. ADA Ramps shall be provided as required by the Public Works Supervisor.
16. All site lighting shall be "hooded" to project light downward.
17. Frontage improvements shall be constructed and/or maintained as required by the Public Works Supervisor, including but not limited to, sidewalks, curbs, ADA ramps, lighting, etc.
18. Required trees shall be placed no closer than 10 feet from any sewer main or sewer lateral. Tree placement shall be reviewed and approved by the Public Works supervisor prior to installation of landscape materials.

After Construction

19. The developer shall provide a copy of as-built drawings to the City of Canby following completion of the Garden Homes. As-built drawings shall include at a minimum:
 - the location, size and specifications of all underground utilities,
 - the location of all easements on the subject parcel and adjacent parcels,
 - any changes to the originally approved site and utility design

Exhibits:

1. Applicant's narrative
2. Responses to Request for Comments
3. Project plan

SITE AND DESIGN REVIEW APPLICATION

FEE *See Fee Schedule Below
Process Type III

OWNERS

APPLICANT*

Name: Hope Village, Inc.

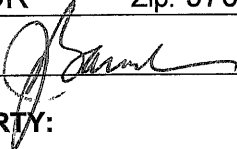
Name: Jerry W. Barkman, Executive Director

Address: 1535 S. Ivy

Address: 1535 S. Ivy

City: Canby State: OR Zip: 97013

City: Canby State: OR Zip: 97013

Owners Signature: 

Phone: 503-266-9810

DESCRIPTION OF PROPERTY:

Address: 1441 S. Ivy, Lot 5 of the Hope Village Sub-division

Tax Map: 41E04D Tax Lot(s): 00807 Lot Size: 3.78 (Acres/Sq.Ft.)

USE OF PROPERTY

Existing Use: Undeveloped farm land

Proposed Use: Construction of 24 gardenhomes for senior living

Existing Structures: none

Zoning: Medium 1.5 Comprehensive Plan Designation: Residential Medium Density

Previous Land Use Action (if any): PUD 1992

Total Fee = Size Component (based on acreage) + Public Improvement Component	
Size Component	
\$1,500 first 0.5 acres	1500.00
\$100 for each additional 0.1 acres from 0.5 acres up to 2.5 acres	2000.00
\$100 for each additional 0.5 acres from 2.5 acres up to 8.0 acres	300.00
\$100 for each additional 1.0 acres from 8.0 acres up to 13 acres	3800.00
\$5,000 Maximum for 13 acres and above	
Public Improvements Component	
0.3% of total estimated public improvement cost (to be submitted with design review application). No Cap on cost	

FOR CITY USE ONLY	
File # :	
Date Received:	By:
Completeness:	
Pre-App Meeting:	
Hearing Date:	

***If the applicant is not the property owner, they must attach documentary evidence of their authority to act as gent in making this application.**

Hope Village, Inc.
Supplement to Site & Design Review Application
1441 S. Ivy, Canby, Oregon
Lot 5 of the Hope Village Sub-division

This is a site design review application for lot 5 of Hope Village in Canby, Oregon. This will be the final review application for the completion of the village which began in 1996.

The original annexation/zoning/planned unit development (PUD) was approved in 1992. The PUD gave authorization for the development of 379 units, including the nursing/assisted living facilities. If this application for the final 24 units of gardenhomes is approved, we will have the following facilities/units in place:

Gardenhomes	126 units
Assisted Living/Nursing	130 units
Cascade House	50 units
The Meadows	50 units
Community Center	<u>0 units</u>
Total	356 units

The result of our completing less units than allowed under the PUD is that we have more land area to develop as landscaped areas and sidewalks.

- A. This application is for the approval of a design which allows for the construction of 24 gardenhomes in 6-plex configuration. The floor plan and the exterior designs of the homes are the same as that of the previous 9 phases of gardenhomes at Hope Village. These homes are leased to the resident under our life-lease arrangement.
- B. Landscaping will be the same as that provided for all of Hope Village (see attached landscape plan). Underground irrigation systems will be a continuation of our internal system fed by a well located on the community center lot.
- C. Underground utilities will be a completion of the system of utilities developed during the past 8 years. All utility providers have been contacted regarding this application and the extension of their utility lines to the proposed homes.
- D. Parking areas will be constructed according to our pattern used in the previous 9 phases: 1 addition parking lot for each home. These parking areas face either Fir Street or 13th Street.
- E. The Linear Park

In 2000, we developed the concept of a "linear park" which was made into an easement which is recorded in the deeds of Hope Village. This park concept created a larger

park-like area on the corner of 13th and Fir Street. The result of this easement was that only 18 homes could be constructed on lot 5 in configurations of 3 6-plexes. In this application, we are requesting that the easement on Lot 5 be re-configured so that we can build an additional 6-plex on this lot. We have several reasons for making this request:

1. We have experienced phenomenal demand for our gardenhomes. At present, all of the 10 homes in phase 9 (now under construction with completion in June of 2005) have been leased with over 100 people on the waiting list. Since we are still under our maximum housing units allowed by the original PUD, we would like to construct these additional gardenhomes.
 2. We have developed a whole series of sidewalks and green spaces within Hope Village which we consider part of the linear park. As can be seen from our overall plan, park benches have been placed throughout the campus which can be used by those who wish to sit before resuming their walking through Hope Village. Sidewalk intersections are curved to produce an area for ornamental trees and flower plantings. In addition, we have developed a recreation space in close proximity to the community center including gardens, grassy areas and a future horseshoe pit. The area between Cascade House and The Meadows is a large open areas which is dedicated to trees, flowers and lawns.
- F. On the second sheet of our drawing, we show a drawing for a low concrete "Hope Village" sign. One sign will be placed at the corner of 13th Fir and the corner of 13th and Ivy. The dimensions will be about 24" high and 48" long. Both signs will face the intersections and will identify the project as "Hope Village."

