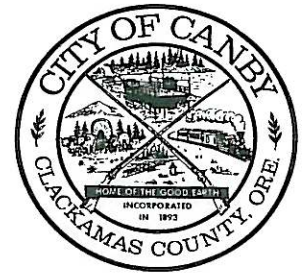


# PLANNING COMMISSION AGENDA

Monday – June 25, 2007

7:00 PM - Regular Meeting

City Council Chambers - 155 NW 2<sup>nd</sup> Avenue



Chairman Jim Brown, Vice Chair Dan Ewert

Commissioners John Molamphy, Janet Milne, Bruce Holte, and Jared Taylor

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## I. CITIZEN INPUT ON NON-AGENDA ITEMS

## II. PUBLIC HEARINGS - None

## III. NEW BUSINESS

Discussion about timing of infrastructure improvements for partitions **Page 2**

**MOD 07-11 of DR 00-09/CUP 00-06 - 390 NW 2<sup>nd</sup> Avenue** - Site and design review and expansion of a non-conforming use review to build a guest house. **Page 3**

**Interpretation of Planning Commission** – Site and Design Review – 16.49.030 and Accessory Structure or Use – 16.04-040 **Page 36**

## IV. FINDINGS

Note: these are the final, written versions of previous oral decisions. No public testimony.

**DR 07-03 - 1101 SW 1<sup>st</sup> Avenue** - Site and design review to build a Kentucky Fried Chicken and A&W restaurant **Page 42**

## V. MINUTES

June 11, 2007 **Page 47**

## VI. DIRECTOR'S REPORT

## VII. ADJOURNMENT

*The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for person with disabilities should be made at least 48 hours before the meeting to Jill Thorn at 503-266-7001.*

*A copy of this agenda can be found on the City's web page at [www.ci.canby.or.us](http://www.ci.canby.or.us)  
City Council and Planning Commission Meetings are broadcast live and can be viewed on OCTS Channel 5.  
For a schedule of the playback times, please call 503-263-6287.*

Re: Construction of Sidewalk

February 3, 2006

Dear Mr. Kelley;

Thank you for your letter and attention to our situation. We do appreciate your sympathy. Unfortunately the City has put us in a very difficult situation.

Our question to you as City Attorney is: Does the City have the legal responsibility to notify us about this condition on the property? Mind you, there have been six times when we, a person representing us or the City itself has checked on conditions on this property.

- Alice Merrill, our realtor, before we purchased the lot.
- Our home designer, for designing the plot plan.
- For approval of such plot plan.
- Applying for a permit to build on the lot.
- Alice Merrill again once we were informed by our neighbor, Jim Payton, about a possible condition- she was told we were not responsible.
- I went in personally and asked if we owners of 1129 N. Maple were responsible for putting a sidewalk on 1127 N. Maple and was told no.

We are left wondering why we are finally notified, the day before we intend to move in, that the City is requiring us to build a sidewalk. The City had six opportunities to notify us of this condition.

In addition; in all the municipal codes about partitioning a lot that I have researched I have yet to find that conditions are bonded to the subsequent purchasers. All the information I have found states that it's the applicants responsibility. So who is ultimately responsible for pursuing Mr. Reznicek for not meeting the conditions? Was it not the City who approved the partition without the conditions being met? I realize that the city will not admit fault on this issue but I do not appreciate having to fix the City's mistake.

To let you know, if we would have been told, by the sixth time conditions on this property were checked, we would be much more cooperative in building the sidewalk. It just would have been a small bump in the adventure of building your own home. However, it is very hard to comply to a system that seems so flawed.

We don't know what else we could have done to avoid this situation as homeowners. We would like the City to look upon their own system to help avoid this for others. I wonder how many other properties out there have had conditions put upon them by the Planning Commission Board that have not been met and are now forgotten.

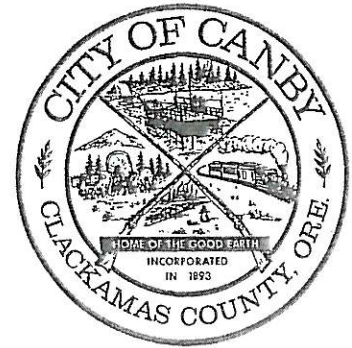
Let's say this has put a damper on how we view the City of Canby. My husband and I are both lifetime residents and plan to raise our three children in the dream house we built for them.

But rest assure we intend to put five bottom prints in that sidewalk when it's poured!

Thank you for your time,  
Respectfully,

Sara Zagyva Hepler

cc: Mark Adeock



## - STAFF REPORT -

**APPLICANT:**

Eric Berkey/Country Side Living  
390 NW 2<sup>nd</sup> Ave  
Canby, OR 97013

**FILE NO.:**

MOD 07-11  
of DR 00-09/CUP 00-06  
(Guest House)

**OWNER:**

Eric Berkey/Country Side Living  
390 NW 2<sup>nd</sup> Ave  
Canby, OR 97013

**STAFF:**

Kevin C. Cook  
Associate Planner

**LEGAL DESCRIPTION:**

Tax Lot 3300  
of Tax Map 3-1E-33CC

**DATE OF REPORT:**

May 29, 2007

**LOCATION:**

390 NW 2<sup>nd</sup> Ave

**DATE OF HEARING:**

June 11, 2007

**COMP. PLAN DESIGNATION:**

Downtown Commercial

**ZONING DESIGNATION:**

C-1 – Downtown Commercial

### *I. APPLICANT'S REQUEST:*

Country Side Living, a residential care facility serving citizens with Alzheimer's and dementia, has filed an application with the City to build a guest house at their current location on 2<sup>nd</sup> Avenue in Canby. The proposed 1,500 sq. ft. guest house is intended to provide a place for families to stay while they are visiting their loved ones at Country Side.

In February 2001 the Planning Commission approved an application for Design Review and Conditional Use Permit (DR 00-09/CUP 00-06), which allowed the residential care facility. The current application proposes to expand the CUP to allow for the guest house as an accessory to the primary function as a care facility; and further expand on the original Design Review approval by reviewing the location and design of the proposed building.

The application is for an Intermediate Modification to the original approval. The process for an intermediate modification involves review and discussion by the Planning

Commission under New Business on the Commission agenda as opposed to a public hearing. The Commission is asked to render a tentative decision on the matter at the meeting. Staff then sends out notification to neighboring property owners. Those receiving notice may request a public hearing in writing within ten days of the notice mailing date (CMC 16.89.090 – *Modifications to previously approved land use applications*).

The guest house will face internally into the existing court yard of the facility and will also front directly onto the existing alley behind the facility. The guest house will be attached to an existing maintenance building.

## **II. APPLICABLE REGULATIONS**

### **City of Canby General Ordinances:**

- 16.22 C-1 Downtown Commercial Zone
- 16.49 Site and Design Review

## **III. MAJOR APPROVAL CRITERIA**

### **16.49.040 Site and Design Review - Criteria and Standards**

1. The Board shall, in exercising or performing its powers, duties or functions, determine whether there is compliance with the following:
  - A. The proposed site development, including the site plan, architecture, landscaping and graphic design, is in conformance with the standards of this and other applicable city ordinances insofar as the location, height and appearance of the proposed development are involved; and
  - B. The proposed design of the development is compatible with the design of other developments in the same general vicinity; and
  - C. The location, design, size, color and materials of the exterior of all structures and signs are compatible with the proposed development and appropriate to the design character of other structures in the same vicinity.
  - D. The Board shall, in making its determination of compliance with subsections B and C above, use the following matrix to determine “compatibility”. An application is considered to be “compatible”, in regards to subsections B and C above, if a minimum of 65 percent of the total possible number of points (not including bonuses) are accumulated for the whole development.
  - E. It must be demonstrated that all required public facilities and services are available, or will become available through the development, to adequately meet the needs of the proposed development.

2. The Board shall, in making its determination of compliance with the above requirements, be guided by the objectives and standards set forth in this section. If the site and design review plan includes utility facilities or public utility facility, then the City Planner shall determine whether those aspects of the proposed plan comply with applicable standards.
3. The Board shall, in making its determination of compliance with the requirements set forth, consider the effect of its action on the availability and cost of needed housing. The Board shall not use the requirements of this section to exclude needed housing types. However, consideration of these factors shall not prevent the Board from imposing conditions of approval necessary to meet the requirements of this section. The costs of such conditions shall not unduly increase the cost of housing beyond the minimum necessary to achieve the purposes of this ordinance.
4. As part of the site and design review, the property owner may apply for approval to cut trees in addition to those allowed in Section 12.20.080 of the City Tree Ordinance. The granting or denial of said application will be based on the criteria in Chapter 12.20 of the City Tree Ordinance. The cutting of trees does not in and of itself constitute change in the appearance of the property which would necessitate application for site and design review.

**DESIGN REVIEW MATRIX FOR THE DOWNTOWN COMMERCIAL ZONE (C-1)**

<i>Criteria</i>	<i>Possible Scores</i>
<b>Building Location and Orientation</b>	
Building located at front property line: Parking in front=0; 50% of building front at property line=1; 100% of building front at property line=2.	0   1   2
Building oriented to street: no=0; yes=2.	0   2
<b>Entrances</b>	
Major retail entrance on street: no=0; yes=2.	0   2
Corner building entrances on corner lots: no=0; yes=1.	0   1
Entrance inset (not more than 3 feet behind front glass line except at corner entries): no=0; yes=2.	0   2
<b>Windows</b>	
Regularly spaced and similar-shaped windows - around 70% of storefront area is glass (includes doors). (No mirrored glass): <50%=0; 50% to 70%=1; >70%=2.	0   1   2

Second story windows (where applicable): no=0; yes=2. 0 2

**Table 16.22.040 (cont.)**  
**C-1 Design review matrix.**

*Criteria* *Possible Scores*

**Architectural Details**

Blade sign or painted wall sign (no internally illuminated box signs): no=0; yes=2. 0 2

Brick, stucco, and horizontal lap or ship lap painted wood siding: concrete, wood, or wood siding=0; concrete masonry, stucco, or similar material=1; brick or similar appearance=2. 0 1 2

Colors from recommended color palettes (on file with the City of Canby), or as otherwise approved: no=0; yes=2. 0 2

Cornice treatments to emphasize building tops at parapet-type buildings: flat roofs behind parapets acceptable, otherwise visible roofs should be pitched: no treatment=0; pitched roof=1; parapet roof=2. 0 1 2

All walls have doors, windows, or display windows (no blank walls). Murals, art niches, benches, or light sconces at blank walls where windows are not feasible: no treatment=0; mural or other treatment=1; windows or display windows=2. 0 1 2

Awnings and rain protection of durable canvas, vinyl, glass or acrylic. No awning slope over 45 degrees, with flat or semi-flat awnings along First Ave. and at buildings with windows above entries. Awnings are discontinuous, with lengths generally under 30 linear feet for longer buildings: no awnings=0; awnings meet criteria=2. 0 2

**Parking**

Off-street parking (if required) located behind or to side of building: no=0; side=1; behind=2. 0 1 2

**BONUS POINTS**

Provide usable pedestrian space such as plaza, outdoor seating, or extra-wide pathway/sidewalk near one or more building entrances: no=0; yes=1. 0 1

Planters and window boxes: no=0; yes=1. 0 1

Public art (e.g., fountain, sculpture, etc.): no=0; yes=1.	0	1
Second story residential or office: no=0; yes=1.	0	1

**16.50.010 Authorization to Grant or Deny Conditional Uses**

In judging whether or not a conditional use permit shall be approved or denied, the Planning Commission shall weigh the proposal's positive and negative features that would result from authorizing the particular development at the location proposed and to approve such use, shall find that the following criteria are either met, can be met by observance of conditions, or are not applicable:

- A. The proposal will be consistent with the policies of the Comprehensive Plan and the requirements of this title and other applicable policies of the City.
- B. The characteristics of the site are suitable for the proposed use considering size, shape, design, location, topography, existence of improvements and natural features.
- C. All required public facilities and services exist to adequately meet the needs of the proposed development.
- D. The proposed use will not alter the character of the surrounding areas in a manner which substantially limits or precludes the use of surrounding properties for the uses listed as permitted in the zone.

*IV. FINDINGS:*

A. Evaluation regarding Conditional Use Permit

1. Comprehensive Plan Consistency Analysis

*LAND USE ELEMENT*

**GOAL: TO GUIDE THE DEVELOPMENT AND USES OF LAND SO THAT THEY ARE ORDERLY, EFFICIENT, AESTHETICALLY PLEASING AND SUITABLY RELATED TO ONE ANOTHER.**

*Applicable Policies:*

Policy #1: Canby shall guide the course of growth and development so as to separate conflicting or incompatible uses, while grouping compatible uses.

*Analysis: The proposal for a guest house is compatible with the existing use of the property; further, there is no adverse impact to the downtown commercial district anticipated.*

Policy #3: Canby shall discourage any development which will result in overburdening any of the community's public facilities or services.

*Analysis: The guest house is expected to have a very negligible impact to public services. Public facility and service providers were asked to comment on this application (see discussion under Public Facilities and Services Element).*

Policy #4: Canby shall limit development in areas identified as having an unacceptable level of risk because of natural hazards.

*Analysis: No natural hazards have been identified.*

Policy #5: Canby shall utilize the land use map as the basis of zoning and other planning or public facility decisions.

*Analysis: The parcel is currently zoned Downtown Commercial, which allows, as a conditional use, care facilities. The use was conditionally approved in 2001 and the current proposal for a guest house is requested as an accessory use to the primary use as a residential care facility.*

## **ENVIRONMENTAL CONCERNS ELEMENT**

**GOALS: TO PROTECT IDENTIFIED NATURAL AND HISTORICAL RESOURCES.**

**TO PREVENT AIR, WATER, LAND, AND NOISE POLLUTION.**

**TO PROTECT LIVES AND PROPERTY FROM NATURAL HAZARDS.**

*The subject property is considered to be urbanized and no environmental concerns have been identified.*

## **TRANSPORTATION ELEMENT**

**GOAL: TO DEVELOP AND MAINTAIN A TRANSPORTATION SYSTEM WHICH IS SAFE, CONVENIENT AND ECONOMICAL.**



Applicable Policies:

Policy #1: Canby shall provide the necessary improvements to City streets, and will encourage the County to make the same commitment to local County roads in an effort to keep pace with growth.

Analysis: *The site is developed and adequate road infrastructure exists.*

Policy #4: Canby shall work to provide an adequate sidewalk and pedestrian pathway system to serve all residents.

Analysis: *Sidewalks are existing.*

Policy #6: Canby shall continue in its efforts to assure that all new developments provide adequate access for emergency response vehicles and for the safety and convenience of the general public.

Analysis: *Emergency service providers received notice of the proposed development. The proposed use is not anticipated to generate any emergency service issues.*

**PUBLIC FACILITIES AND SERVICES ELEMENT**

**GOAL: TO ASSURE THE PROVISION OF A FULL RANGE OF PUBLIC FACILITIES AND SERVICES TO MEET THE NEEDS OF THE RESIDENTS AND PROPERTY OWNERS OF CANBY.**

Applicable Policies:

Policy #1: Canby shall work closely and cooperate with all entities and agencies providing public facilities and services.

Analysis: *Public Facility and Service received a Request for Comment. Responding agencies indicate that services are available or will become available to serve the site. Northwest Natural indicates that a gas line may need to be relocated.*

Policy #5: Canby shall assure that adequate sites are provided for public schools and recreation facilities.

Analysis: *The proposal does not generate the need for new school facilities. Parks System Development Charges will be paid at the time of building permits.*

**CONCLUSION REGARDING CONSISTENCY WITH THE POLICIES OF THE CANBY COMPREHENSIVE PLAN:**

Staff review of the goals, policies, and implementation measures of the Comprehensive Plan indicates that the proposed conditional use is consistent with

Canby's Comprehensive Plan.

**3. Evaluation Regarding Conditional Use Approval Criteria**

- A. The proposal will be consistent with the policies of the Comprehensive Plan and the requirements of this title and other applicable policies of the City.

*With the conditions noted below, this application complies with the Comprehensive Plan and with other applicable city policies.*

- B. The characteristics of the site are suitable for the proposed use considering size, shape, design, location, topography, existence of improvements and natural features.

*The site is surrounded by urbanization. The site is well-suited for the proposed use.*

- C. All required public facilities and services exist to adequately meet the needs of the proposed development.

*Required Public Facilities and Services exist to serve the site.*

- D. The proposed use will not alter the character of the surrounding areas in a manner which substantially limits or precludes the use of surrounding properties for the uses listed as permitted in the zone.

*No negative impacts are anticipated from the proposed use. The use is compatible with the existing residential care facility and surrounding business district.*

**V. CONCLUSION**

- 1. Staff concludes that the conditional use is in conformance with the City's Comprehensive Plan and the Zoning Ordinance.
- 2. Staff concludes that the site can accommodate the proposed use.
- 3. Staff concludes that public service and utility provision to the site is available or can be made available through future improvements.
- 4. Staff concludes that the conditional use will not alter the character of the surrounding areas in a manner which substantially limits or precludes the use of surrounding properties for the uses listed as permitted in the zone.

**VI. RECOMMENDATION**

Based on the application submitted and the facts, findings and conclusions of this report, but without benefit of a public hearing, staff believes that the proposal for a guest house complies with the Conditional Use criteria and is an appropriate use under the existing

Conditional Use Permit for the residential care facility. Staff recommends approval the guest house.

### C. Evaluation Regarding Site and Design Review Approval Criteria

#### *Design Review Matrix Analysis*

##### **1. Parking**

The site is located within the parking exempt zone and there is no requirement for off-street parking on the site. The original Design Review approval included a condition requiring one ADA space on the alley side. The proposal preserves this space.

##### **2. Traffic/Access**

Access to the building will be from the courtyard on the south side of the building. No direct access to the alley is proposed.

##### **3. Signs**

No signs are included in the proposal.

##### **4. Lot Landscaping standards and Tree Retention**

The proposed building will replace concrete area. Existing landscaping will remain intact.

##### **5. Building Appearance**

Building elevations are shown on sheet A3.1. The majority of architectural features are on the south elevation facing into the courtyard. There is little articulation proposed for the alley side of building.

#### **Compatibility Matrix**

All five sections of the Design Review Matrix apply to this application. The proposed application receives, in staff's determination, a total of 7 points out of a total possible of 12 points, or 66.6 percent. The applicant achieves a score of 81 percent when the earned bonus point is included in the calculation. The minimum percentage required to be considered "compatible" is 65 percent, so this proposal is considered to be compatible. Following is staff's determination of the point totals.

### *ANALYSIS OF THE DESIGN REVIEW MATRIX*

#### **Criteria**

#### **Score/Possible**

##### **Building Location and Orientation**

Building located at front property line: Parking in front=0; 2/2  
50% of building front at property line=1; 100% of building  
front at property line=2.

Building oriented to street: no=0; yes=2. N/A

### Entrances

Major retail entrance on street: no=0; yes=2. N/A

Corner building entrances on corner lots: no=0; yes=1. N/A

Entrance inset (not more than 3 feet behind front glass line except at corner entries): no=0; yes=2. N/A

### Windows

Regularly spaced and similar-shaped windows - around 70% of storefront area is glass (includes doors). (No mirrored glass): <50%=0; 50% to 70%=1; >70%=2. N/A

Second story windows (where applicable): no=0; yes=2. 2/2

### Architectural Details

Blade sign or painted wall sign (no internally illuminated box signs): no=0; yes=2. N/A

Brick, stucco, and horizontal lap or ship lap painted wood siding: concrete, wood, or wood siding=0; concrete masonry, stucco, or similar material=1; brick or similar appearance=2. 0/2

Colors from recommended color palettes (on file with the City of Canby), or as otherwise approved: no=0; yes=2. 2/2

Cornice treatments to emphasize building tops at parapet-type buildings: flat roofs behind parapets acceptable, otherwise visible roofs should be pitched: no treatment=0; pitched roof=1; parapet roof=2. 1/2

All walls have doors, windows, or display windows (no blank walls). Murals, art niches, benches, or light sconces at blank walls where windows are not feasible: no treatment=0; mural or other treatment=1; windows or display windows=2. 0/2

Awnings and rain protection of durable canvas, vinyl, glass or acrylic. No awning slope over 45 degrees, with flat or semi-flat awnings along First Ave. and at buildings with windows above N/A

entries. Awnings are discontinuous, with lengths generally under 30 linear feet for longer buildings: no awnings=0; awnings meet criteria=2.

#### **Parking**

Off-street parking (if required) located behind or to side of building: no=0; side=1; behind=2. N/A

#### **BONUS POINTS**

Provide usable pedestrian space such as plaza, outdoor seating, or extra-wide pathway/sidewalk near one or more building entrances: no=0; yes=1. N/A

Planters and window boxes: no=0; yes=1. 0/1

Public art (e.g., fountain, sculpture, etc.): no=0; yes=1. 0/1

Second story residential or office: no=0; yes=1. 1/1

#### **6. Availability of Adequate Public Facilities and Services**

Service provider comments are shown in exhibit 2. All needed utilities can serve the site. Northwest Natural indicates that a gas line may need to be moved. Relocation of utilities shall be at the applicant's expense. Any street cuts shall be patched to the satisfaction of the City.

#### **7. Development Standards**

There are no lot size, minimum width, or frontage requirements in the C-1 zone. Building height and vision clearance requirements have been met.

### ***VII. CONCLUSION***

Staff concludes that the application meets the requirements for Site and Design Review approval with additional recommended conditions. In direct response to the criteria for Site and Design Review, staff concludes the following:

- A. The proposed development, including the site plan, architecture, landscaping and graphic design, is in conformance with the standards of this and other applicable City ordinances insofar as the location, height and appearance of the proposed development are involved;

*The proposal meets the Site and Design Review requirements for conditional development in the C-1 zone.*

- B. The proposed design of the development is compatible with the design of other developments in the same general vicinity; and

*The proposal is compatible with the existing residential care facility.*

- C. The location, design, size, color and materials of the exterior of all structures and signs are compatible with the proposed development and appropriate to the design character of other structures in the same vicinity.

*See specific comments under section IV(B) above.*

- D. The Board shall, in making its determination of compliance with subsections B and C above, use the following matrix to determine “compatibility”. An application is considered to be “compatible”, in regards to subsections B and C above, if a minimum of 65% of the total possible number of points (not including bonuses) are accumulated for the whole development.

*The application meets 66.6% of the possible points. For specific performance or the proposal, refer to the matrix analysis above.*

- E. It must be demonstrated that all required public facilities and services are available, or will become available through the development, to adequately meet the needs of the proposed development.

*Public facilities and services are available to service the development.*

- F. The Board shall, in making its determination of compliance with the above requirements, be guided by the objectives and standards set forth in this section. If the site and design review plan includes utility facilities or public utility facility, then the City Planner shall determine whether those aspects of the proposed plan comply with applicable standards.

*All utilities exist or can be modified to adequately serve the site.*

- G. The Board shall, in making its determination of compliance with the requirements set forth, consider the effect of its action on the availability and cost of needed housing. The Board shall not use the requirements of this section to exclude needed housing types. However, consideration of these factors shall not prevent the Board from imposing conditions of approval necessary to meet the

requirements of this section. The costs of such conditions shall not unduly increase the cost of housing beyond the minimum necessary to achieve the purposes of this ordinance.

*This proposal is not expected to impact the cost of needed housing in Canby.*

- H. As part of the site and design review, the property owner may apply for approval to cut trees in addition to those allowed in Section 12.20.080 of the City Tree Ordinance. The granting or denial of said application will be based on the criteria in Chapter 12.20 of the City Tree Ordinance. The cutting of trees does not in and of itself constitute change in the appearance of the property which would necessitate application for site and design review.

*N/A*

### **VIII. RECOMMENDATION:**

Based on the application and visual inspection, along with the site plan received by the City, the facts, findings and conclusions of this report, and without the benefit of a public hearing, **staff recommends that the Planning Commission approve MOD 07-11 with the following conditions:**

1. All original conditions of approval from file DR 00-09/CUP 00-06 remain in effect.
2. Prior to the issuance of a building permit and/or any site work other than rough site grading, the design, location, and planned installation of all utilities, including but not limited to water, electric, sanitary sewer, natural gas, telephone, and cable television shall be approved by the appropriate utility provider.
3. Prior to the issuance of a building permit and/or any site work other than rough site grading, a pre-construction meeting shall be held unless otherwise waived by the Planning Department. Twelve copies of the construction plans shall be given to the City for review and approval by Canby Utility, Canby Telephone, Willamette Broadband, the City, and other required utility providers prior to the pre-construction meeting. The construction plans shall reflect all conditions of approval and shall include, as appropriate, the plans for street design, storm water, sewer, water, fire hydrants, electric, cable, telephone, natural gas, street lights, and mail boxes.
4. The applicant shall provide a revised set of construction plans to be signed by all affected agencies and City departments as determined by the Planning Dept. Neither building permits nor any site work other than rough site grading shall be allowed until the required signed construction set is submitted to and accepted by the Planning Department.
5. A sign permit application shall be submitted for any proposed signs.
6. Exterior lighting is required to provide a minimum of 0.5 footcandles with a 4:1 uniformity ratio. All site lighting shall be "hooded" or "cutoff" so as not to direct light skyward or towards any public road.
7. All stormwater shall be disposed of on site. Prior to the issuance of a building permit, the design of storm water facilities shall be approved by the City Engineer, the Public Works Department, and, if required, the Oregon Department of Environmental Quality. No building permits shall be issued prior to obtaining necessary approvals for proposed stormwater facilities and/or discharges.



8. Prior to the issuance of a building permit, an erosion control permit is required. All City erosion control regulations shall be followed during construction as specified by the Canby Municipal Code.
9. Any relocation of existing utilities required due to construction of the development shall be done at the expense of the applicant.
10. ADA Ramps shall be provided as necessary as determined by the Public Works and Building Departments.
11. This approval is based upon the submitted site plan. Changes to this plan are subject to review and approval by the City through the City's approval modification process or through a new Design Review application.
12. Any cuts to the alley shall be repaired to the satisfaction of the Public Works Department.

**Exhibits:**

1. Applicant's narrative
2. Responses to Request for Comments

Country Side Living Guest House  
Narrative

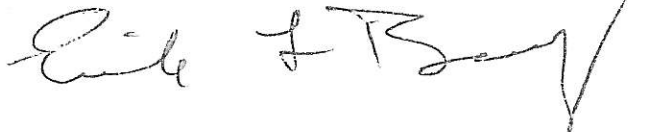
Country Side Livings new guest house will accommodate resident's family members in several ways;

This guest house will be available for family members to enjoy birthday parties, anniversary, celebrations, special family events and family gatherings with their loved ones.

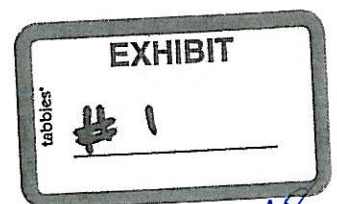
It will also provide a safe and comfortable location for out of town family members to spend time with their loved ones residing here at Country Side Living.

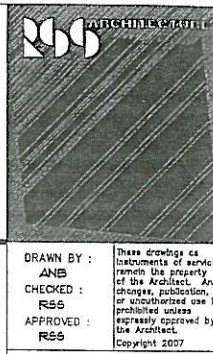
Guest house approximate square footage is 1500. The location of the guest house would be attached to the already existing storage shed. The water line is already capped off, the existing sewer line is located 6 feet away, and the electricity is already currently operating.

Erik Berkey



Country Side Living  
390 NW 2<sup>nd</sup>  
Canby, Or 97013  
503-266-3031





# NEW GUEST HOUSE AT COUNTRY SIDE LIVING

350 N.W. 2ND STREET CANBY, OREGON 97013

DRAWN BY: ANB  
CHECKED BY: R55  
APPROVED BY: R55

ARCHITECT:  
**ANB ARCHITECTURE, P.C.**  
Randall S. Saunders Architect/President

OWNER:  
COUNTRY SIDE LIVING  
350 N.W. 2ND STREET  
CANBY, OREGON 97013  
(503) 266-3031 FAX: (503) 266-4000  
CONTACT: ERIK BERKEY, OWNER

2225 COUNTRY CLUB RD. WOODBURN, OREGON 97071 (503) 882-1211 (503) 978-1928

### PROJECT INFORMATION:

PROJECT CONSISTS OF THE CONSTRUCTION OF A BUILDING ADDITION LOCATED ADJACENT TO AN EXISTING CARE FACILITY. PROJECT IS LOCATED IN THE CITY OF CANBY, OREGON.  
GOVERNING CODE: INTERNATIONAL BUILDING CODE 2003 WITH OREGON AMENDMENTS 2004  
OCCUPANCY: R-3 - GUEST HOUSE  
CONSTRUCTION TYPE: RESIDENTIAL - V8  
AREA: 1000 SF, BASIC ALLOWABLE  
EXISTING: 500 SF ACTUAL  
FIRST FLOOR - NEW: 300 SF ACTUAL  
SECOND FLOOR (LOFT) - NEW: 240 SF ACTUAL  
HEIGHT: 2 STORY ALLOWED - 2 STORY ACTUAL  
OCCUPANT LOAD:  
EXISTING - STORAGE: 2 OCCUPANTS  
FIRST FLOOR - RESIDENTIAL: 4 OCCUPANTS  
LOFT - RESIDENTIAL: 2 OCCUPANTS  
EXIT REQUIRED: ILLUMINATED EXIT SIGN IS NOT REQUIRED  
DISTANCE FROM PROPERTY LINE:  
NORTH (CENTER OF ALLEY) 10'-0"  
EAST 30'-0"  
SOUTH 30'-0"  
WEST 10'-0"  
EXTERIOR WALL ARE NOT REQUIRED TO BE FIRE RATED.  
OCCUPANT SEPARATION (FIRE WALL) 1-3 AND 4-1 1 HOUR RATED  
WALL BETWEEN EXISTING STORAGE BUILDING AND GUEST HOUSE ADDITION IS REQUIRED TO BE 1 HOUR RATED SEE FLOOR PLAN.  
(ISC 1106.110 EXCEPTION U) GROUP R-3 COMPARTMENTS ARE NOT REQUIRED TO BE HANDICAP ACCESSIBLE.  
LANDSCAPING, SITE DRAINAGE, MECHANICAL PLUMBING, AND ELECTRICAL BY SEPARATE PERMIT. SEE DEFERRED SUBMITTALS.

**DEFERRED SUBMITTALS**  
**IBASIS (BIDDER DESIGN)**  
NOT IN THIS SET OF DOCUMENTS - BIDDER DESIGN DEFERRED SUBMITTAL PER OSC SECTION 106.3.4.2. ALL DEFERRED SUBMITTALS: ITEMS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT.

**HVAC (BIDDER DESIGN)**  
NOT IN THIS SET OF DOCUMENTS - BIDDER DESIGN DEFERRED SUBMITTAL PER OSC SECTION 106.3.4.2. ALL DEFERRED SUBMITTALS: ITEMS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT.

**PLUMBING (BIDDER DESIGN)**  
NOT IN THIS SET OF DOCUMENTS - BIDDER DESIGN DEFERRED SUBMITTAL PER OSC SECTION 106.3.4.2. ALL DEFERRED SUBMITTALS: ITEMS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT.

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AU -	MAPS, NOTES, PROJECT INFORMATION DEMOLITION PLAN, SITE PLAN
A21 -	FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN, SCHEDULES, FOUNDATION DETAILS, GENERAL STRUCTURAL NOTES
A22 -	FIRST FLOOR PLAN, LOFT FLOOR PLAN, DORMER PLAN, LOFT FRAMING PLAN, SCHEDULES
A23 -	ROOF PLANS, ROOF FRAMING PLANS, SCHEDULES, TRUSS DIAGRAMS
A31 -	EXTERIOR ELEVATIONS
A32 -	BUILDING SECTION, ROOFING DETAILS
A33 -	BUILDING SECTION, DOOR DETAILS, WINDOW DETAILS
A34 -	INTERIOR ELEVATIONS, DETAILS, WINDOW/STAIR SECTIONS, STAIR DETAILS
A35 -	ENLARGED STAIR PLAN, STAIR ELEVATION, STAIR SECTIONS, STAIR DETAILS
A41 -	DETAILS, ENLARGED SITE PLANS, SITE DETAILS

NEW GUEST HOUSE AT COUNTRY SIDE LIVING  
CANBY, OREGON 97013

### DEMOLITION PLAN KEY NOTES

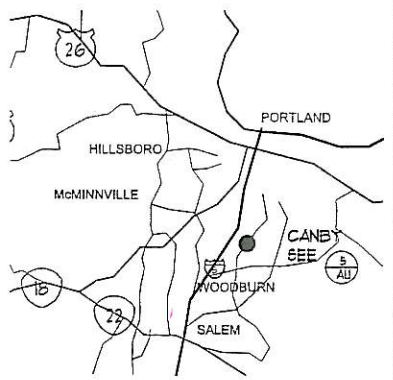
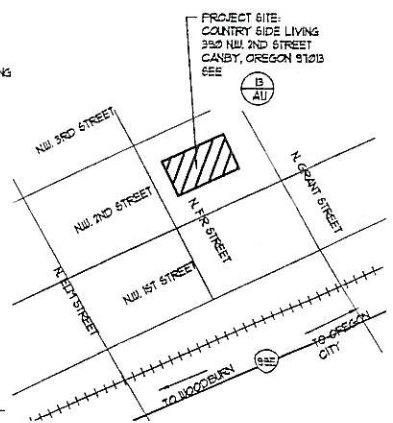
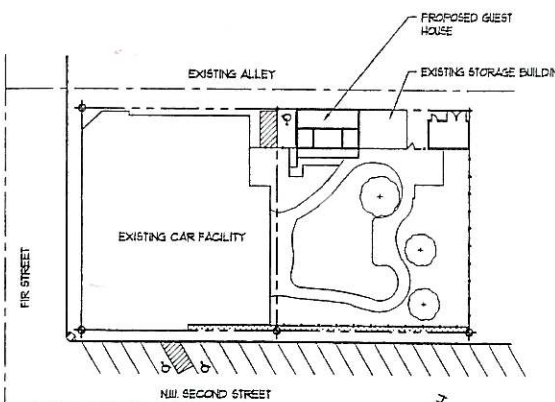
- 1 EXISTING STORAGE BUILDING
- 2 PROPOSED NEW BUILDING ADDITION
- 3 PROPOSED NEW RAMP SEE (S 241)
- 4 PROPOSED NEW SIDEWALK SEE (S 241)

### DEMOLITION GENERAL NOTES

- USE CARE AND CAUTION DURING DEMOLITION TO FIND, IDENTIFY, AND PRESERVE EXISTING UTILITIES. DO NOT DEMOLISH OR ABANDON EXISTING UTILITIES WITHOUT VERIFYING SERVICE FUNCTION AND PENDING NEED FOR THE REMOVED BUILDING.
- RE-ROUTE EXISTING UTILITY LINES NECESSARY TO MAINTAIN EXISTING UTILITY SYSTEMS - LANDSCAPE IRRIGATION SYSTEM, EXTERIOR LIGHTING CONDUIT, WATER LINES, ETC.. RE-ROUTE WHEN THERE IS A CONFLICT WITH NEW CONSTRUCTION.
- PROTECT THE EXISTING BUILDING FROM DAMAGE DURING DEMOLITION. PROTECT INTERIOR FROM WEATHER INTRUSION. KEEP EXISTING BUILDING CLEAN AND FREE FROM DEMOLITION WORK DEBRIS.
- REMOVE DEMOLISHED MATERIALS FROM SITE. VERIFY WITH OWNER PRIOR TO START OF DEMOLITION WORK ANY SALVAGED MATERIALS DESIRED BY THE OWNER.
- COORDINATE AND SCHEDULE DEMOLITION WORK WITH BUILDING TENANT (IF ANY) TO MAINTAIN BUILDING INGRESS/EGRESS AT ALL TIMES.
- NOTIFY ADJACENT BUILDING TENANTS OF ANY UTILITIES OUTAGES MINIMUM 24 HOURS PRIOR TO THE OCCURRENCE.
- WHERE INTERIOR DEMOLITION REQUIRES FLOOR FINISH RECYCLE REMOVE FLOORING THROUGHOUT THE WHOLE SPACE - NO SPLICING/REPAIRING OF FLOORING IN MID-ROOM.
- WHERE INTERIOR DEMOLITION REQUIRES WALL REMOVAL COMPLETE SUCH WORK WITH NEAT AND CLEAN WORKMANSHIP - LEAVE DEMOLITION SO NEW AND EXISTING CONSTRUCTION CAN INTERFACE WITH NO DISTINCTION BETWEEN THE TWO. PATCH, REPAIR AND FINISH FLOOR SURFACE WHERE WALLS ARE REMOVED IN PREPARATION FOR NEW FLOOR FINISH OVER EXISTING SURFACE.
- WHERE INTERIOR DEMOLITION REQUIRES CEILING REMOVAL COMPLETE SUCH WORK WITH NEAT AND CLEAN WORKMANSHIP. LEAVE DEMOLITION SO NEW AND EXISTING CONSTRUCTION CAN INTERFACE WITH NO DISTINCTION BETWEEN THE TWO.
- THE WARRANTIES AND GUARANTEES PROVIDED IN THE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY OR GUARANTY REQUIRED BY LAW OR BY THE CONSTRUCTION DOCUMENTS.
- UNLESS OTHERWISE SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND ALL WORK WILL BE GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD NO INTERIOR OR NON-COMPETING WORK OR MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. IF REQUIRED BY THE ARCHITECT, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT.

### DEMOLITION PLAN KEY NOTES

- 1 REMOVE EXISTING LANDSCAPING FOR NEW SIDEWALK AND NEW BUILDING ADDITION
- 2 REMOVE EXISTING FENCE
- 3 REMOVE EXISTING EXTERIOR WALL AND ROOF OVERHANGS



13 SITE KEY PLAN NTS

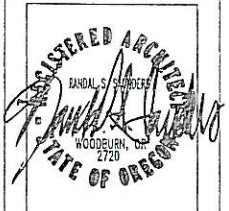
5 VICINITY MAP NTS

1 AREA MAP NTS

5 PARTIAL SITE PLAN 1"=10'-0"

25 DEMOLITION PLAN 1"=20'-0"

PLOT DATE/TIME: DATE: 2/2/2007 TIME: 11:22 FILE: A1 - SITE PLAN



REVISIONS

A PROFESSIONAL CORPORATION

2225 COUNTRY CLUB ROAD WOODBURN, OREGON 97071 (503) 982-1211

PROJECT NO: 0648  
DATE: JAN 2006  
DRAWING NO: A.1

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**GENERAL STRUCTURAL NOTES**

- GENERAL:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TECHNIQUES, SEQUENCING AND SAFETY REQUIRED TO COMPLETE CONSTRUCTION.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL DISCREPANCIES SHALL BE APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.
  - CONTRACTOR SHALL VERIFY ALL REQUIRED OPENINGS ON ARCHITECTURAL PLANS.
- FOUNDATION:**
- FOOTINGS HAVE BEEN DESIGNED FOR A MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSF ON NATIVE MATERIAL OR PROPERLY COMPACTED STRUCTURAL FILL.
  - NO EXCAVATION SHALL BE MADE BELOW ANY FOOTING CLOSER THAN A ONE TO ONE SLOPE TO THE BOTTOM OF SAME.
  - ALL TOP OF EXTERIOR FOOTINGS TO BE A MINIMUM OF 1" BELOW FINISH GRADE.
  - BACKFILL ALL PIPE TRENCH EXCAVATIONS BELOW FOOTINGS WITH LEAN CONCRETE TO THE BOTTOM OF THE FOOTING.

- CONCRETE:**
- CONCRETE TO DEVELOP A UNIT COMPRESSIVE STRESS OF 2500 PSI WITH 5 BAGS OF CEMENT/100 LB. MINIMUM.
- REINFORCING STEEL FOR CONCRETE:**
- ALL REINFORCING STEEL SHALL BE RAIL STEEL DEFORMED BARS CONFORMING TO ASTM A615, GRADE 40 BARS EXCEPT WHERE WELDING IS REQUIRED USE A106, GRADE 60 BARS.
  - DETAILS OF REINFORCING STEEL SHALL CONFORM TO ASTM MANUAL OF STANDARD PRACTICE, CODE OF STANDARD PRACTICES FOR DETAILING REINFORCING MATERIALS, BY CTSI AND UCRI (LATEST EDITION).
  - SPLICES SHALL BE LAPPED 36 BAR DIAMETERS OR 2'-0" MINIMUM UNLESS DETAILED OTHERWISE.

- REINFORCING PROTECTION:**
- CONCRETE DEPOSITED AGAINST EARTH + 3 INCHES.
  - CONCRETE FORMED SURFACES EXPOSED TO GROUND OR WEATHER:
    - 5/8" REBAR AND SMALLER + 1 1/2" INCHES
    - 3/4" REBAR AND LARGER + 2" INCHES

- STEEL:**
- ALL ANCHOR BOLTS TO BE ASTM A-307 MINIMUM.
  - ALL WEDGE ANCHORS TO BE HMLT KIRK BOLT - II (KKB-II) OR EQUIVALENT.

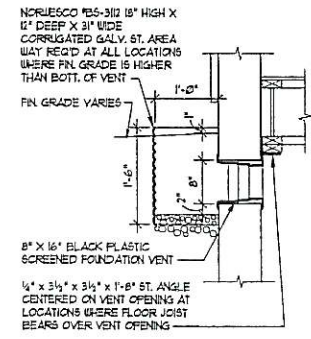
- STRUCTURAL WOOD:**
- ALL SAIN LUMBER INCLUDING STUD WALL FRAMING TO BE NO. 2 GRADE DOUGLAS FIR LARCH, EXCEPT 6" X SAIN LUMBER OR LARGER TO BE NO. 1 DOUGLAS FIR LARCH, PER USE STANDARD NO. 33-1.
  - THE CONTRACTOR SHALL FURNISH AND INSTALL ALL BOLTS AND PLATES AS REQUIRED TO COMPLETE THE JOB.
  - ALL BOLTS AND NUTS BEARING ON WOOD TO BE PROVIDED WITH STANDARD CUT WASHERS, EXCEPT WHERE OTHERWISE SHOWN.
  - ALL WOOD MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED, PRESURE TREATED WOOD: "WOLMANIZED RESIDENTIAL OUTDOOR WOOD" ARCH WOOD PROTECTION, INC.
  - ALL NAILINGS NOT SHOWN SHALL BE AS CALLED FOR IN IRC NAILING SCHEDULE.
  - ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD WITH A 6PAN RATING OF 24/6.
  - FLOOR SHEATHING SHALL BE 3/4" TONGUE-AND-GROOVE CDX PLYWOOD WITH A 6PAN RATING OF 48/24 (IF ANY).