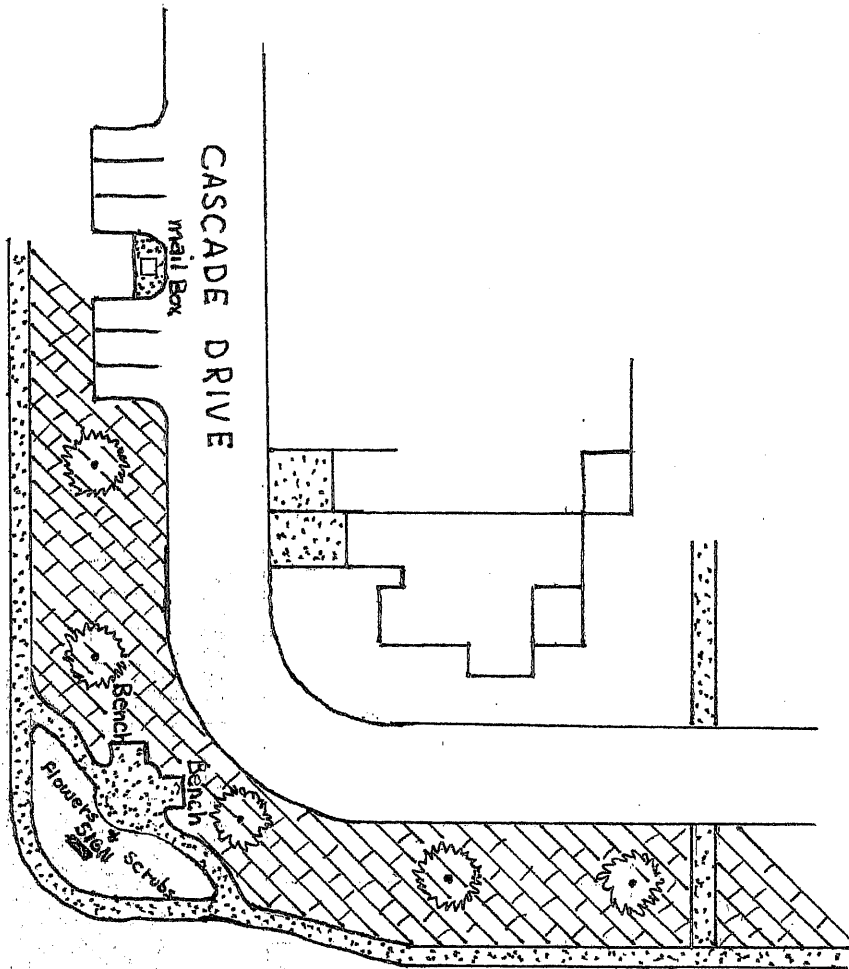
Submitted by Jerry W. Barkman, Executive Director