- ROOF TRUSSES:**
- ROOF FRAMING MEMBERS SHALL BE DESIGNED TO SUPPORT THE SPECIFIED LOADS AND LIMIT MAXIMUM TOTAL LOAD DEFLECTION TO L/40 OF THE 6PAN.
  - ROOF TRUSS MANUFACTURER'S DESIGN SHALL INCLUDE REQUIRED BEARINGS, BRACINGS, BLOCKINGS, FASTENING AND ATTACHING DEVICES TO CARRY THE SPECIFIED LOADS.
  - ROOF TRUSSES TO BE DESIGNED TO CARRY ALL LOADS NOTED IN THE "KNOW LOAD ANALYSIS FOR DESIGN" PUBLISHED BY THE STRUCTURAL ENGINEERS ASSOCIATION OF OREGON (LATEST EDITION).
  - ERECTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH BY THE MANUFACTURER.
  - THE ROOF TRUSS MANUFACTURER SHALL SUPPLY ALL TRUSSES, ASSOCIATED LOAD TRANSFER BLOCKS, HANGERS, BRACINGS, BLOCKING AND BEVELED PLATES AS REQUIRED TO COMPLETE THE ROOF TRUSS FRAMING.
  - SUBMIT SHOP DRAWINGS OF ALL WOOD TRUSSES AND TRUSS HANGERS (IF ANY) FOR APPROVAL. INCLUDE CALCULATIONS AND SEAL BY REGISTERED STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF OREGON. TRUSS DESIGNS SHALL ACCOMMODATE BEARING AND DETAIL CONDITIONS AS SHOWN IN THESE DRAWINGS.
  - WEB CONFIGURATION OF TRUSSES BY TRUSS MANUFACTURER (CONFIGURATION MAY VARY FROM THAT SHOWN).
  - PROVIDE CONTINUOUS PERMANENT 2x4 WOOD BRACING AT BOTTOM CHORD PANEL JOINTS AND AT OTHER LOCATIONS RECOMMENDED OR REQUIRED BY TRUSS MANUFACTURER. CONTRACTOR SHALL COMPLY WITH RECOMMENDATIONS OF THE TRUSS PLATE INSTITUTE FOR BRACING OF ALL TRUSSES.
  - ATTACH EACH TRUSS TO TOP PLATE OR BEAM WITH SIMPSON H 2B ANCHORS - TYPICAL AT ALL TRUSS BEARING POINTS.

- ROOF & WALL SHEATHING NOTES/FASTENING SCHEDULE**
- FASTENERS FOR ROOF SHEATHING AT WOOD TO WOOD CONNECTIONS: 16d GALVANIZED NAILS (MINI).
  - FASTENERS FOR WALL SHEATHING AT WOOD TO WOOD CONNECTIONS: 6d DEFORMED SHANK OR 8d COMMON (MINI).
  - FASTENER SPACING AT ROOFS WITH WOOD RAFTERS OR WOOD TRUSSES: 6" O.C. AT EDGES AND IN FIELD UNLESS NOTED OTHERWISE.
  - FASTENER SPACING AT WALL SHEATHING: PER INTERNATIONAL BUILDING CODE NAILING SCHEDULE.
  - PLYWOOD AT ROOFS: 5/8" PLYWOOD, FACE GRAN PERPENDICULAR TO SUPPORTS, STAGGER ADJACENT PANELS 48", APA RATED MINIMUM 32/6, EXPOSURE 1 RATING (INTERIOR TYPE WITH EXTERIOR GLUE). BLOCK ALL UNSUPPORTED EDGES. ORIENTED STRAND BOARD MAY BE SUBSTITUTED WITH PRIOR APPROVAL.
  - PLYWOOD SHEATHING AT EXTERIOR WALLS: 1/2" PLYWOOD, FACE GRAN PERPENDICULAR TO SUPPORTS, STAGGER ADJACENT PANELS 48", APA RATED MINIMUM 32/6, EXPOSURE 1 RATING (INTERIOR TYPE WITH EXTERIOR GLUE). ORIENTED STRAND BOARD MAY BE SUBSTITUTED WITH PRIOR APPROVAL.

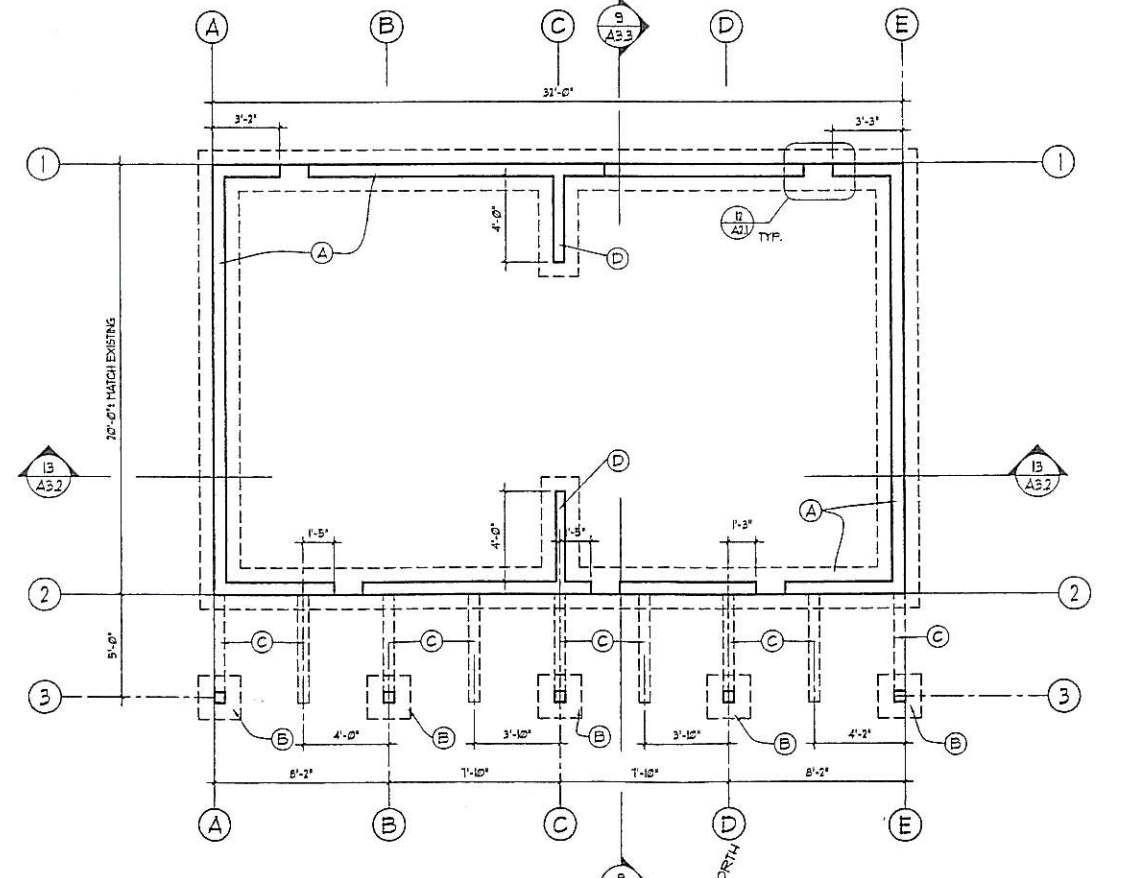
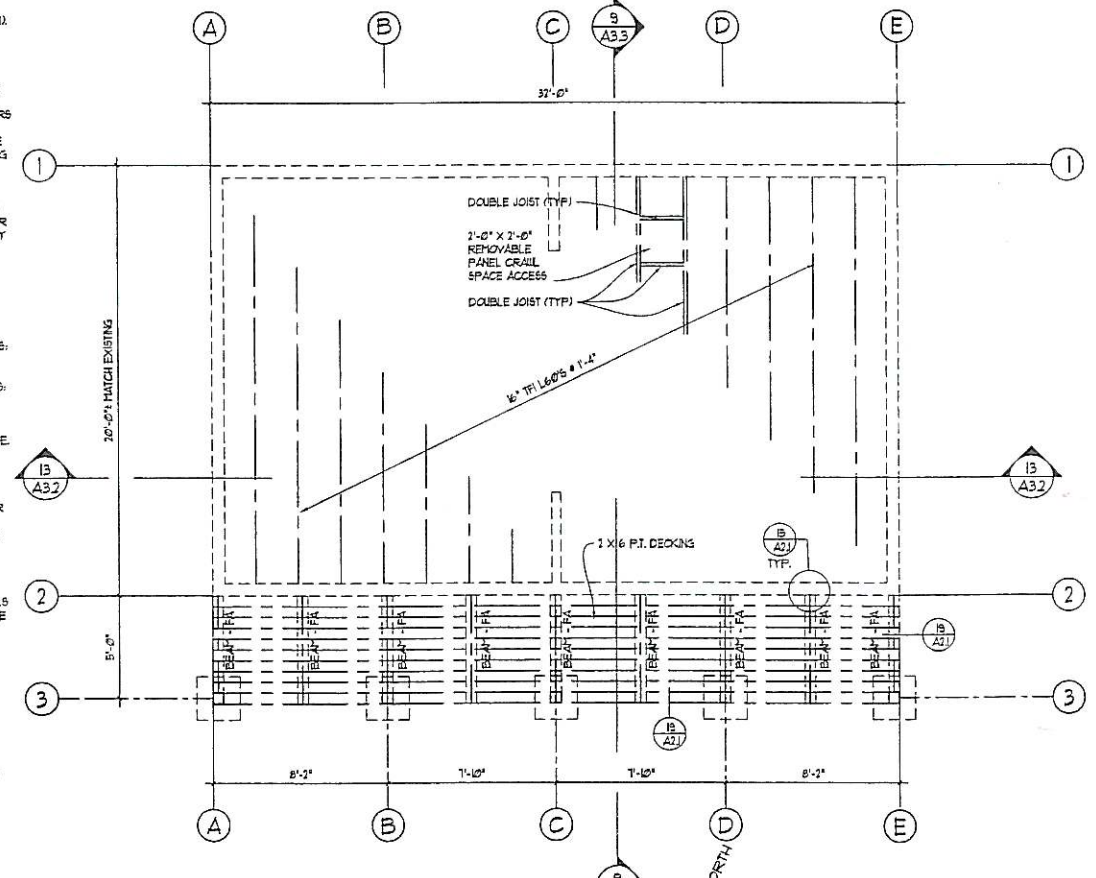
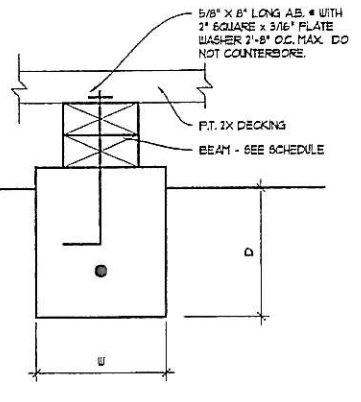
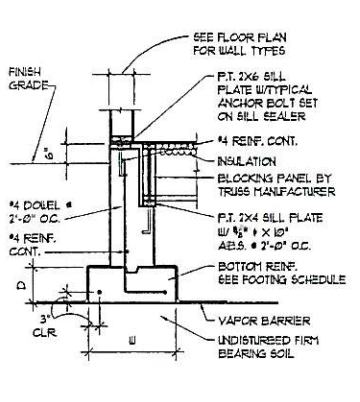
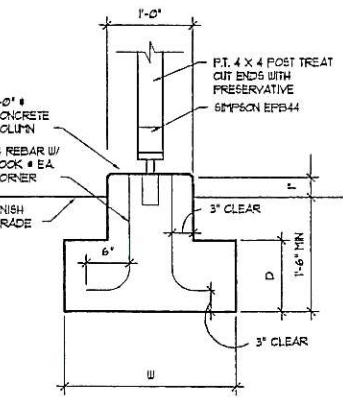
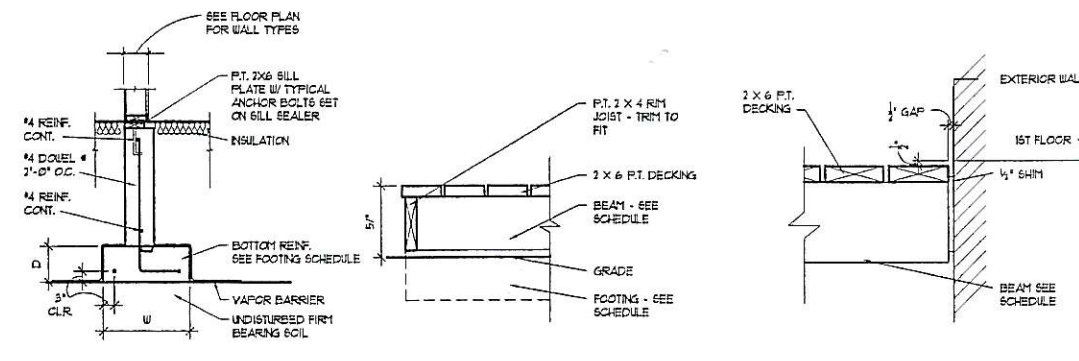
- WOOD FRAMING GENERAL NOTES**
- CONTINUOUSLY BLOCK ALL STUDS IN INTERIOR LOAD BEARING WALLS WITH 2 X 6 @ 4'-0" O.C. VERTICALLY.
- ALL MULTIPLE 2 X LUMBER BEAMS AND COLUMNS (IF ANY) SHALL BE CONNECTED WITH 16d CEMENT-COATED BOX NAILS @ 12" O.C. MAXIMUM, EACH LAYER, STAGGER AND CLINCH ALL NAILS.
- INTERIOR WALLS WHICH EXTEND TO BOTTOM OF TRUSSES SHALL BE FASTENED TO TRANSVERSE TRUSSES WITH SIMPSON H3 CLIPS @ EACH TRUSS. WHERE WALL IS PARALLEL TO TRUSSES PROVIDE SOLID BLOCKING ACROSS WALL @ 4'-0" O.C. AND CORNER WALL TO BLOCKING WITH (2) SIMPSON A25 FRAMING CLIPS @ EACH BLOCK.

BEAM SCHEDULE				
MARK	GRADE	SIZE	DETAIL(S)	COMMENTS
BEAM - FA	D.F. #2	(2) P.T. 2 x 4	15/A2.1, 19/A2.1	



FOOTING SCHEDULE						
MARK	FOOTING SIZE			REINFORCING	DETAIL(S)	REMARKS
	LENGTH	WIDTH	DEPTH			
A	CONT.	2'-0"	10"	(2) #4 CONT.	7/A2.1	
B	2'-0"	2'-0"	1'-0"	(2) #4 CONT.	8/A2.1	
C	CONT.	1'-0"	1'-6" MIN	(1) #4 CONT.	3/A2.1	
D	CONT.	2'-0"	10"	(2) #4 CONT.	23/A2.1	

NOTES: MIN. SOIL BEARING CAPACITY = 1500 PSF  
ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED NATIVE SOIL  
ALL BEARING SURFACES FOR FOOTINGS SHALL BE MINIMUM 1'-6" BELOW FINISH GRADE.



ARCHITECTURE

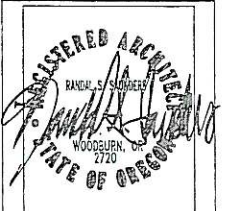
DRAWN BY: ANB  
CHECKED: RSB  
APPROVED: RSB

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NEW GUEST HOUSE AT COUNTRY SIDE LIVING

CANBY, OREGON 97013

390 NW 2ND STREET



REVISIONS

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WOODBURN, OREGON 97071  
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PROJECT NO: 0648  
DRAWING NO: A2.1  
DATE: JAN 2007

FILE: A2.1 - FOUNDATION.DWG  
DATE: 7/9/2007

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### FINISH SCHEDULE

NO.	NAME	FL.	BAG	WALLS				CEILING		REMARKS		
				NORTH	EAST	SOUTH	WEST	MATL	HT			
101	FOOD PREP	SV	SC	UGB	SGE	UGB	SGE	UGB	SGE	8'-2"		
102	RESTROOM	SV	SC	UGB	SGE	UGB	SGE	UGB	SGE	8'-2"		
103	LIVING SPACE	OPT	RBR	XGB	SLP	XGB	SLP	XGB	SLP	VAR		
104	STAIRS	OPT	RBR	XGB	SLP	XGB	SLP	XGB	SLP	VAR		
201	LOFT	OPT	RBR	XGB	ELP	XGB	SLP	---	---	XGB	ELP	VAR

### DOOR SCHEDULE

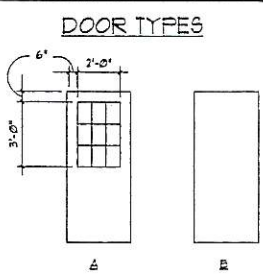
LOCATION	NO.	SIZE	DOOR				FRAME		HCU NO.	REMARKS
			TYPE	TK	GL	HT	MATL	FIN		
LIVING 103	1	3'-0" X 7'-0"	A	1/4"	SC	UD	ST	WD	ST	21/A33, 22/A33, 23/A33
RESTROOM 104	2	3'-0" X 7'-0"	B	1/4"	SC	UD	ST	WD	ST	25/A33, 26/A33

- #### ABBREVIATIONS
- CFT CARPET
  - FN FINISH
  - FL FLOORING
  - HT HEIGHT
  - MATL MATERIAL
  - NO. ROOF NUMBER
  - RBR RUBBER BASE
  - SC SELF COVE BASE
  - SGE SEMI GLOSS ENAMEL PAINT
  - SLP SATIN LATEX PAINT
  - SV SHEET VINYL
  - UGB WATER RESISTANT TYPE 'X' GYPSUM BOARD
  - XGB TYPE 'X' GYPSUM BOARD

#### FINISH SCHEDULE KEY NOTES

1 4'-0" HIGH FIBERGLASS REINFORCED WANSOCOT ON ALL WALLS.  
SEE A3.4

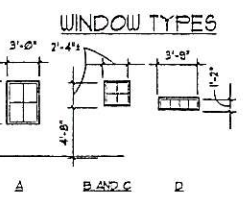
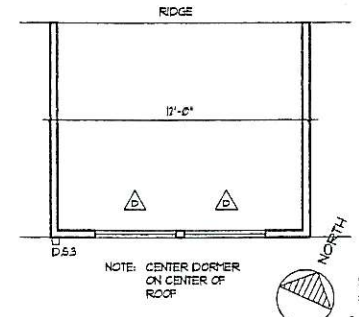
- #### ABBREVIATIONS
- F FACTORY
  - FN FINISH
  - GL GLAZING
  - HCU NO. HARDWARE GROUP NUMBER
  - MATL MATERIAL
  - NO. DOOR NUMBER
  - RATING FIRE RATING
  - SC SOLID CORE
  - ST STAIN FINISH
  - TK THICKNESS
  - TEMP TEMPERED
  - UD WOOD



### WINDOW SCHEDULE

MARK	SIZE		DETAIL	FRAME		REMARKS
	WIDTH	HEIGHT		MATERIAL	FINISH	
A	3'-0"	4'-0"	1/A3.4, 18/A3.4	VINYL	WHITE	3
B	2'-4"	2'-4"	21/A3.4, 22/A3.4, 23/A3.4	VINYL	WHITE	1, 2, 3
C	2'-4"	2'-4"	21/A3.4, 22/A3.4, 23/A3.4	VINYL	WHITE	1, 2, 3
D	3'-9"	1'-2"	19/A3.4, 20/A3.4, 24/A3.4	VINYL	WHITE	3

NOTE: VERIFY WINDOW ROUGH OPENING SIZE PRIOR TO WINDOW FABRICATION.

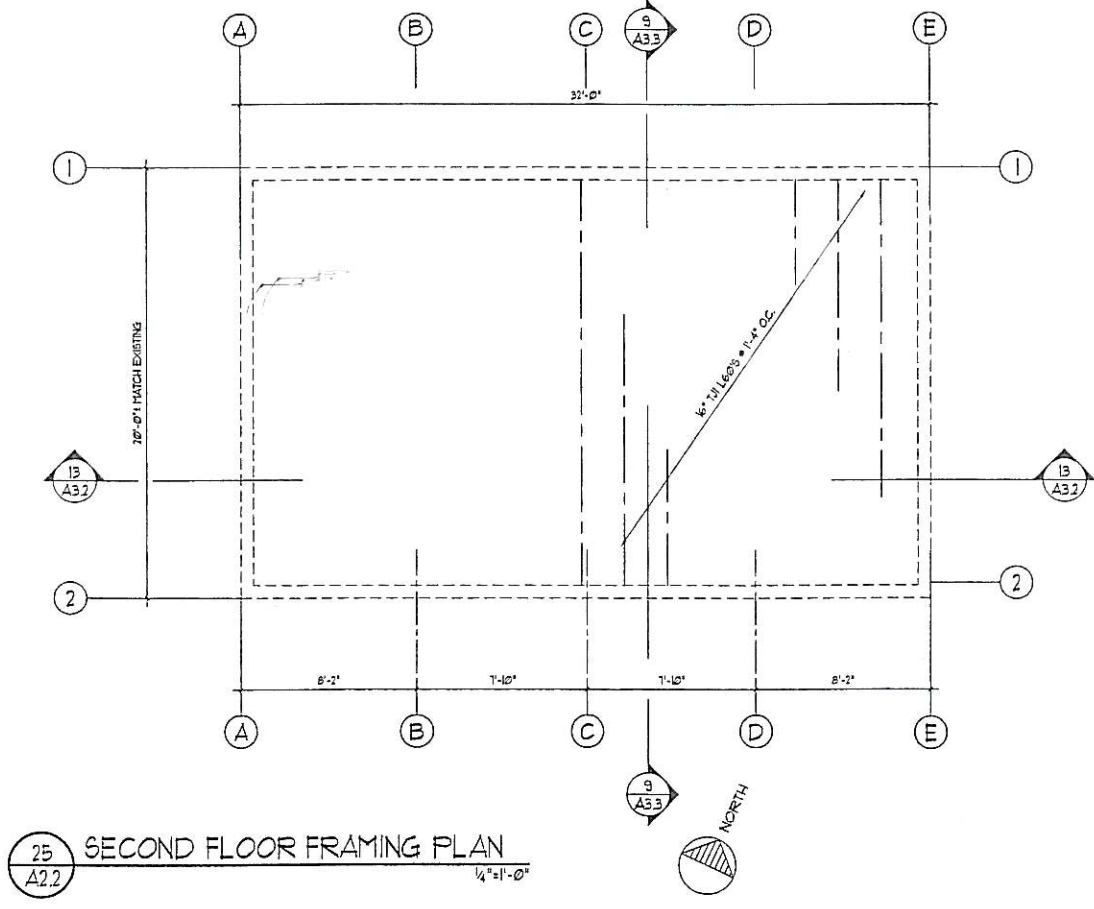
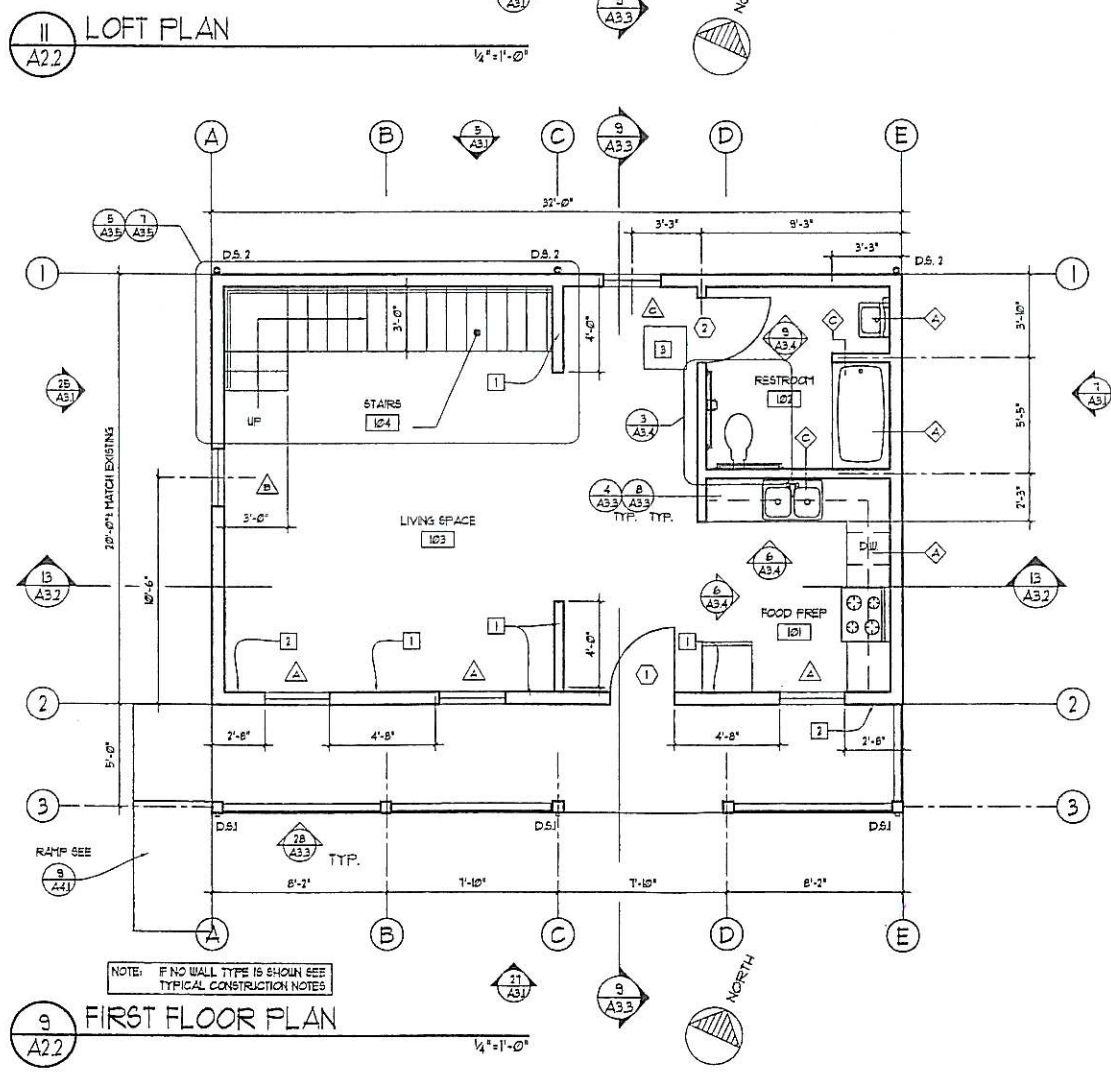
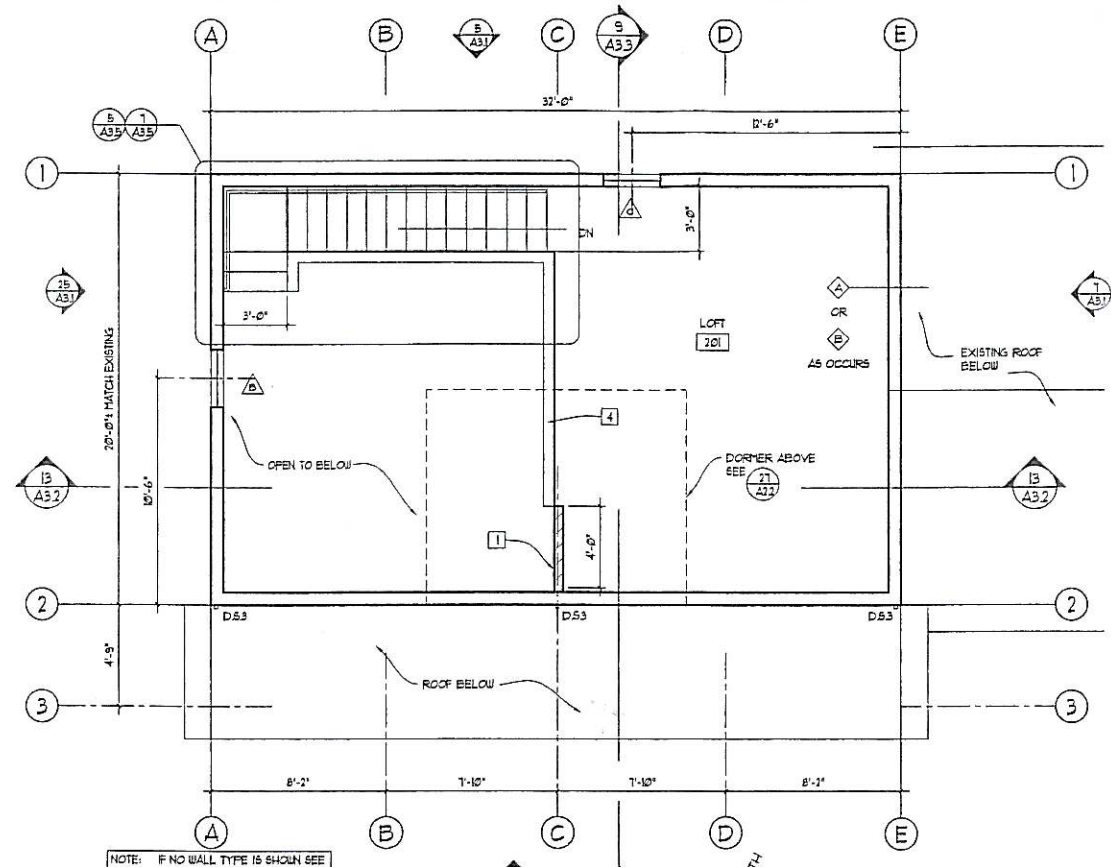


- #### WINDOW SCHEDULE KEY NOTES
- 1 WINDOW TO MATCH WINDOW ON ADJACENT BUILDING
  - 2 GLAZING TO BE OPAQUE GLASS
  - 3 FOR WINDOW FLASHING SEE A3.4, A3.5, A3.6, A3.7, A3.8

- #### WALL TYPES
- A (64 FILE NUMBER UP 645 - 2 HOUR EXTERIOR WALL) 2 X 6 D.F. 4 X 4 O.C. STORAGE SIDE. 1/2" TYPE 'X' GYPSUM SHEATHING, ATTACH TO STUDS WITH 6d COATED NAILS, 2 1/4" LONG, @16" SHANK. 1/2" HEADS. # 24" O.C. OVER 1/2" TYPE 'X' GYPSUM SHEATHING, ATTACH TO STUDS WITH 6d NAILS, 1 1/2", @24" SHANK. 1/2" HEADS. # 24" O.C. 1/2" PLYWOOD WALL SHEATHING ON FACE OF WALL. INTERIOR: 1/2" TYPE 'X' GYPSUM SHEATHING, ATTACH TO STUDS WITH 6d COATED NAILS, 2 1/4" LONG, @16" SHANK. 1/2" HEADS. # 24" O.C. OVER 1/2" TYPE 'X' GYPSUM SHEATHING, ATTACH TO STUDS WITH 6d NAILS, 1 1/2", @24" SHANK. 1/2" HEADS. # 24" O.C.
  - B SIMILAR TO A WITH 2" FIBER CEMENT SIDING TO MATCH EXISTING ADJACENT BUILDING ON EXTERIOR FACE.
  - C 2 X 6 WOOD STUDS # 1'-4" O.C. W/ SOUND BATT. INSULATION IN STUD SPACES. 1/2" WATER RESISTANT TYPE 'X' GYPSUM BOARD ON BOTH SIDES.

- #### TYPICAL CONSTRUCTION
- ROOF/CEILING:  
MANUFACTURED TRUSSES # 2'-0" O.C. SEE A2.2 AND A2.3  
1/2" PLYWOOD/OSB SHEATHING  
R-38 LOOSE FILL OR BATT INSULATION  
ASPHALT SHINGLES  
1/2" TYPE 'X' GYPSUM BOARD  
TEXTURE AND PAINT
- EXTERIOR WALL:  
2 X 6 STUDS # 1'-4" O.C.  
1/2" PLYWOOD/OSB SHEATHING W/ 6d COM. NAIL @ 6" O.C.  
30# BUILDING PAPER  
2" FIBER CEMENT SIDING  
R-13 BATT INSULATION IN STUD SPACES  
1/2" TYPE 'X' GYPSUM BOARD OR WATER RESISTANT TYPE 'X' GYPSUM BOARD - SEE FINISH SCHEDULE  
TEXTURE/PAINT
- INTERIOR WALLS:  
2 X 4 STUDS # 1'-4" O.C.  
SOUND BATT INSULATION IN STUD SPACES  
1/2" TYPE 'X' GYPSUM BOARD OR WATER RESISTANT TYPE 'X' GYPSUM BOARD - SEE FINISH SCHEDULE  
TEXTURE/PAINT
- SECOND FLOOR:  
1/2" TAG PLYWOOD  
TJI FRAMING MEMBER - SEE FLOOR FRAMING PLAN  
SOUND BATT INSULATION  
1/4" TYPE 'X' GYPSUM BOARD OR WATER RESISTANT TYPE 'X' GYPSUM BOARD - SEE FINISH SCHEDULE
- FIRST FLOOR:  
1/2" TAG PLYWOOD  
TJI FRAMING MEMBER - SEE FLOOR FRAMING PLAN  
R-13 INSULATION
- FOUNDATION:  
ALL POURED IN PLACE - 7500 PSI  
SEE SCHEDULE FOR SIZES AND REINFORCING
- FINISHES:  
SELECTED BY OWNER
- ANCHOR BOLTS:  
5/8" X 10" LONG AB, WITH 2" SQUARE X 3/16" PLATE WASHER # 2'-8" O.C. MAX. DO NOT COUNTERBORE.

- #### FLOOR PLAN/LOFT PLAN KEY NOTES
- 1 BRACE PANEL SEE A4.1
  - 2 ALTERNATE BRACE PANEL SEE A4.1
  - 3 2'-0" X 2'-0" REMOVABLE PANEL GRAB SPACE ACCESS
  - 4 3'-0" GUARD RAIL SEE A3.3

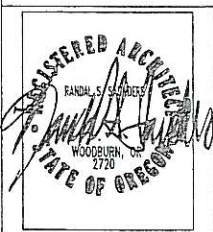


DRAWN BY: ANE  
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NEW GUEST HOUSE AT COUNTRY SIDE LIVING

390 N.W. 2ND STREET  
CANYON, OREGON 97013



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2225 COUNTRY CLUB ROAD  
WOODBURN, OREGON 97071  
(503) 982-1211

PROJECT NO: 0648  
DRAWING NO: A2.2  
DATE: JAN 2007

PLOT DATE/TIME: DATE: 7/9/2007 TIME: 11:18 FILE: A2.2 - FLOOR PLANS.DWG

21

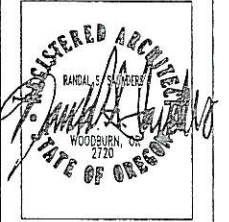
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NEW GUEST HOUSE  
 AT  
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390 N.W. 2ND STREET



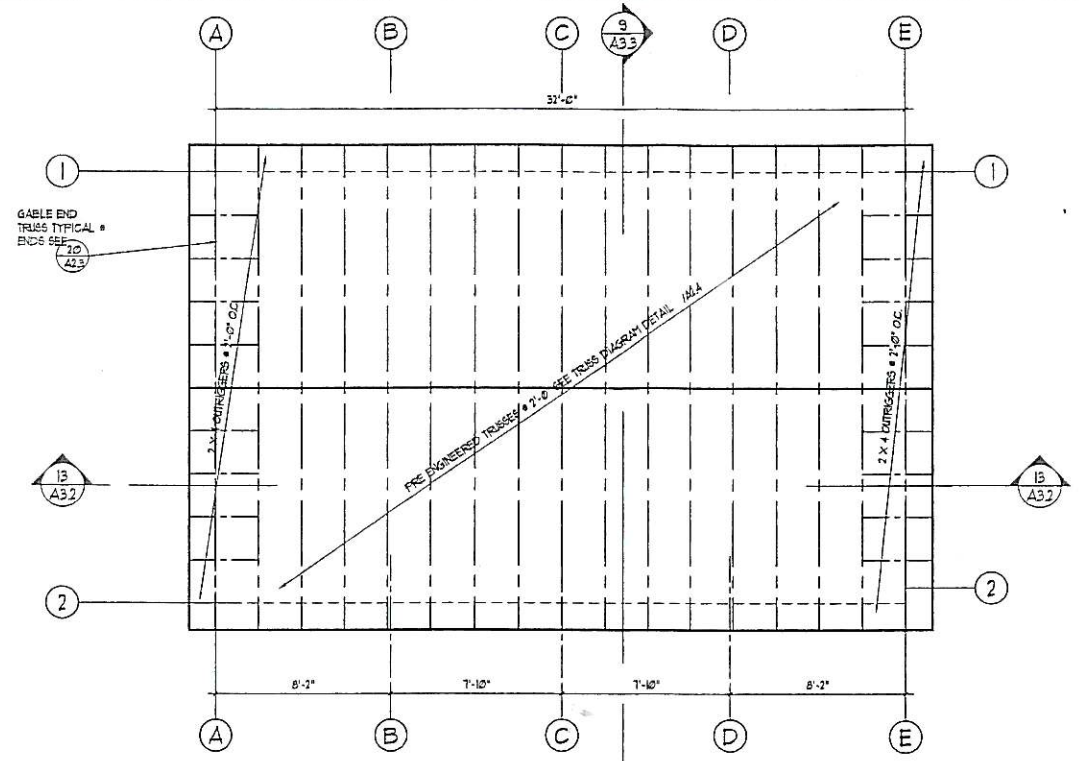
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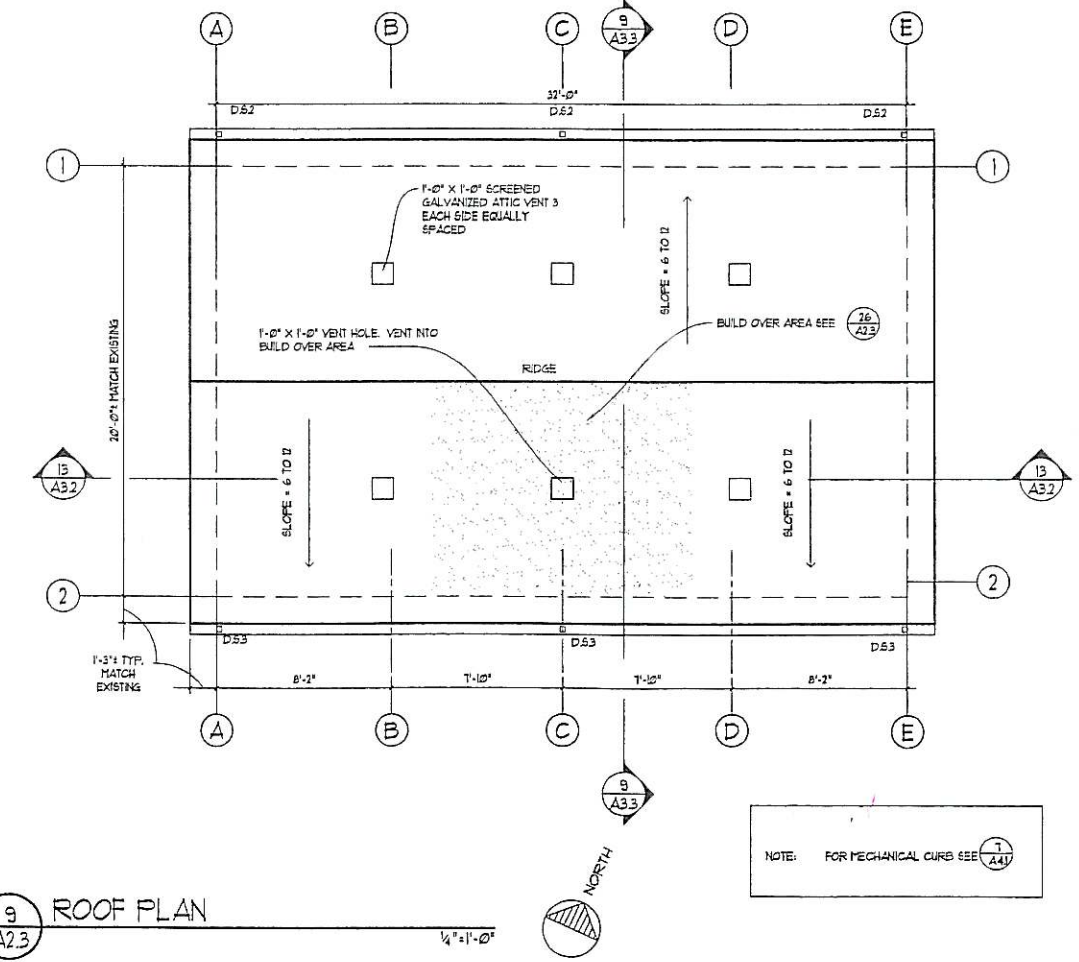
2225 COUNTRY CLUB ROAD  
 WOODBURN, OREGON 97071  
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PROJECT NO.: 0648  
 DATE: JAN 2007  
 DRAWING NO.: A2.3