Hope Village, Inc.
Detail of Park Area 13th & Fir Street

SOUTHWEST 13TH AVENUE

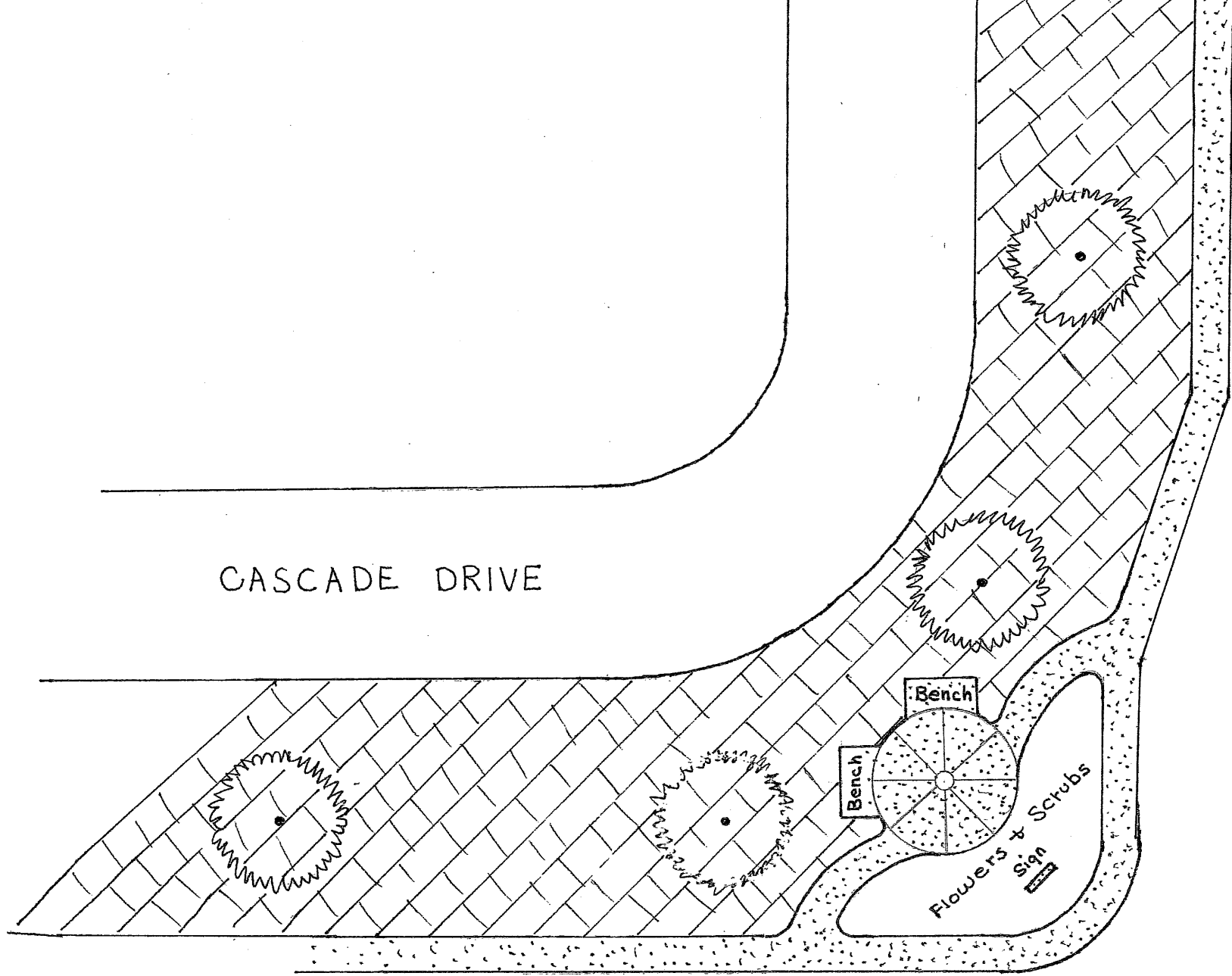
CASCADE DRIVE

SOUTH FIR STREET



Scale 1" = 50 ft.

Hope Village, Inc.
Detail of Park Area 13th & Fir Street

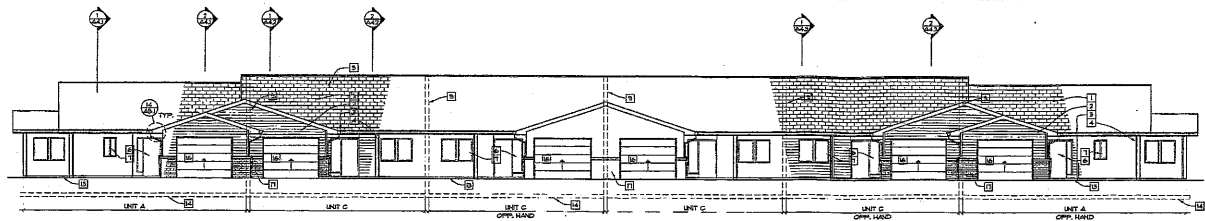


CASCADE DRIVE

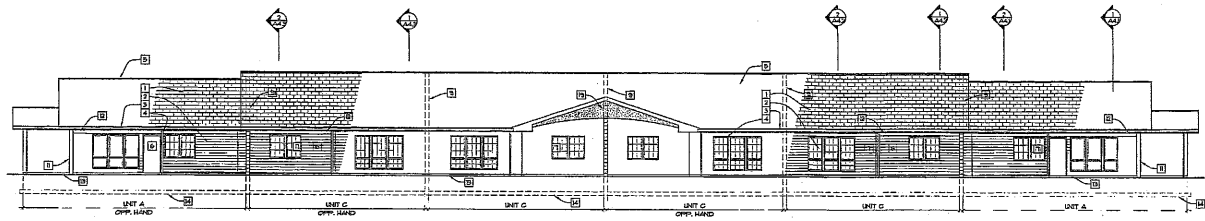
S.W. 13TH AVENUE

SOUTH FIR STREET

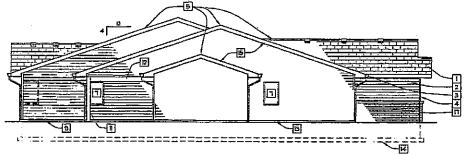
Scale 1" = 20 ft.



1 TYPE II & FLEX FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 TYPE II & FLEX REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 TYPE II & FLEX END ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION REGARDING BUILDING SYSTEMS.
2. PROVIDE ALL WEIR TRAP ROOF PENETRATIONS FOR HVAC, PLUMBING AND ELECTRICAL. DRAINAGE SHALL FOLLOW THE SLOPE OF ROOFING. ALL PEN TRAPS REQUIRE STANDARD ROOF DETAIL.
3. REFER TO TILE SHEET TO SEE UNIT FLOOR FINISHES.
4. AREA SEPARATION SHALL REFER TO TILE SHEET TO SEE UNIT FLOOR FINISHES. ALL AND UNIT FLOOR FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE INDICATED.