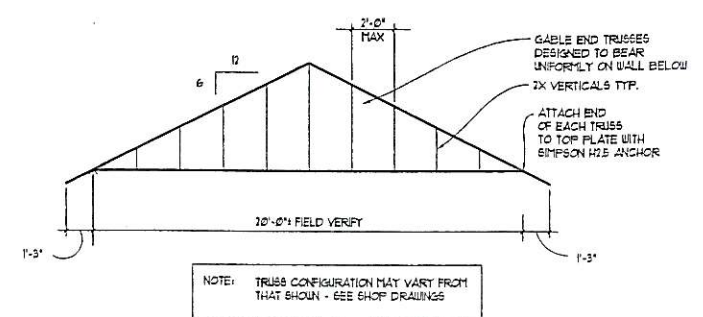
22



11 ROOF FRAMING PLAN  
 A32

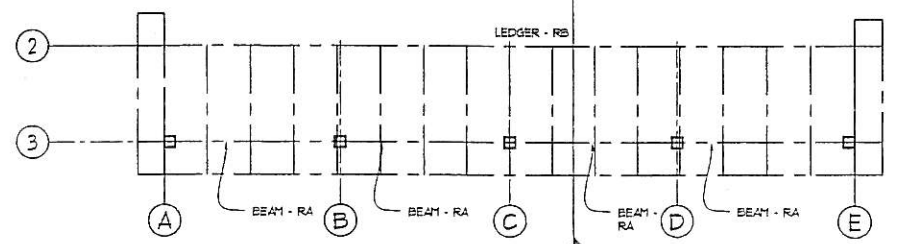


9 ROOF PLAN  
 A2.3

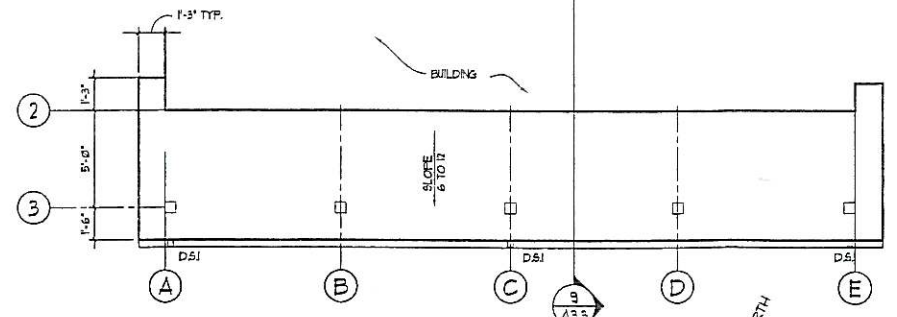


20 TRUSS DIAGRAM  
 A2.3

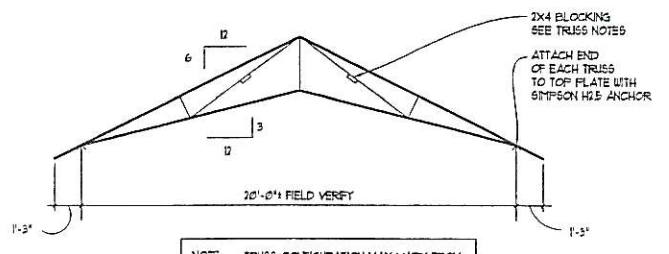
BEAM SCHEDULE				
MARK	GRADE	SIZE	DETAIL(S)	COMMENTS
BEAM RA	DF. #1	4 X 8	24/A32, 25/A32	
LEDGER RB	DF. #1	4 X 8	16/A32	



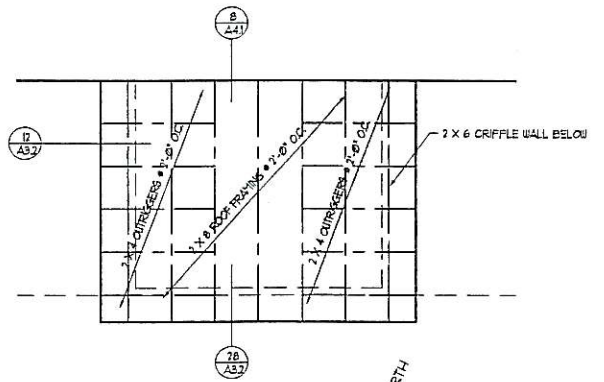
18 ROOF FRAMING PLAN  
 A2.3



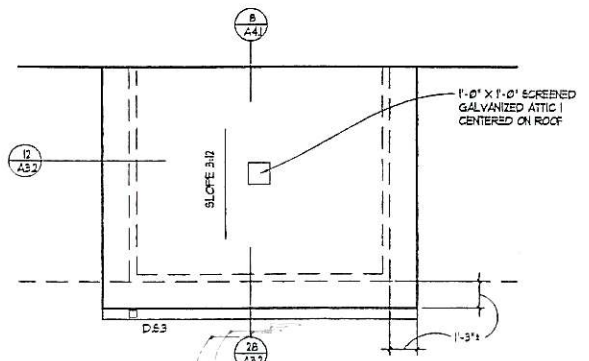
17 ROOF PLAN  
 A2.3



28 TRUSS DIAGRAM  
 A2.3



27 ROOF FRAMING PLAN  
 A2.3



26 ROOF PLAN  
 A2.3

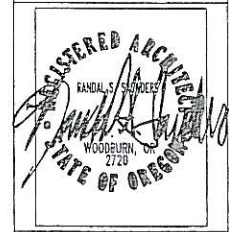
FILE: A13 - ROOF FRAMING FLANDING  
 TIME: 11:12  
 DATE: 7/9/2007

DRAWN BY: ANB  
 CHECKED: RSS  
 APPROVED: RSS  
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NEW GUEST HOUSE  
 AT  
 COUNTRY SIDE LIVING

390 NW 2ND STREET



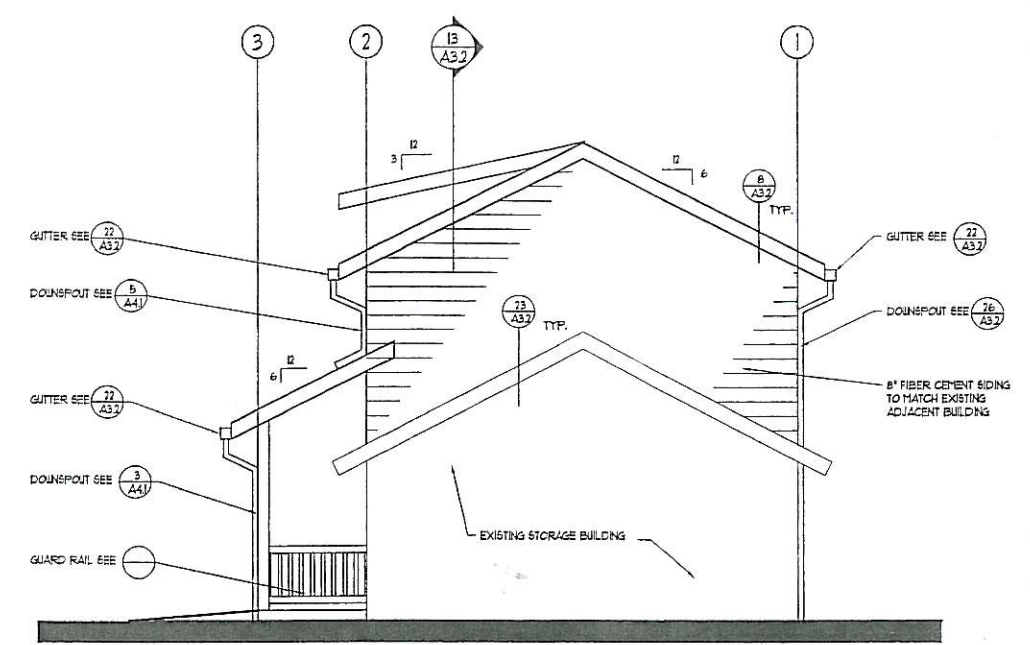
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PROJECT NO.: 0648  
 DATE: JAN. 2007  
 DRAWING NO.: A3.1

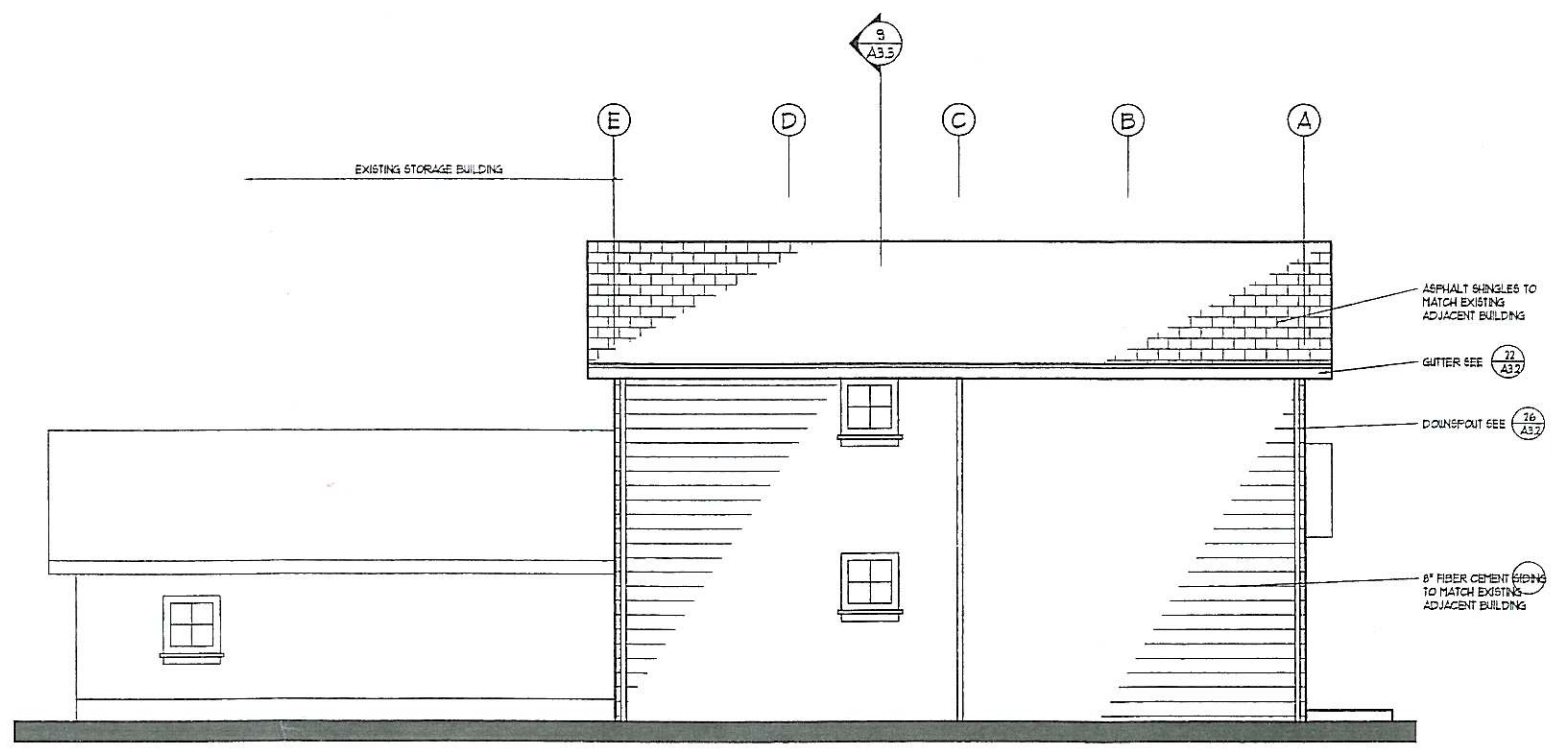
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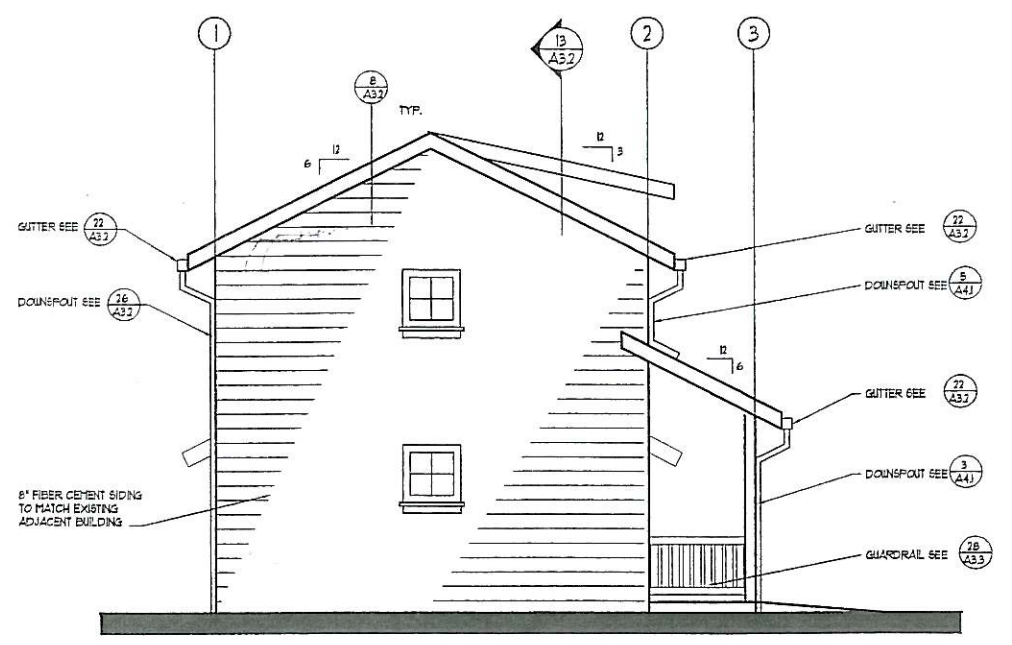
7 EAST ELEVATION 1/4" = 1'-0"



27 SOUTH ELEVATION 1/4" = 1'-0"



5 NORTH ELEVATION 1/4" = 1'-0"



25 WEST ELEVATION 1/4" = 1'-0"

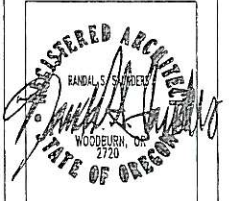
FILE: A3.1 - EXTERIOR ELEVATIONS.DWG  
 DATE: 7/27/07  
 TIME: 11:07

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 CHECKED : RSB  
 APPROVED : RSB  
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390 N.W. 2ND STREET

NEW GUEST HOUSE  
 AT  
 COUNTRY SIDE LIVING



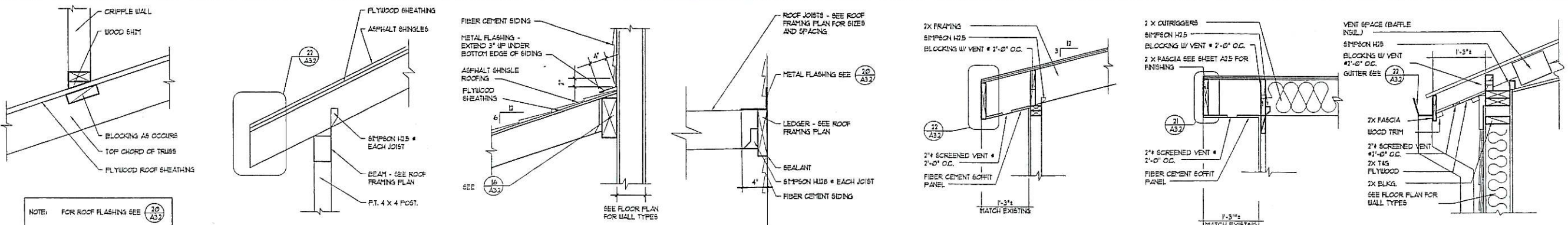
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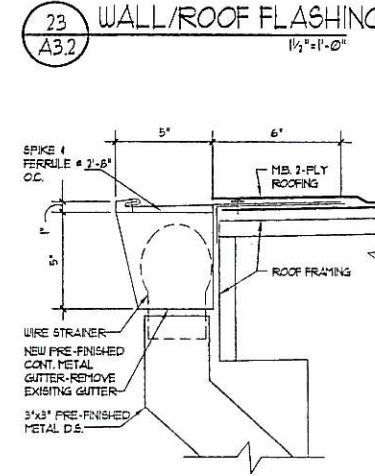
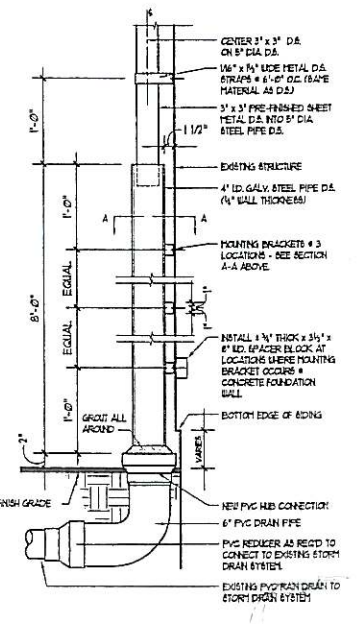
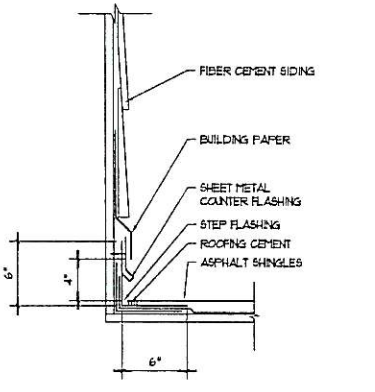
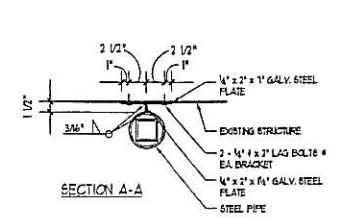
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 (503) 982-1211

PROJECT NO.: 0648  
 DATE: JAN 2007  
 DRAWING NO.: A3.2

24

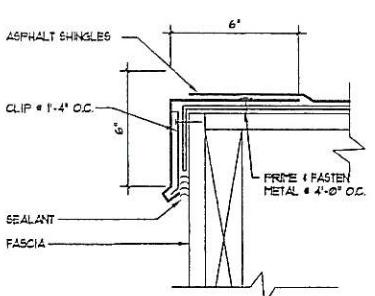
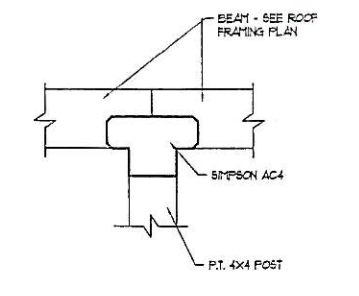


28 CRIPPLE WALL CONN. 1/2"=1'-0"  
 24 WALL/ROOF CONN. 1"=1'-0"  
 20 WALL/ROOF CONN. 1"=1'-0"  
 16 WALL/ROOF CONN. 1 1/2"=1'-0"  
 12 EAVE DETAIL 3/4"=1'-0"  
 8 OUTRIGGER DETAIL 3/4"=1'-0"  
 4 EAVE DETAIL 1"=1'-0"



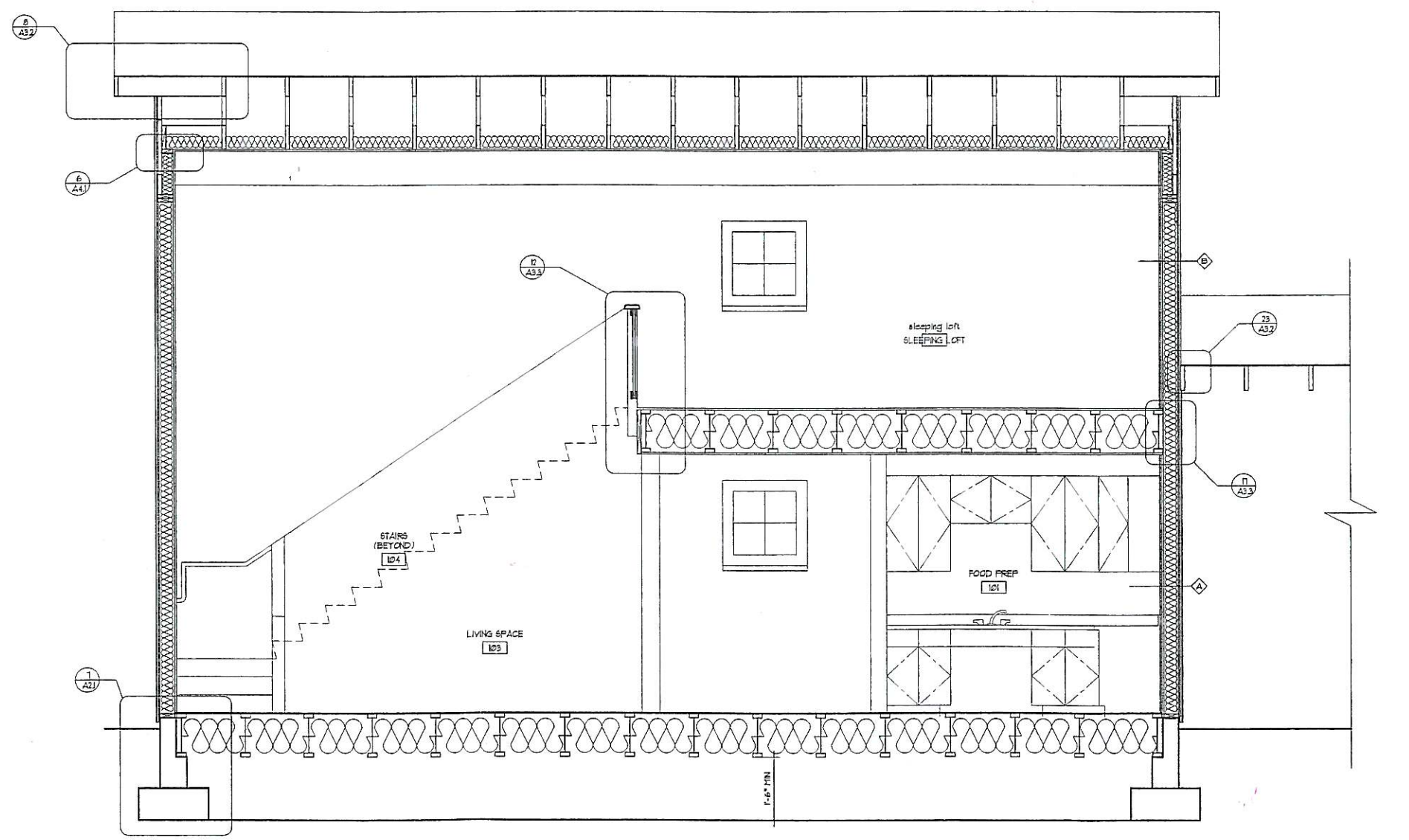
26 DOWNSPOUT DETAIL 1"=1'-0"