ELEVATION NOTES:

- COPPERATION ROOFING OVER BUILDING FIELD
- METAL EXTERIOR SIDING
- CONTIGUOUS METAL GUTTER
- DOWN SPOUT
A. DITCHES TO WALL
B. DITCHES TO 2" DIA. PVC
C. DITCH INTO RAIN ROOF + GRADE
REFER TO ROOF PLAN
- THESE VENTS EXTEND TO END OF RAISE + PROVIDE CAP.
REFER TO ROOF PLAN
- DOOR - SEE SCHEDULE
- WINDOW - SEE PLAN FOR TYPES
- NOT USED
- NEW DIMENSIONS SHALL SEE UNIT PLANS FOR ADDITIONAL INFORMATION
- △ NOT USED
- WOOD COLUMN
- BRICK - SEE STRUCTURAL DRAWINGS
- FOUNDATION LINE, REFER TO STRUCTURAL DRAWINGS
- BOTTOM OF FOOTING, REFER TO STRUCTURAL DRAWINGS
- TRACIA BOARD
- WALL OF GARAGE DOOR
- BRICK (SANDWICH TO 4" OF AFF. - SEE PLAN)
- BUILDING STEP (SEE CROSS - SEE CIVIL AND BUILDING PLANS, SHEET 204)
- METAL GRAY PANELING
- △ NOT USED



REGISTERED ARCHITECT
ARCHITECTURAL ASSOCIATION OF ONTARIO

JOB NO. 2620462044
DATE 21 AUG 2024

DRAWN

- REVISIONS
- △ 5. JUNE 24
 - △ CHANGE WALLS
 - △ REVISION DRAWINGS
 - △ 2. JUNE 24 REVISIONS
 - △ 3. 05/27/24 REVISIONS
 - △ 3. 05/27/24 REVISIONS



ANNUCCALE COSTIC
ARCHITECTS, INC.
3000 SHEPPARD AVENUE EAST
SUITE 1011111
SCARBOROUGH, ONTARIO
M1S 4E6
www.annuccalecostic.com

HOPE VILLAGE
GARDEN
APARTMENTS

PHASE 2C, PK 4.3C
HOPE VILLAGE
PO BOX 108
CAMBRIE, ONTARIO
SHEET

A31

Hope Village, Inc.
1535 S. Ivy
Canby, Oregon 97013



503-266-9810
Fax 503-263-7854
info@hopevillage.org

March 7, 2005

John Williams
Director of City Planning
City of Canby
Box 930
Canby, OR 97013

Dear John,

Enclosed is a sheet showing the proposed signs to be placed at the corners of 13th & Ivy and 13th & Fir. The Planning Commission requested that we bring back a new design for their approval. This is the same sign design as we now have at 13th and Holly and our front entrance on South Ivy.

The Fir Street sign will be lighted at night by an internal light fixture. The Ivy Street sign will not be lit. It will be very difficult to get electricity to the sign. With the existing street lights at the intersection of 13th and Ivy we feel there is sufficient light for the sign at night.

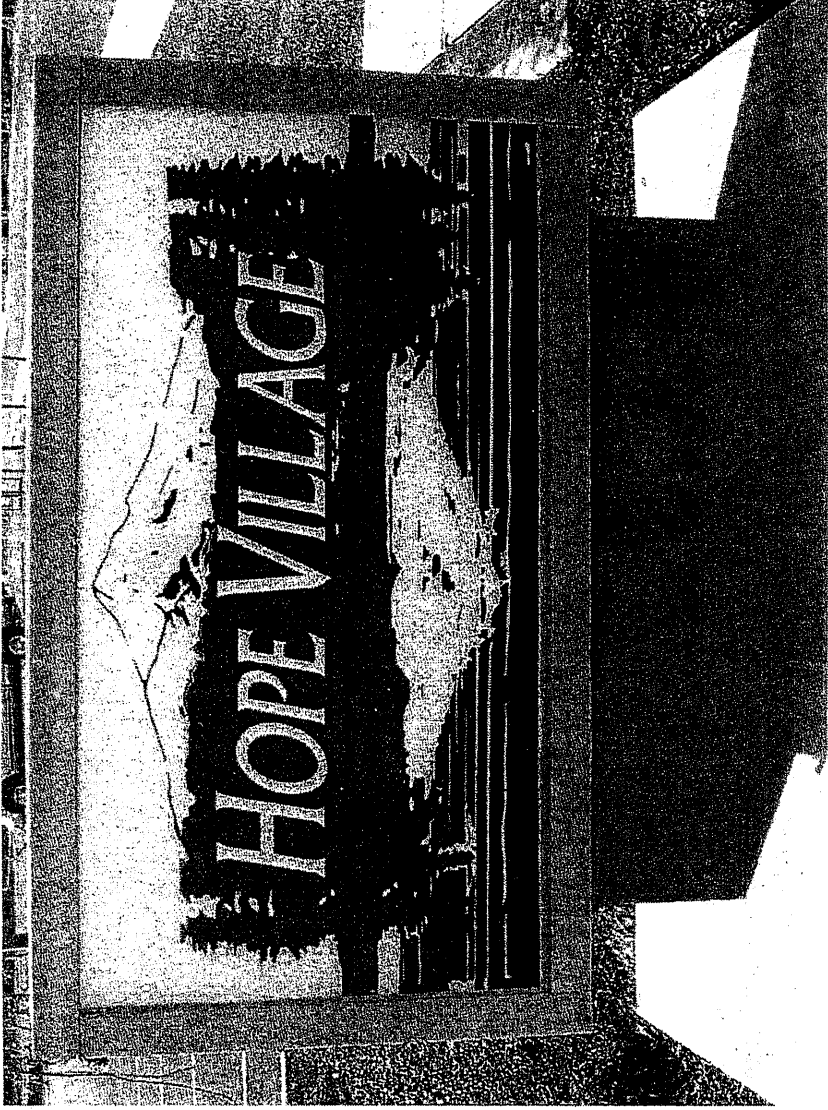
Please present this letter and the drawings to the Planning Commission. You may call me at (503) 266-9810 if you have any questions.

Sincerely,

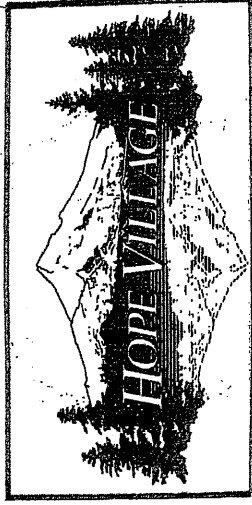
A handwritten signature in black ink, appearing to read "J. Barkman", written over a horizontal line.

Jerry W. Barkman,
Executive Director

/jb



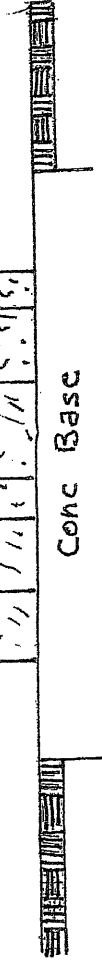
36" Wide



18" High

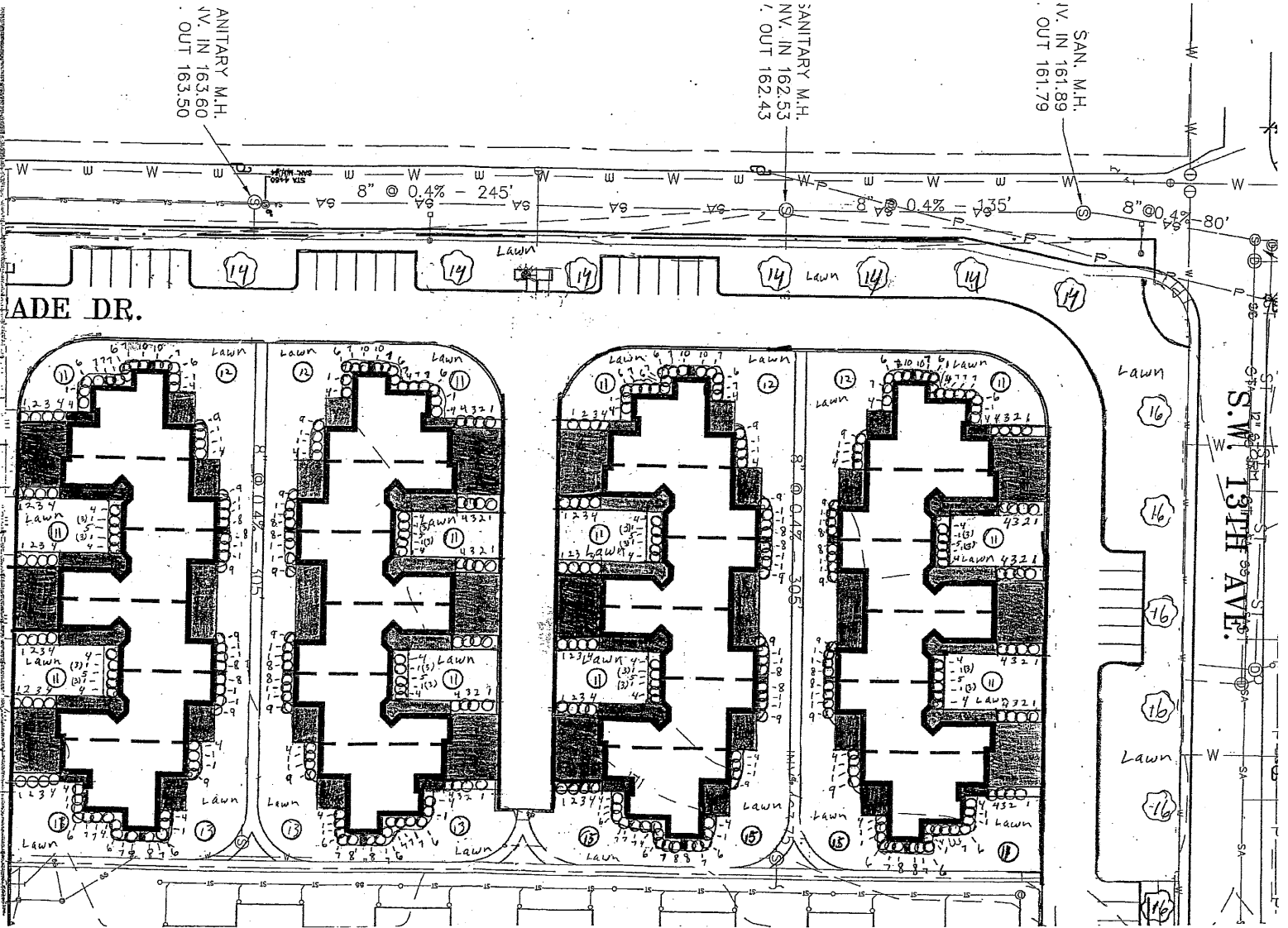
Rough Textured
Conc Base

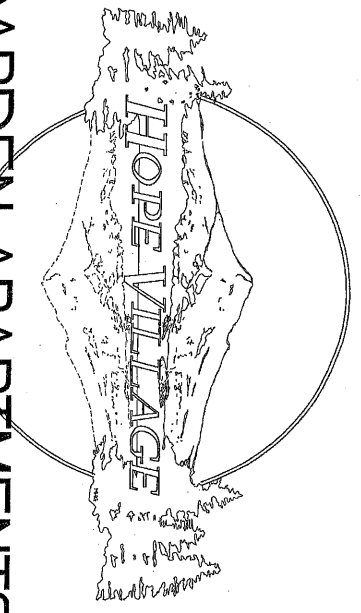
Conc Base



Land scape Plan

Symbol	Name	Size
1	Abalea	1gal
2	Eunomus Baiety	1gal
3	Picea Abies Little Gem	1gal
4	Rhodie	3gal
5	Oswood	5'-6"
6	Emerald Ashie	3gal
7	spirea	1gal
8	Pieris Andromeda	3gal
9	Boxwood	1gal
10	Nandina	3gal
11	Boxhell maple	2"
12	Capital Pear	2"
13	Prairie Spire Ash	2"
14	Autumn Blaze maple	2"
15	Pacific Sunset maple	2"
16	October Glory maple	2"





GARDEN APARTMENTS

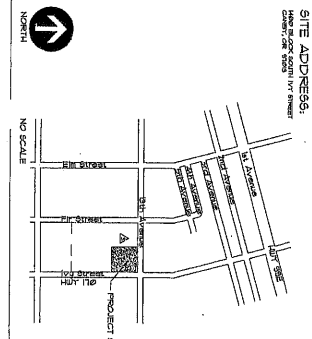
PHASE NINE, TEN, ELEVEN AND THIRTEEN APARTMENTS

CANBY, OREGON

CONSULTANTS

OWNER	HOPE VILLAGE 1000 N. 10TH ST. CANBY, OR 97001
ARCHITECT	AMERICAN CONCRETE ARCHITECTS, INC. 1000 N. 10TH ST. CANBY, OR 97001
CIVIL	UNDER SEPARATE COVER
STRUCTURAL	UNDER SEPARATE COVER
Mechanical/Plumbing	UNDER SEPARATE COVER
Electrical	UNDER SEPARATE COVER
Landscaping	UNDER SEPARATE COVER

VICINITY MAP



SHEET INDEX

ARCHITECTURAL	10 TITLE SHEET 11 COVER SHEET 12-13 GENERAL NOTES 14-15 FLOOR PLANS 16-17 SECTION PLANS 18-19 ELEVATIONS 20-21 EXTERIOR FINISHES 22-23 INTERIOR FINISHES 24-25 MECHANICAL/PLUMBING 26-27 ELECTRICAL 28-29 LANDSCAPING 30-31 DETAILS
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ELECTRICAL	99-100 ELECTRICAL 101-102 ELECTRICAL 103-104 ELECTRICAL 105-106 ELECTRICAL 107-108 ELECTRICAL 109-110 ELECTRICAL 111-112 ELECTRICAL 113-114 ELECTRICAL 115-116 ELECTRICAL 117-118 ELECTRICAL 119-120 ELECTRICAL 121-122 ELECTRICAL 123-124 