22 GUTTER DETAIL 3"=1'-0"



25 BEAM/POST CONN. 1 1/2"=1'-0"

21 FASCIA DETAIL 3"=1'-0"



13 BUILDING SECTION 1/2"=1'-0"

FILE: 10.59 DATE: 7/9/2007 TIME: 10:59

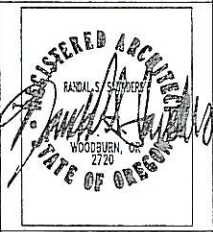


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NEW GUEST HOUSE  
 AT  
 COUNTRY SIDE LIVING

350 N.W. 2ND STREET



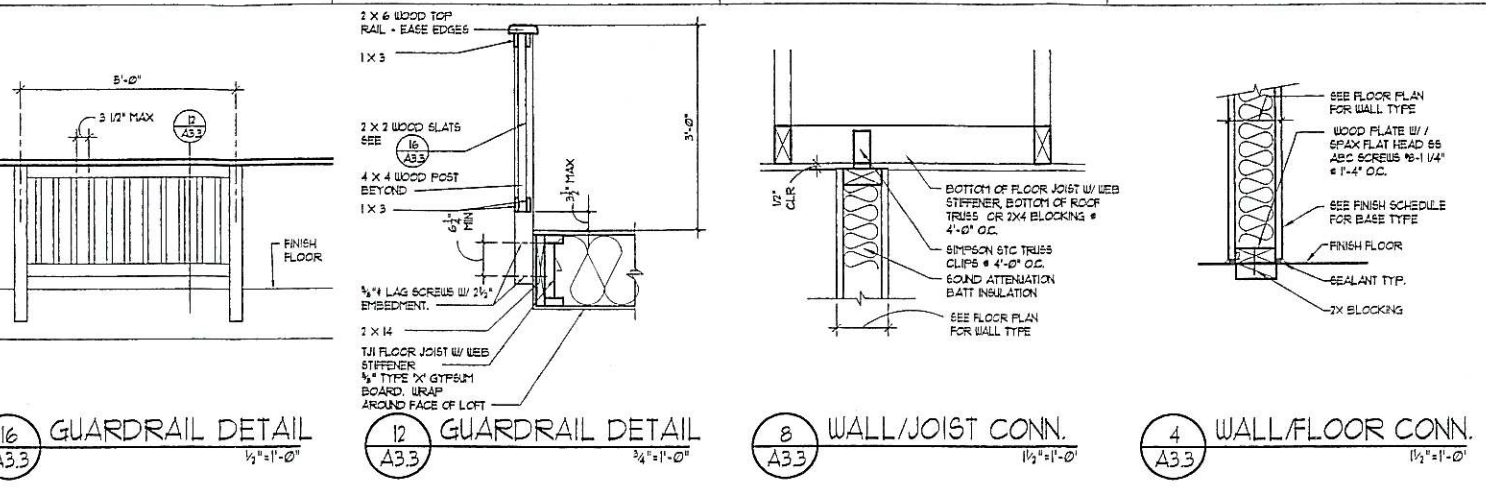
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PROJECT NO.: 0648  
 DATE: JAN. 2007  
 DRAWING NO.: A3.3

25



28 GUARDRAIL DETAIL  
1/2" x 1'-0"

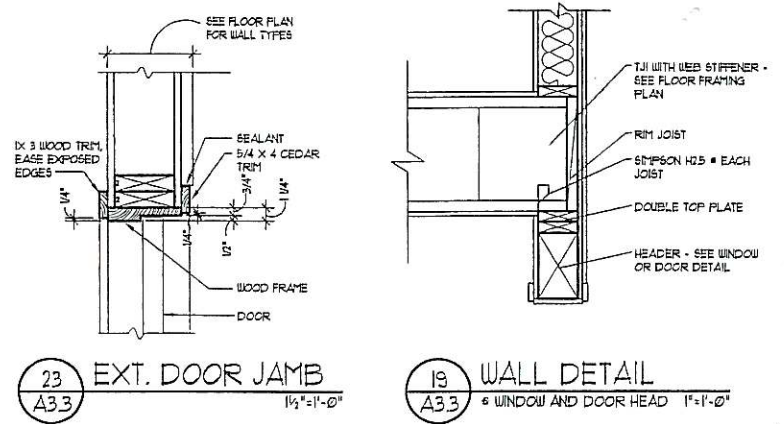
20 GUARDRAIL DETAIL  
6 COVERED PATIO  
3/4" x 1'-0"

16 GUARDRAIL DETAIL  
1/2" x 1'-0"

12 GUARDRAIL DETAIL  
3/4" x 1'-0"

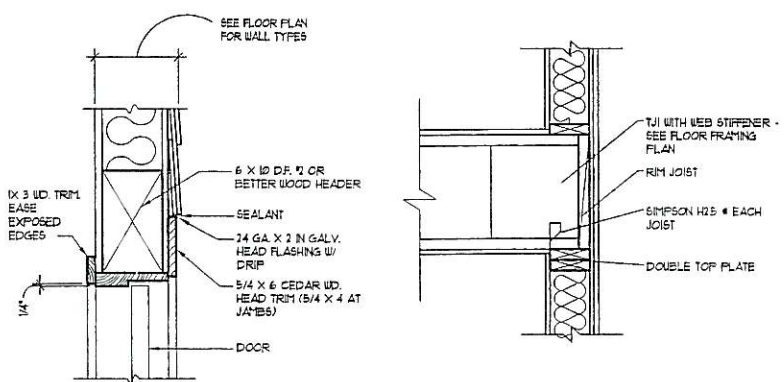
8 WALL/JOIST CONN.  
1 1/2" x 1'-0"

4 WALL/FLOOR CONN.  
1 1/2" x 1'-0"



23 EXT. DOOR JAMB  
1 1/2" x 1'-0"

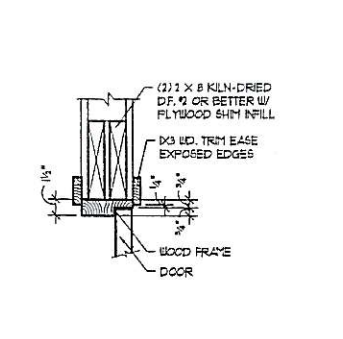
19 WALL DETAIL  
6 WINDOW AND DOOR HEAD  
1" x 1'-0"



26 INT. DOOR JAMB  
1 1/2" x 1'-0"

22 EXT. DOOR HEAD  
1 1/2" x 1'-0"

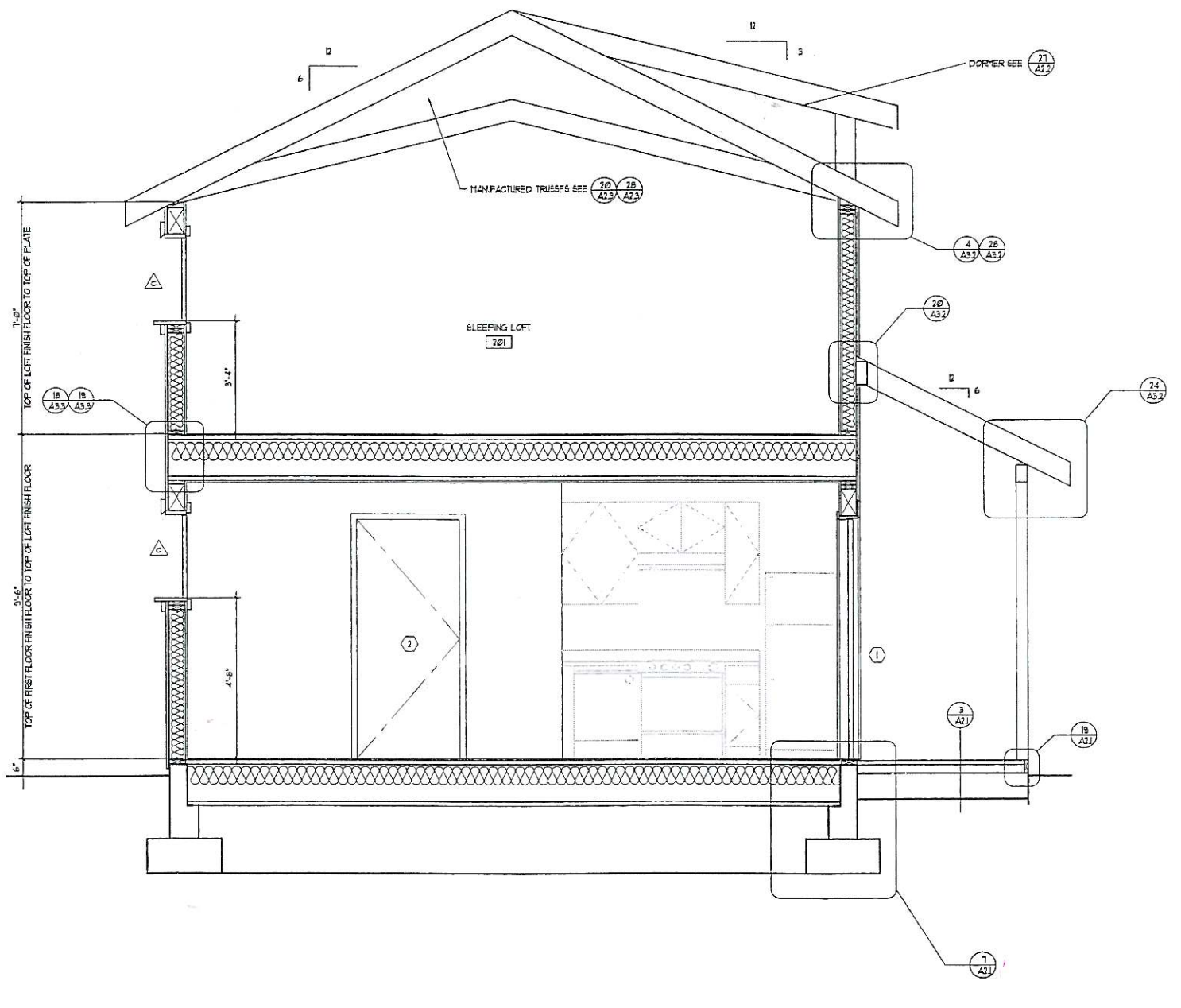
18 WALL DETAIL  
1" x 1'-0"



25 INT. DOOR HEAD  
1 1/2" x 1'-0"

21 EXT. DOOR SILL  
3" x 1'-0"

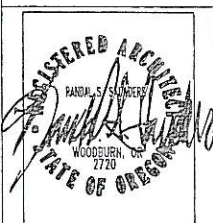
11 WALL DETAIL  
1" x 1'-0"



9 BUILDING SECTION  
1/2" x 1'-0"

FILE: A3.3 - BUILDING SECTIONS  
 DATE: 7/2/07

NEW GUEST HOUSE  
 AT  
 COUNTRY SIDE LIVING



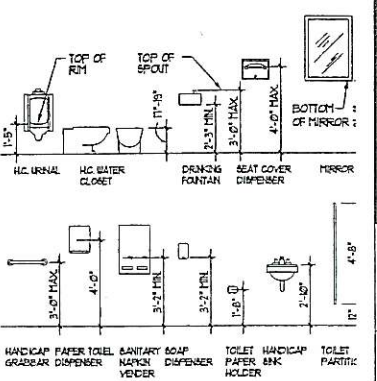
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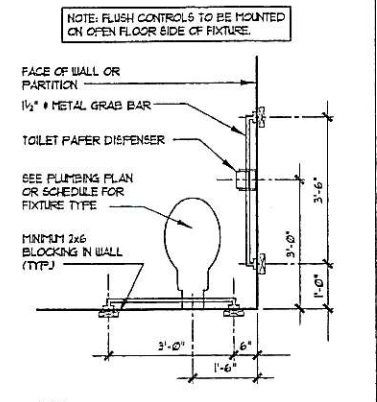
2225 COUNTRY CLUB ROAD  
WOODBURN, OREGON 97071  
(503) 982-1211

PROJECT NO: 0648  
 DATE: JAN 2007  
 DRAWING NO: A3.4

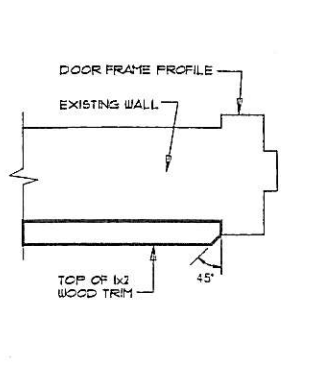
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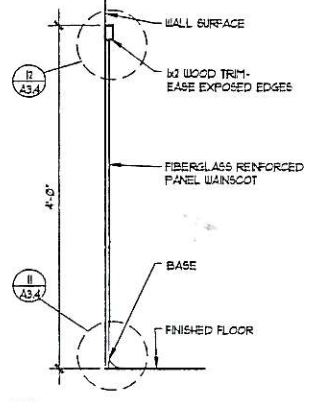
**4 MOUNTING HEIGHTS**  
A3.4 1/4"=1'-0"



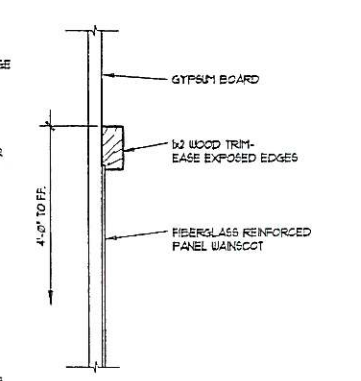
**3 GRAB BAR CONFIG**  
A3.4 1/4"=1'-0"



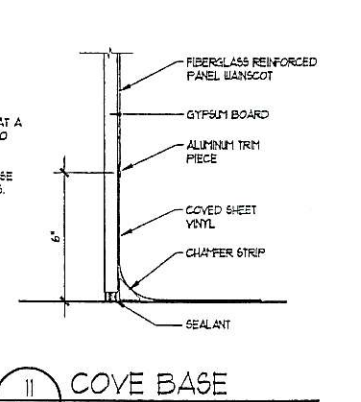
**8 TRIM DETAIL**  
A3.4 3"=1'-0"



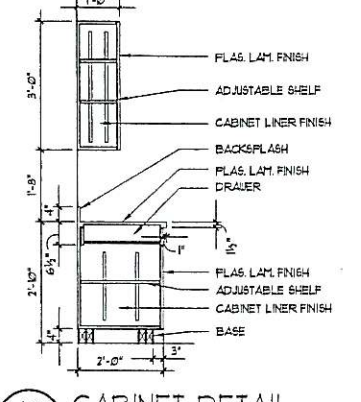
**7 WAINSCOT DETAIL**  
A3.4 1"=1'-0"



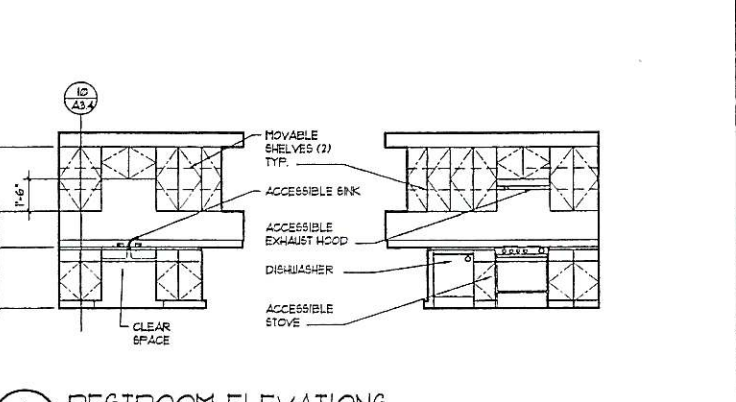
**12 TRIM DETAIL**  
A3.4 3"=1'-0"



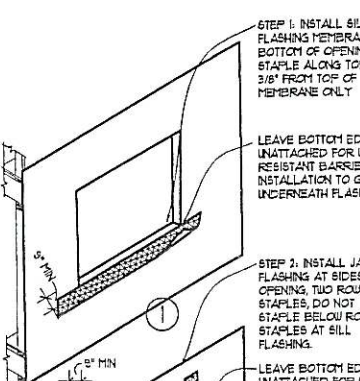
**11 COVE BASE**  
A3.4 3"=1'-0"



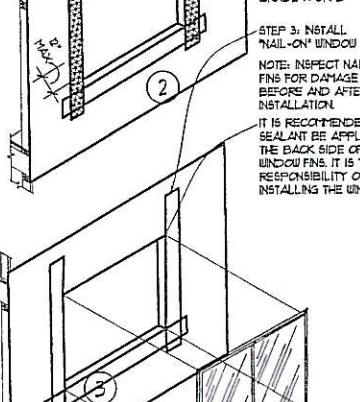
**10 CABINET DETAIL**  
A3.4 1/2"=1'-0"



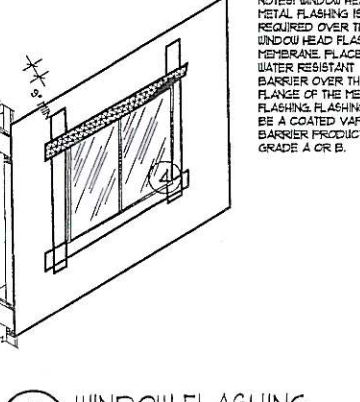
**6 RESTROOM ELEVATIONS**  
A3.4 1/4"=1'-0"



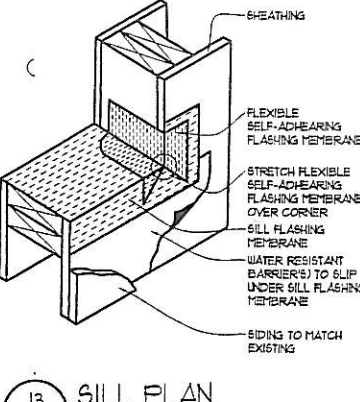
**20 WINDOW HEAD**  
A3.4 1/2"=1'-0"



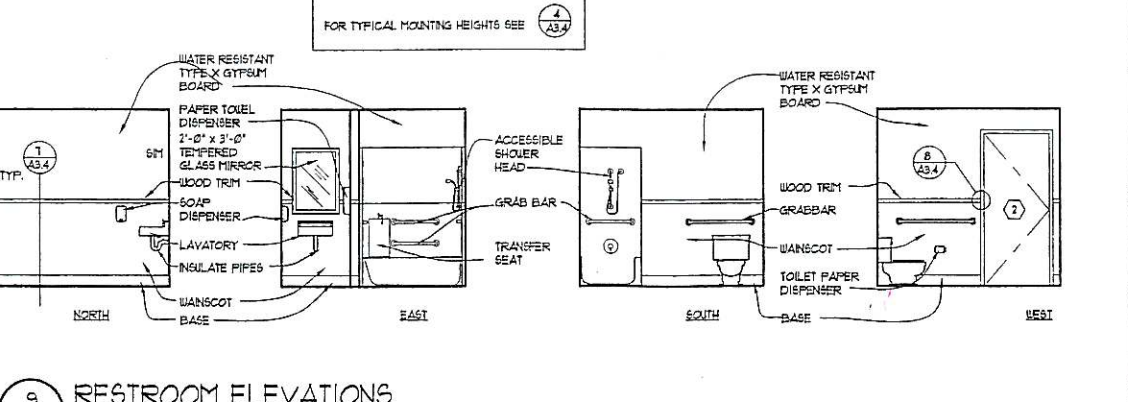
**19 WINDOW SILL**  
A3.4 1/2"=1'-0"