ELECTRICAL 125-126 ELECTRICAL 127-128 ELECTRICAL 129-130 ELECTRICAL 131-132 ELECTRICAL 133-134 ELECTRICAL 135-136 ELECTRICAL 137-138 ELECTRICAL 139-140 ELECTRICAL 141-142 ELECTRICAL 143-144 ELECTRICAL 145-146 ELECTRICAL 147-148 ELECTRICAL 149-150 ELECTRICAL 151-152 ELECTRICAL 153-154 ELECTRICAL 155-156 ELECTRICAL 157-158 ELECTRICAL 159-160 ELECTRICAL 161-162 ELECTRICAL 163-164 ELECTRICAL 165-166 ELECTRICAL 167-168 ELECTRICAL 169-170 ELECTRICAL 171-172 ELECTRICAL 173-174 ELECTRICAL 175-176 ELECTRICAL 177-178 ELECTRICAL 179-180 ELECTRICAL 181-182 ELECTRICAL 183-184 ELECTRICAL 185-186 ELECTRICAL 187-188 ELECTRICAL 189-190 ELECTRICAL 191-192 ELECTRICAL 193-194 ELECTRICAL 195-196 ELECTRICAL 197-198 ELECTRICAL 199-200 ELECTRICAL
LANDSCAPING	201-202 LANDSCAPING 203-204 LANDSCAPING 205-206 LANDSCAPING 207-208 LANDSCAPING 209-210 LANDSCAPING 211-212 LANDSCAPING 213-214 LANDSCAPING 215-216 LANDSCAPING 217-218 LANDSCAPING 219-220 LANDSCAPING 221-222 LANDSCAPING 223-224 LANDSCAPING 225-226 LANDSCAPING 227-228 LANDSCAPING 229-230 LANDSCAPING 231-232 LANDSCAPING 233-234 LANDSCAPING 235-236 LANDSCAPING 237-238 LANDSCAPING 239-240 LANDSCAPING 241-242 LANDSCAPING 243-244 LANDSCAPING 245-246 LANDSCAPING 247-248 LANDSCAPING 249-250 LANDSCAPING 251-252 LANDSCAPING 253-254 LANDSCAPING 255-256 LANDSCAPING 257-258 LANDSCAPING 259-260 LANDSCAPING 261-262 LANDSCAPING 263-264 LANDSCAPING 265-266 LANDSCAPING 267-268 LANDSCAPING 269-270 LANDSCAPING 271-272 LANDSCAPING 273-274 LANDSCAPING 275-276 LANDSCAPING 277-278 LANDSCAPING 279-280 LANDSCAPING 281-282 LANDSCAPING 283-284 LANDSCAPING 285-286 LANDSCAPING 287-288 LANDSCAPING 289-290 LANDSCAPING 291-292 LANDSCAPING 293-294 LANDSCAPING 295-296 LANDSCAPING 297-298 LANDSCAPING 299-300 LANDSCAPING