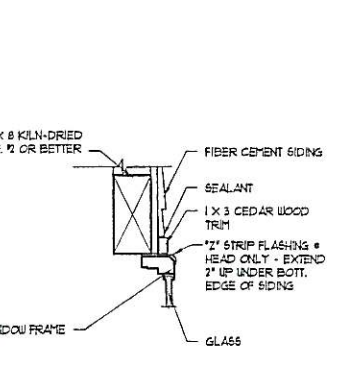
**14 WINDOW FLASHING**  
A3.4 NT5



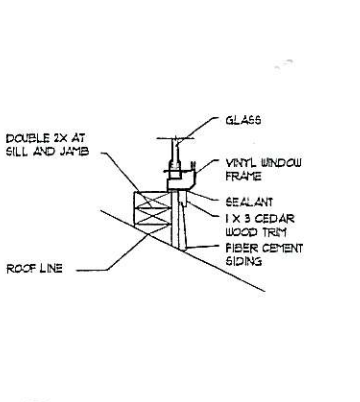
**13 SILL PLAN**  
A3.4 NT5



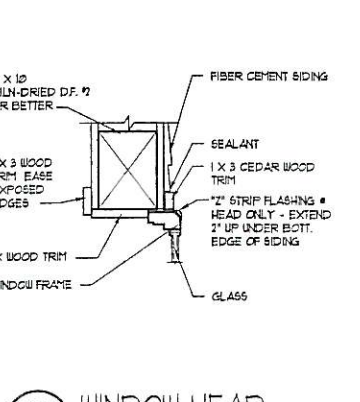
**9 RESTROOM ELEVATIONS**  
A3.4 1/4"=1'-0"



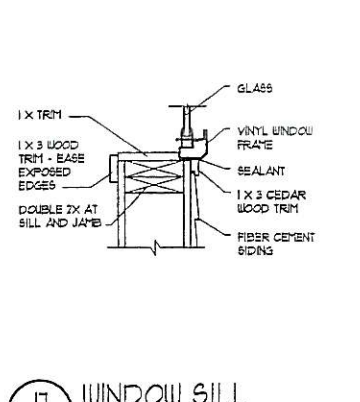
**24 WINDOW JAMB**  
A3.4 1/2"=1'-0"



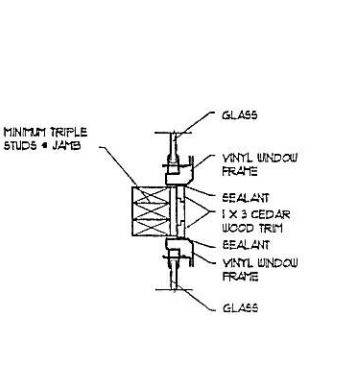
**23 WINDOW HEAD**  
A3.4 1/2"=1'-0"



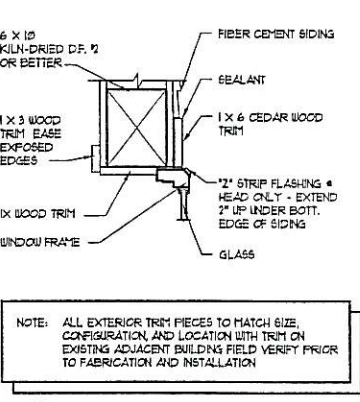
**22 WINDOW SILL**  
A3.4 1/2"=1'-0"



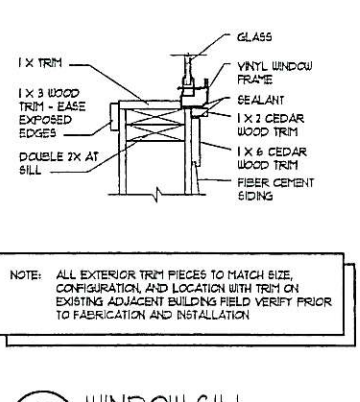
**21 WINDOW JAMB**  
A3.4 1/2"=1'-0"



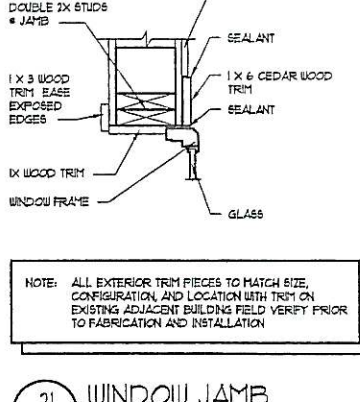
**27 HEAD FLASHING**  
A3.4 3"=1'-0"



**26 WILL FLASHING**  
A3.4 3"=1'-0"



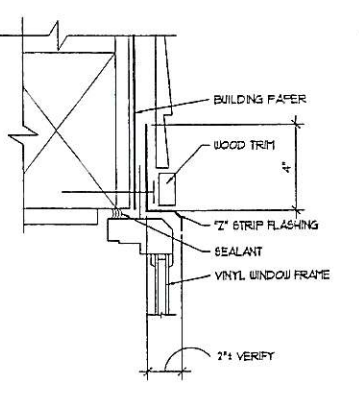
**25 JAMB FLASHING**  
A3.4 3"=1'-0"



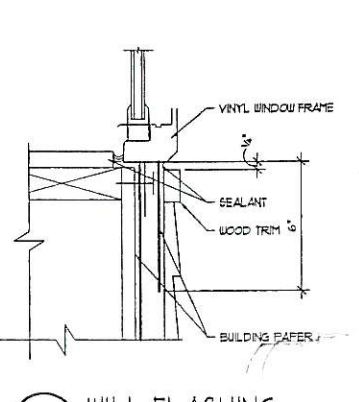
**20 WINDOW HEAD**  
A3.4 1/2"=1'-0"



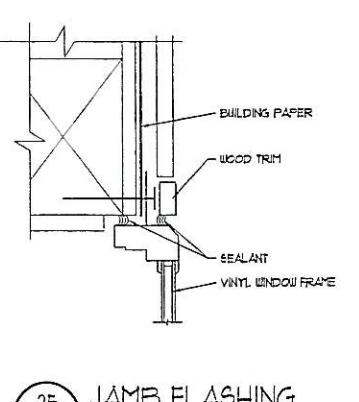
**23 WINDOW HEAD**  
A3.4 1/2"=1'-0"



**19 WINDOW SILL**  
A3.4 1/2"=1'-0"

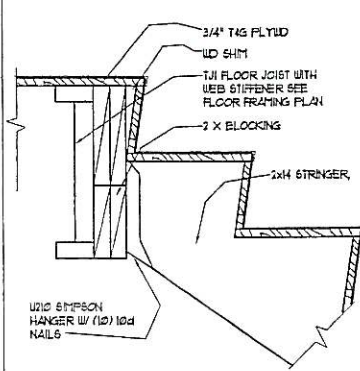


**14 WINDOW FLASHING**  
A3.4 NT5

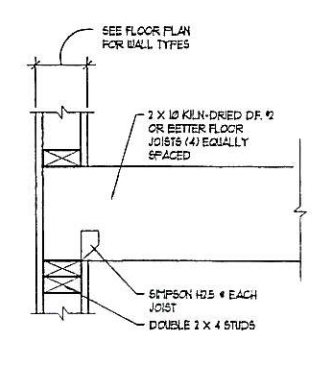


**13 SILL PLAN**  
A3.4 NT5

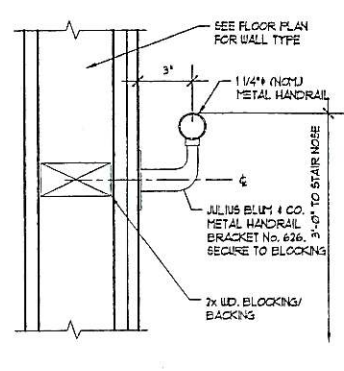
FILE: A3.4 - INTERIOR ELEVATIONS.DWG  
DATE: 2/9/2007  
TIME: 10:39



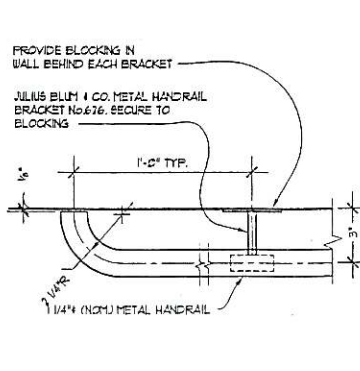
28 STAIR DETAIL  
A3.5 SECOND FLOOR 1/2"=1'-0"



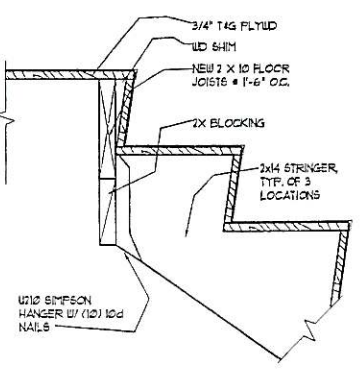
24 LANDING DETAIL  
A3.5 1/2"=1'-0"



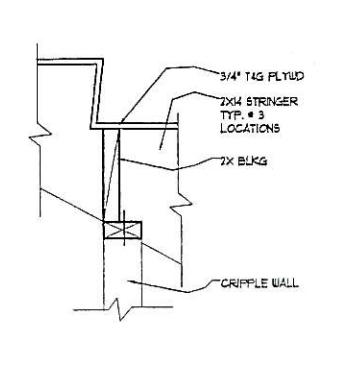
20 HANDRAIL BRACKET  
A3.5 3"=1'-0"



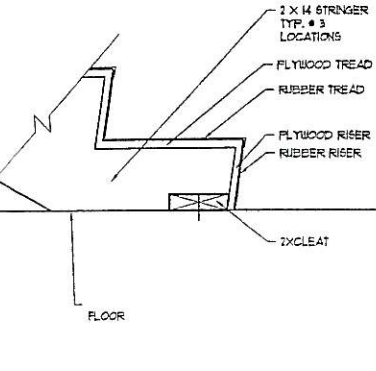
16 HANDRAIL DETAIL  
A3.5 3"=1'-0"



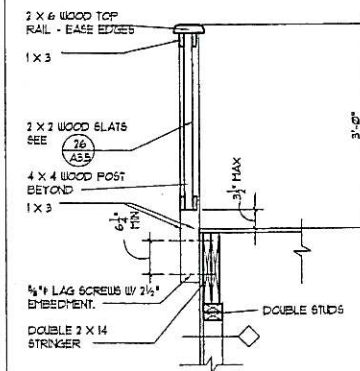
12 STAIR DETAIL  
A3.5 LANDING 1/2"=1'-0"



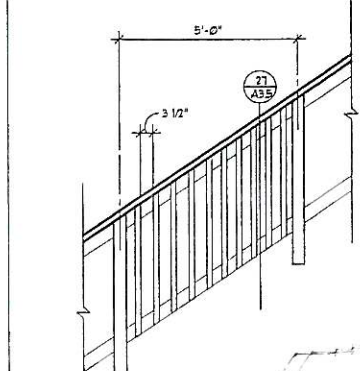
8 TREAD DETAIL  
A3.5 1/2"=1'-0"



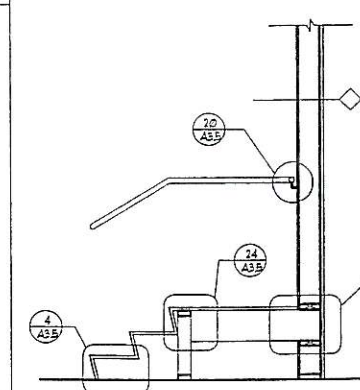
4 STAIR DETAIL  
A3.5 1/2"=1'-0"



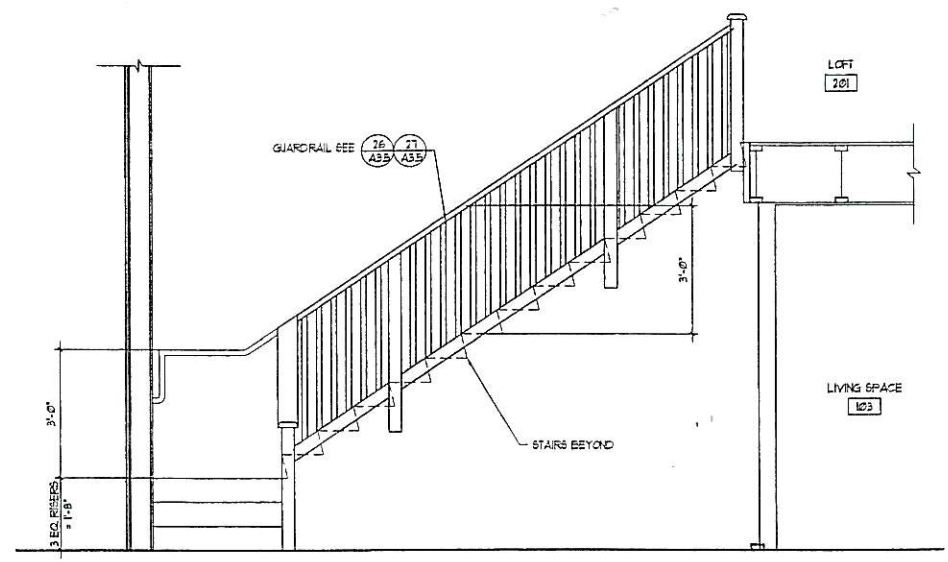
27 GUARD RAIL DETAIL  
A3.5 3/4"=1'-0"



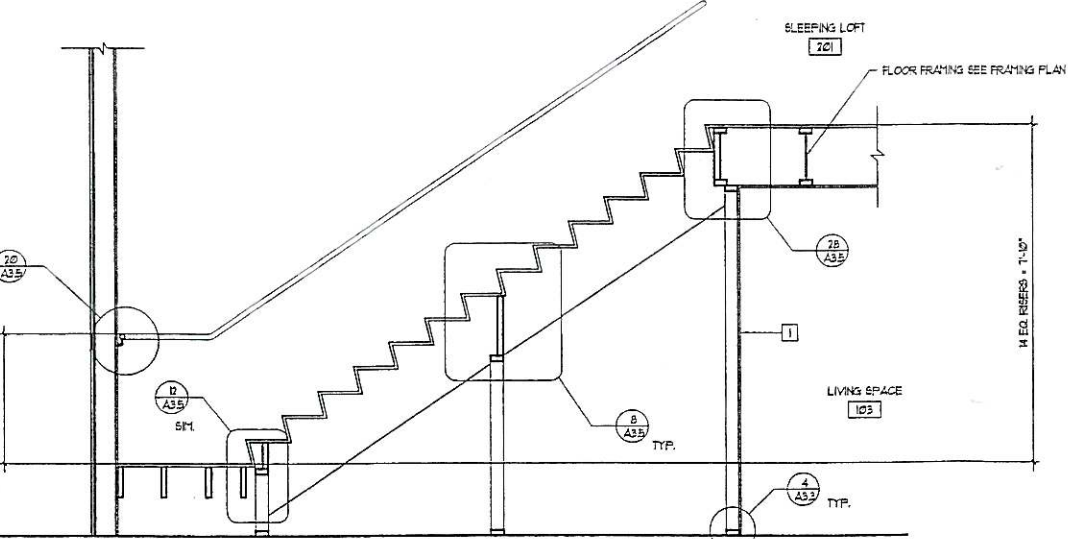
26 GUARD RAIL DETAIL  
A3.5 1/2"=1'-0"



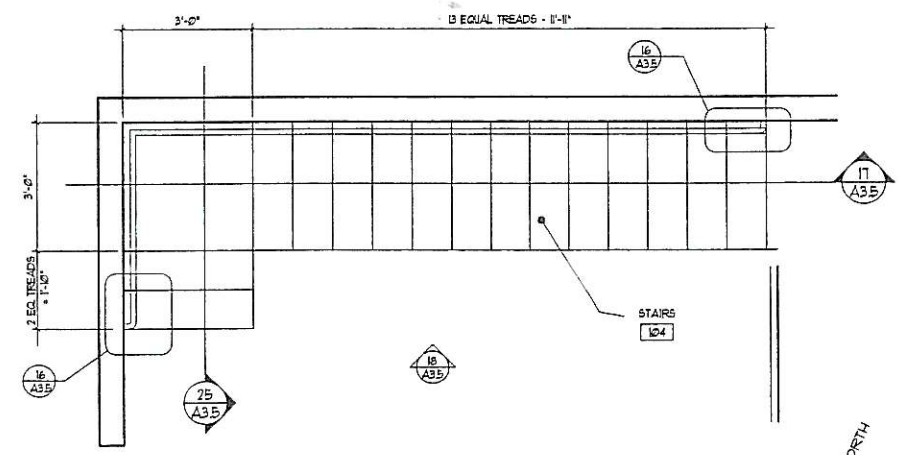
25 STAIR SECTION  
A3.5 1/2"=1'-0"



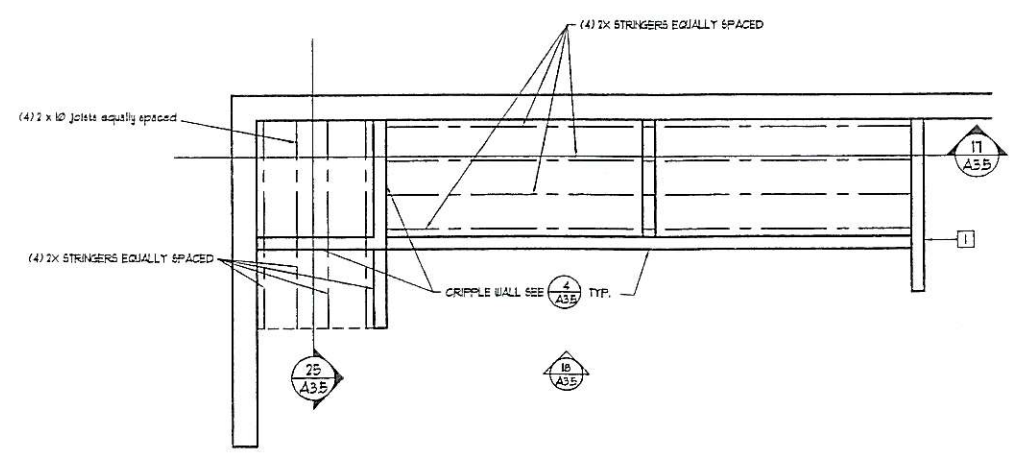
18 STAIR SECTION  
A3.5 1/2"=1'-0"



17 STAIR SECTION  
A3.5 1/2"=1'-0"



7 STAIR PLAN  
A3.5 1/2"=1'-0"



5 STAIR FRAMING PLAN  
A3.5 1/2"=1'-0"

DRAWN BY: ANB  
 CHECKED: R55  
 APPROVED: R55  
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 of the Architect. Any  
 changes, publication,  
 or unauthorized use is  
 prohibited unless  
 expressly approved by  
 the Architect.  
 Copyright 2007

NEW GUEST HOUSE  
 AT  
 COUNTRY SIDE LIVING

390 N.W. 2ND STREET  
 CANBY, OREGON 97103

REVISIONS

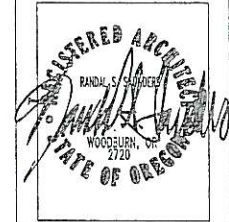
A PROFESSIONAL  
 CORPORATION

2225 COUNTRY CLUB ROAD  
 WOODBURN, OREGON 97071  
 (503) 982-1211

PROJECT NO.: 0648  
 DATE: JAN. 2007  
 DRAWING NO.: A3.5

PLOT DATE/TITLE: DATE: 2/20/07 THE: 10.35 FILE: A3.5 - STAIRS.DWG

NEW GUEST HOUSE  
 AT  
 COUNTRY SIDE LIVING

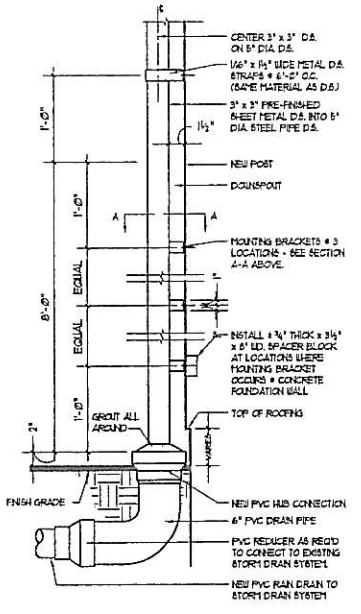
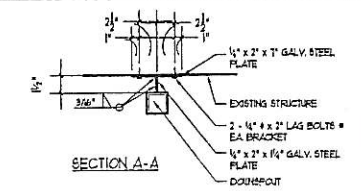


REVISIONS

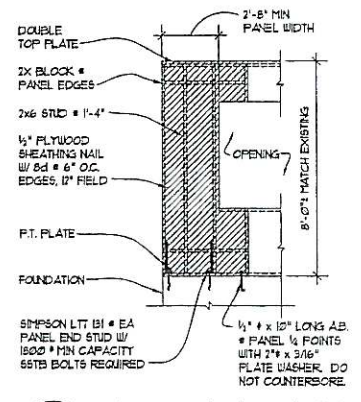
A PROFESSIONAL CORPORATION

2225 COUNTRY CLUB ROAD  
 WOODBURN, OREGON 97071  
 (503) 982-1211

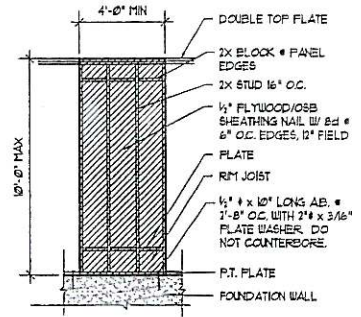
PROJECT NO: 0648  
 DATE: JAN 2007  
 DRAWING NO: A4.1



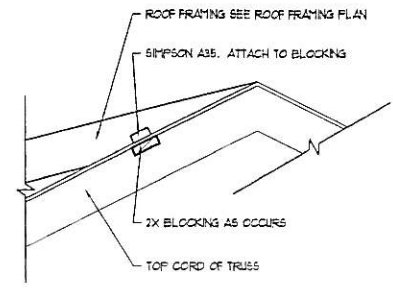
3 DOWNSPOUT DETAIL  
 D.S.I. = COVERED PATIO  
 1"=1'-0"