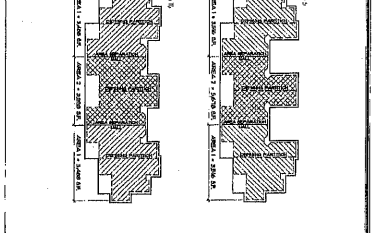
ABBREVIATIONS

A	APARTMENT	10	TENTH FLOOR
B	BEDROOM	11	ELEVENTH FLOOR
C	CORRIDOR	12	TWELFTH FLOOR
D	DINING ROOM	13	THIRTEENTH FLOOR
E	ENTRY	14	FOURTEENTH FLOOR
F	FLOOR	15	FIFTEENTH FLOOR
G	GARAGE	16	SIXTEENTH FLOOR
H	HALL	17	SEVENTEENTH FLOOR
I	INTERIOR FINISH	18	EIGHTEENTH FLOOR
J	JOB	19	NINETEENTH FLOOR
K	KITCHEN	20	TWENTIETH FLOOR
L	LANDSCAPING	21	21ST FLOOR
M	MECHANICAL/PLUMBING	22	22ND FLOOR
N	NOTE	23	23RD FLOOR
O	OUTDOOR FINISH	24	24TH FLOOR
P	PROJECT SITE	25	25TH FLOOR
Q	QUARTER	26	26TH FLOOR
R	REAR PORCH	27	27TH FLOOR
S	SCREENED PORCH	28	28TH FLOOR
T	TERRACE	29	29TH FLOOR
U	UNIT	30	THIRTIETH FLOOR
V	VESTIBULE	31	31ST FLOOR
W	WALKWAY	32	32ND FLOOR
X	WALL	33	33RD FLOOR
Y	YARD	34	34TH FLOOR
Z	ZONING	35	35TH FLOOR

CODE REVIEW

NOTE: ALL LOCAL ORDINANCES AND REGULATIONS SHALL BE REVIEWED AND COMPLIANCE SHALL BE MAINTAINED THROUGHOUT THE PROJECT CONSTRUCTION PERIOD. SPECIFIC CODES:

1. International Building Code
2. International Residential Code
3. International Energy Conservation Code
4. International Fire Code
5. International Mechanical Code
6. International Plumbing Code
7. International Electrical Code
8. International Fire Marshals Association
9. International Fire Department
10. International Fire Alarm Association
11. International Fire Sprinkler Association
12. International Fire Extinguisher Association
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100. International Fire Alarm Association



AMERICAN CONCRETE ARCHITECTS, INC.
1000 N. 10TH ST.
CANBY, OR 97001
PHONE: 503-261-1111
FAX: 503-261-1112
WWW.ACCARCHITECTS.COM



PROJECT DATA:

PROJECT AREA: 92,641 ACRES (1,422,919 S.F.)
 BUILDING COVERAGE OF LOT: 319,929 S.F.
 PERCENTAGE OF BUILDING AREA: 26.8%
 PERCENTAGE OF LANDSCAPED AREA: 92.5%
 PERCENTAGE OF PAVED AREA: 21.9%

TOTAL NUMBER OF UNITS: 352
 PROJECT DENSITY: RE - UNITS/ACRE = 1.28

PROJECT UNIT TYPES:
 INDEPENDENT LIVING UNITS: 120
 INDEPENDENT LIVING CENTERS: 50
 LOW INCOME INDEPENDENT LIVING UNITS: 50
 ASSISTED LIVING UNITS: 132
 COMMUNITY CENTERS: 8,200 S.F.
 MAINTENANCE: 4,420 S.F.

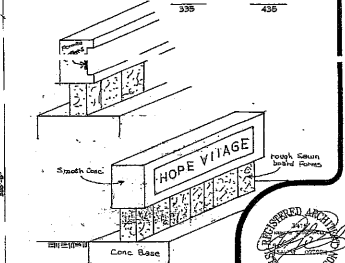
PUBLIC PARK AREA:
 143,091 SQ.F.T. (2.26 ACRES)

PARKING :

PARKING DIMENSIONS:
 STANDARD PARKING STALL: 8'-6" x 18'-0"
 COMPACT PARKING STALL: 8'-0" x 18'-0"
 TYPICAL AISLE: 28'-0"
 HANDICAPPED PARKING STALL: 8'-6" x 18'-0"
 ACCESS: 7'-0" x 18'-0"
 VAN ACCESS RAMP WIDTH: 8'-0"

PARKING:
 MINIMUM REQUIRED BY ZONE CODE
 (SENIOR REDUCTION: 15% MIN.) = 339
 SPACES INDICATED THIS PLAN = 435
 HANDICAPPED PARKING REQ'D.
 HANDICAPPED PARKING PROVIDED = 9
 ASSISTED LIVING UNDER SEPARATE APPLICATION

REQUIRED PARKING:	REQUIRED	PROVIDED
INDEPENDENT LIVING 220 UNITS (132)	220	266
COMMUNITY CENTER 8,200 SF	5	65
EMPLOYEES	30	30
	335	435



- NOTE
- ALL NEW TREES AND PLANTINGS ON SITE TO CONFORM TO OFFICIAL CITY OF GAINES LANDSCAPING STANDARDS. ALL EXISTING HAZELNUT TREES TO BE REMOVED.
 - ALL INTERIOR PROPERTY LINES FOR FINOR PARTITIONS TO INCLUDE 6'-0" EASEMENT EACH SIDE.

JOB NO. 2020-4-02044
 DATE 21 AUG 2020
 DRAWN
 REVISIONS
 1 12 JUNE 18 REVISIONS

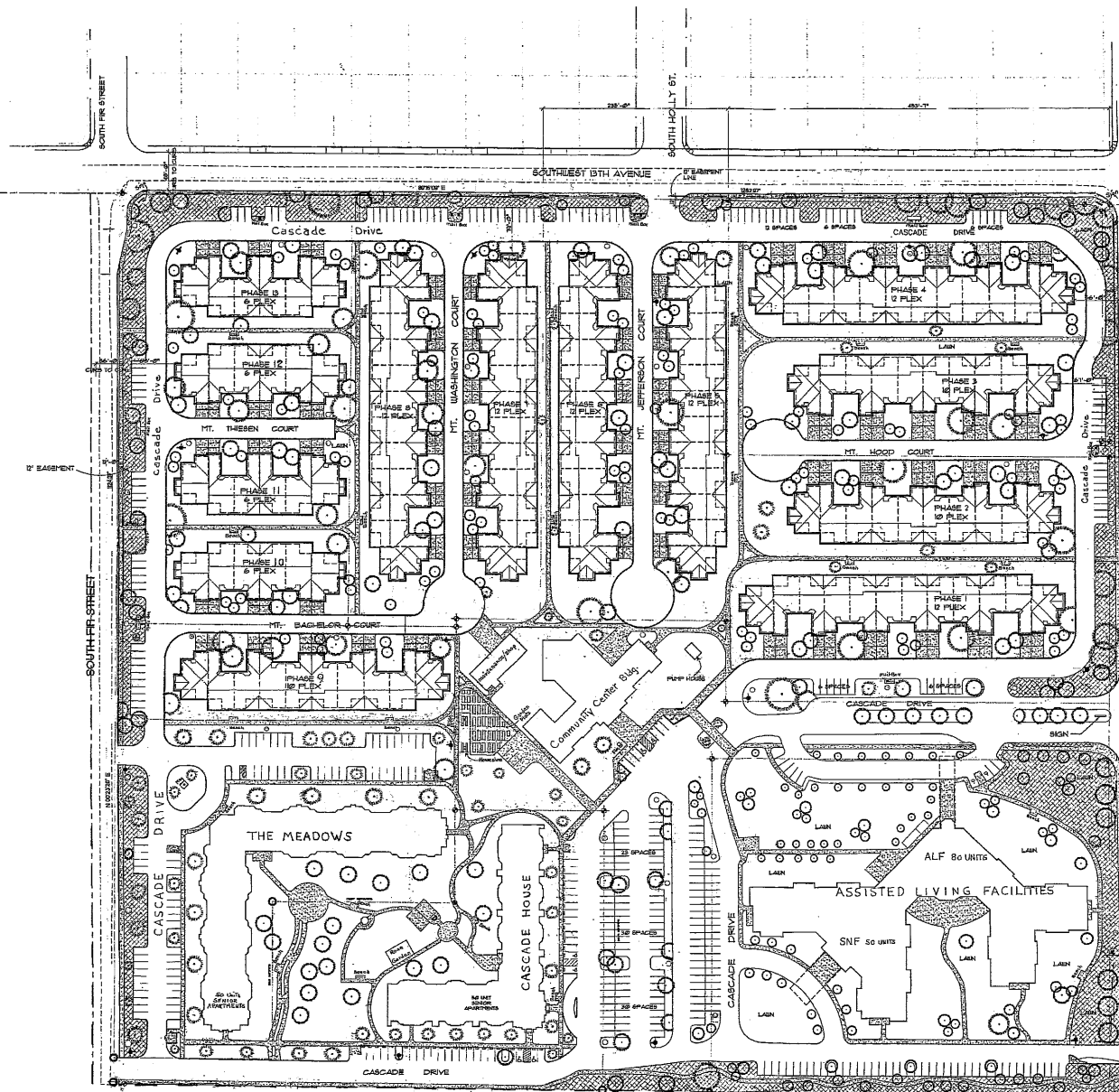
ARBUCKLE COSTIC
 ARCHITECTS, INC.
 300 EAST STREET
 GAINESVILLE, FLORIDA 32601
 TEL: 352-333-1111
 WWW.ARBUCKLECOSTIC.COM

HOPE VILLAGE
 GARDEN
 APARTMENTS

PHASE 10 IS A 100
 HOPE VILLAGE
 P.O. BOX 1018
 GAINES, OR 97030

SHEET

1 MASTER SITE PLAN
 SCALE: 1" = 50'-0" (REFERENCE 107)



MP-6