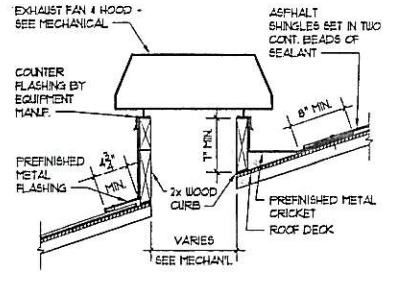
2 ALT. BRACE PANEL  
 1/4"=1'-0"



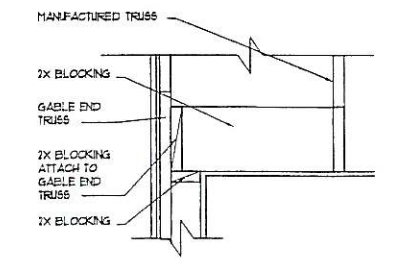
1 BRACE PANEL  
 1/4"=1'-0"



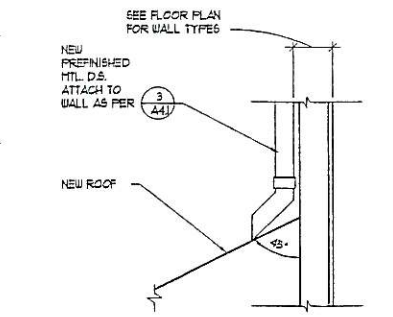
8 ROOF CONN.  
 3/4"=1'-0"



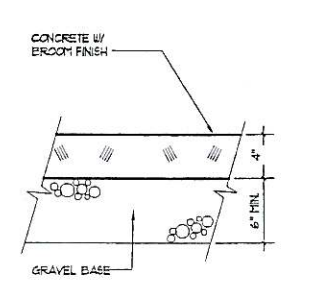
7 MECH. CURB  
 1"=1'-0"



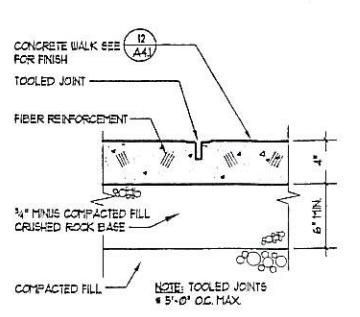
6 CEILING BLOCKING  
 1"=1'-0"



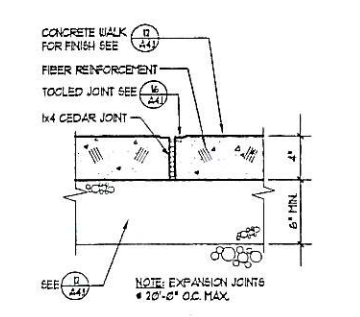
5 DOWNSPOUT DETAIL  
 D.S.I.  
 1"=1'-0"



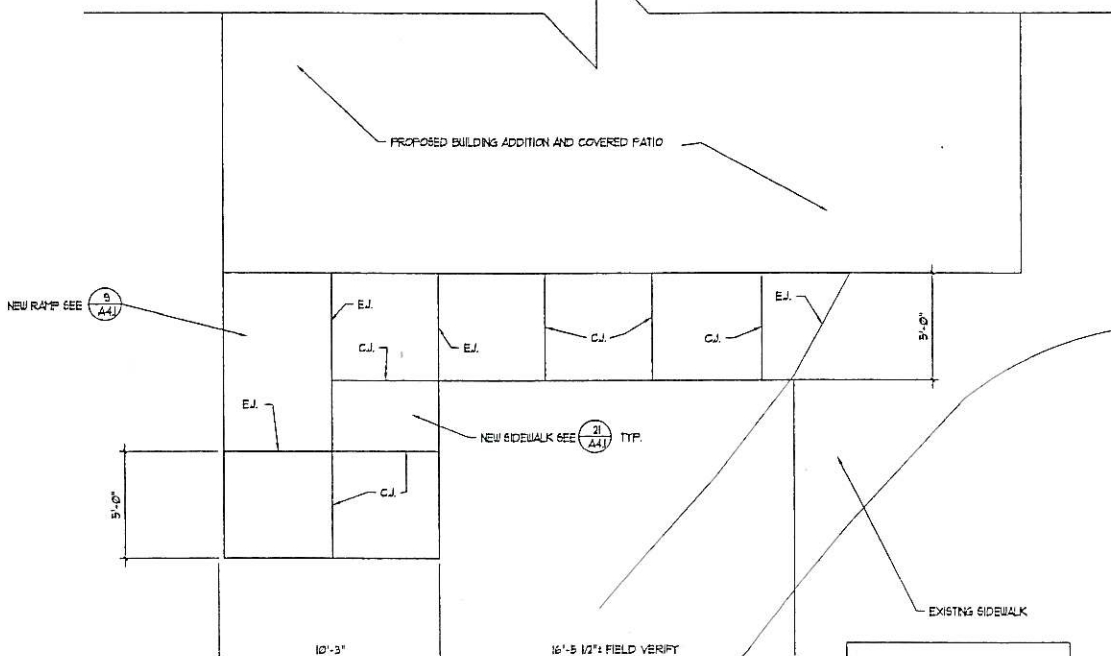
12 SIDEWALK DETAIL  
 1/2"=1'-0"



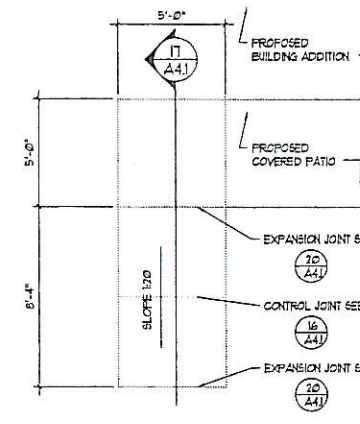
16 CONTROL JOINT  
 1/2"=1'-0"



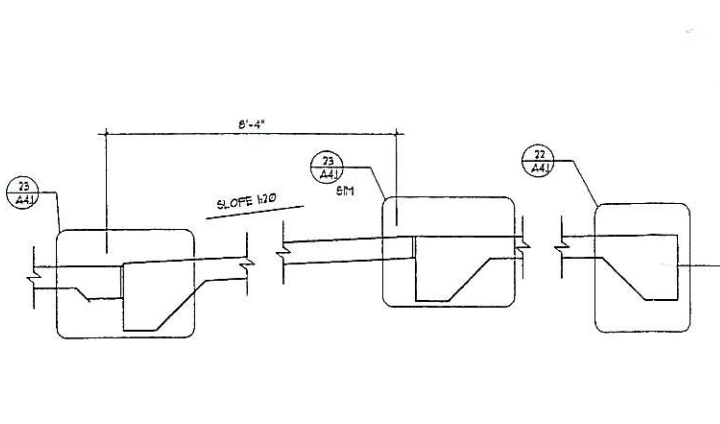
20 EXPANSION JOINT  
 1/2"=1'-0"



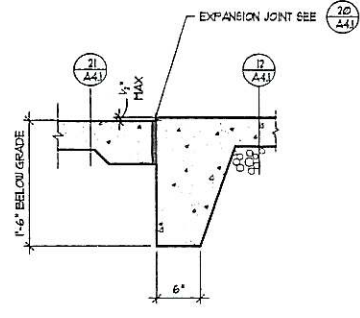
14 SIDEWALK PLAN  
 1/4"=1'-0"



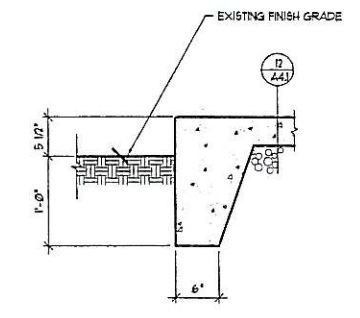
9 RAMP PLAN  
 1/4"=1'-0"



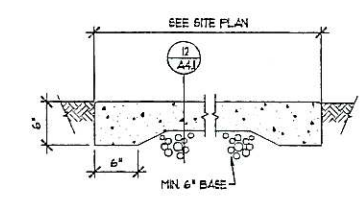
11 RAMP PLAN  
 1/4"=1'-0"



23 SIDEWALK DETAIL  
 1"=1'-0"



22 SIDEWALK DETAIL  
 1"=1'-0"



21 SIDEWALK DETAIL  
 1"=1'-0"

# CANBY PLANNING DEPARTMENT REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

[503] 266-7001

FAX 266-1574

DATE: April 30, 2007

- TO:
- FIRE
  - POLICE
  - PUBLIC WORKS
  - CANBY ELECTRIC
  - CANBY WATER
  - WWTP - Darvin Trammel
  - WWTP - Jeff Crowther
  - CITY ENGINEER
  - CTA
  - NW NATURAL
  - WILLAMETTE BROADBAND
  - CANBY DISPOSAL
  - CITY ATTORNEY
  - BIKE AND PEDESTRIAN COMM
  - PGE

Post-it® Fax Note	7671	Date	5/10/07	# of pages	2/1
To	KEVIN COOK	From	CAT SUMRIN		
Co./Dept.	CANBY PLANNING	Co.	LANCASTER		
Phone #	(503) 266-7001	Phone #	(503) 248-0813		
Fax #	(503) 266-1574	Fax #	(503) 248-9251		

- OREGON DEPT. TRANSPORTATION
- ODOT/REGION 1/DIST 2B
- STATE OF OREGON/REVENUE
- CANBY BUSINESS REVITALIZATION
- PARKS AND RECREATION
- CITY TRANSPORTATION ENGINEER
- BUILDING OFFICIAL
- OTHER \_\_\_\_\_

The City has received DR 07-02/NCS 07-01, an application from Country Side Living requesting a site and design review and expansion of a non-conforming use review to build a guest house. The property is zoned C-1 (Downtown Commercial). The property is located at 390 NW 2<sup>nd</sup> Avenue.

Please review the enclosed application and return comments to Kevin Cook by Friday, May 11, 2007. Please indicate any conditions of approval you wish the Commission to consider. Thank you.

**Comments or Proposed Conditions:**

ALTHOUGH THERE ARE NO ITE TRIP RATES FOR A GUEST HOUSE, IT WOULD BE EXPECTED THAT THE USE GENERATES VERY FEW TRIPS. THIS USE WOULD HAVE A MINIMAL IMPACT TO THE ROADWAY SYSTEM. THERE WERE NO TRANSPORTATION ISSUES IDENTIFIED WITH THIS DEVELOPMENT.

Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: \_\_\_\_\_

Date: 9 MAY 2007

Title: TRANSPORTATION ANALYST

Agency: LANCASTER ENGINEERING

EXHIBIT

tabbies

#2 29

# CANBY PLANNING DEPARTMENT REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

[503] 266-7001 [503] 266-1574

DATE: April 30, 2007

MAY 16 2007

- |  |   |
|--|---|
| <p>TO:</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> FIRE</li> <li><input type="checkbox"/> POLICE</li> <li><input type="checkbox"/> PUBLIC WORKS</li> <li><input type="checkbox"/> CANBY ELECTRIC</li> <li><input type="checkbox"/> CANBY WATER</li> <li><input type="checkbox"/> WWTP - Darvin Trammel</li> <li><input type="checkbox"/> WWTP - Jeff Crowther</li> <li><input type="checkbox"/> CITY ENGINEER</li> <li><input type="checkbox"/> CTA</li> <li><input type="checkbox"/> NW NATURAL</li> <li><input type="checkbox"/> WILLAMETTE BROADBAND</li> <li><input type="checkbox"/> CANBY DISPOSAL</li> <li><input type="checkbox"/> CITY ATTORNEY</li> <li><input type="checkbox"/> BIKE AND PEDESTRIAN COMM</li> <li><input type="checkbox"/> PGE</li> </ul> | <ul style="list-style-type: none"> <li><input type="checkbox"/> CANBY POST OFFICE</li> <li><input type="checkbox"/> CLACKAMAS COUNTY ASSESSOR</li> <li><input type="checkbox"/> CLACKAMAS COUNTY 911</li> <li><input type="checkbox"/> CLACKAMAS COUNTY TRANSPORTATION</li> <li><input type="checkbox"/> TRAFFIC SAFETY COMMITTEE</li> <li><input type="checkbox"/> CLACKAMAS COUNTY</li> <li><input type="checkbox"/> CANBY SCHOOL DISTRICT</li> <li><input type="checkbox"/> OREGON DEPT. TRANSPORTATION</li> <li><input type="checkbox"/> ODOT/REGION 1/DIST 2B</li> <li><input type="checkbox"/> STATE OF OREGON/REVENUE</li> <li><input type="checkbox"/> CANBY BUSINESS REVITALIZATION</li> <li><input type="checkbox"/> PARKS AND RECREATION</li> <li><input type="checkbox"/> CITY TRANSPORTATION ENGINEER</li> <li><input type="checkbox"/> BUILDING OFFICIAL</li> <li><input type="checkbox"/> OTHER _____</li> </ul> |
|--|---|

The City has received DR 07-02/NCS 07-01, an application from Country Side Living requesting a site and design review and expansion of a non-conforming use review to build a guest house. The property is zoned C-1 (Downtown Commercial). The property is located at 390 NW 2<sup>nd</sup> Avenue.

Please review the enclosed application and return comments to **Kevin Cook** by **Friday, May 11, 2007**. Please indicate any conditions of approval you wish the Commission to consider. Thank you.

**Comments or Proposed Conditions:**

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Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: Kevin Batridge Date: 5/15/07

Title: committee member Agency: Bike & Ped

# CANBY PLANNING DEPARTMENT REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

(503) 266-7001

FAX 266-1574

DATE: April 30, 2007

- TO:
- |   |  |
|---|--|
| <input type="checkbox"/> FIRE                     | <input type="checkbox"/> CANBY POST OFFICE               |
| <input type="checkbox"/> POLICE                   | <input type="checkbox"/> CLACKAMAS COUNTY ASSESSOR       |
| <input type="checkbox"/> PUBLIC WORKS             | <input type="checkbox"/> CLACKAMAS COUNTY 911            |
| <input type="checkbox"/> CANBY ELECTRIC           | <input type="checkbox"/> CLACKAMAS COUNTY TRANSPORTATION |
| <input type="checkbox"/> CANBY WATER              | <input type="checkbox"/> TRAFFIC SAFETY COMMITTEE        |
| <input type="checkbox"/> WWTP - Darvin Trammel    | <input type="checkbox"/> CLACKAMAS COUNTY                |
| <input type="checkbox"/> WWTP - Jeff Crowther     | <input type="checkbox"/> CANBY SCHOOL DISTRICT           |
| <input type="checkbox"/> CITY ENGINEER            | <input type="checkbox"/> OREGON DEPT. TRANSPORTATION     |
| <input type="checkbox"/> CTA                      | <input type="checkbox"/> ODOT/REGION 1/DIST 2B           |
| <input type="checkbox"/> NW NATURAL               | <input type="checkbox"/> STATE OF OREGON/REVENUE         |
| <input type="checkbox"/> WILLAMETTE BROADBAND     | <input type="checkbox"/> CANBY BUSINESS REVITALIZATION   |
| <input type="checkbox"/> CANBY DISPOSAL           | <input type="checkbox"/> PARKS AND RECREATION            |
| <input type="checkbox"/> CITY ATTORNEY            | <input type="checkbox"/> CITY TRANSPORTATION ENGINEER    |
| <input type="checkbox"/> BIKE AND PEDESTRIAN COMM | <input type="checkbox"/> BUILDING OFFICIAL               |
| <input type="checkbox"/> PGE                      | <input type="checkbox"/> OTHER _____                     |

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Please review the enclosed application and return comments to Kevin Cook by Friday, May 11, 2007. Please indicate any conditions of approval you wish the Commission to consider. Thank you.

**Comments or Proposed Conditions:**

*no electrical information has been provided, it is assumed existing service to existing building will be used. IF new service is required it will be constructed underground*

Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: *Judy Stohwell* Date: 5-2-07

Agency: Line Foreman Agency: Canby Utility Elect.

CANBY PLANNING DEPARTMENT  
REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

[503] 266-7001

FAX 266-1574

DATE: April 30, 2007

- TO:
- |   |  |
|---|--|
| <input type="checkbox"/> FIRE                     | <input type="checkbox"/> CANBY POST OFFICE               |
| <input type="checkbox"/> POLICE                   | <input type="checkbox"/> CLACKAMAS COUNTY ASSESSOR       |
| <input type="checkbox"/> PUBLIC WORKS             | <input type="checkbox"/> CLACKAMAS COUNTY 911            |
| <input type="checkbox"/> CANBY ELECTRIC           | <input type="checkbox"/> CLACKAMAS COUNTY TRANSPORTATION |
| <input type="checkbox"/> CANBY WATER              | <input type="checkbox"/> TRAFFIC SAFETY COMMITTEE        |
| <input type="checkbox"/> WWTP - Darvin Trammel    | <input type="checkbox"/> CLACKAMAS COUNTY                |
| <input type="checkbox"/> WWTP - Jeff Crowther     | <input type="checkbox"/> CANBY SCHOOL DISTRICT           |
| <input type="checkbox"/> CITY ENGINEER            | <input type="checkbox"/> OREGON DEPT. TRANSPORTATION     |
| <input type="checkbox"/> CTA                      | <input type="checkbox"/> ODOT/REGION 1/DIST 2B           |
| <input type="checkbox"/> NW NATURAL               | <input type="checkbox"/> STATE OF OREGON/REVENUE         |
| <input type="checkbox"/> WILLAMETTE BROADBAND     | <input type="checkbox"/> CANBY BUSINESS REVITALIZATION   |
| <input type="checkbox"/> CANBY DISPOSAL           | <input type="checkbox"/> PARKS AND RECREATION            |
| <input type="checkbox"/> CITY ATTORNEY            | <input type="checkbox"/> CITY TRANSPORTATION ENGINEER    |
| <input type="checkbox"/> BIKE AND PEDESTRIAN COMM | <input type="checkbox"/> BUILDING OFFICIAL               |
| <input type="checkbox"/> PGE                      | <input type="checkbox"/> OTHER _____                     |

The City has received DR 07-02/NCS 07-01, an application from Country Side Living requesting a site and design review and expansion of a non-conforming use review to build a guest house. The property is zoned C-1 (Downtown Commercial). The property is located at 390 NW 2<sup>nd</sup> Avenue.

Please review the enclosed application and return comments to **Kevin Cook** by **Friday, May 11, 2007**. Please indicate any conditions of approval you wish the Commission to consider. Thank you.

**Comments or Proposed Conditions:**

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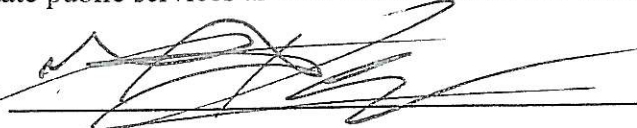
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Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature:  Date: 05-02-07

Title: POLICE CHIEF Agency: CANBY POLICE





# CANBY PLANNING DEPARTMENT REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

[503] 266-7001

FAX 266-1574

DATE: April 30, 2007

- TO:
- FIRE
  - POLICE
  - PUBLIC WORKS
  - CANBY ELECTRIC
  - CANBY WATER
  - WWTP - Darwin Trammel
  - WWTP - Jeff Crowther
  - CITY ENGINEER
  - CTA
  - NW NATURAL
  - WILLAMETTE BROADBAND
  - CANBY DISPOSAL
  - CITY ATTORNEY
  - BIKE AND PEDESTRIAN COMM
  - PGE
  - CANBY POST OFFICE
  - CLACKAMAS COUNTY ASSESSOR
  - CLACKAMAS COUNTY 911
  - CLACKAMAS COUNTY TRANSPORTATION
  - TRAFFIC SAFETY COMMITTEE
  - CLACKAMAS COUNTY
  - CANBY SCHOOL DISTRICT
  - OREGON DEPT. TRANSPORTATION
  - ODOT/REGION 1/DIST 2B
  - STATE OF OREGON/REVENUE
  - CANBY BUSINESS REVITALIZATION
  - PARKS AND RECREATION
  - CITY TRANSPORTATION ENGINEER
  - BUILDING OFFICIAL
  - OTHER \_\_\_\_\_

The City has received DR 07-02/NCS 07-01, an application from Country Side Living requesting a site and design review and expansion of a non-conforming use review to build a guest house. The property is zoned C-1 (Downtown Commercial). The property is located at 390 NW 2<sup>nd</sup> Avenue.

Please review the enclosed application and return comments to Kevin Cook by Friday, May 11, 2007. Please indicate any conditions of approval you wish the Commission to consider. Thank you.

**Comments or Proposed Conditions:**

No problems noted at this time.

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Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: *[Handwritten Signature]* Date: 5/2/07

Title: Water Dept. - Foreman Agency: Canby Utility

CANBY PLANNING DEPARTMENT  
REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

[503] 266-7001

FAX 266-1574

DATE: April 30, 2007

- TO:
- |   |  |
|---|--|
| <input type="checkbox"/> FIRE                     | <input type="checkbox"/> CANBY POST OFFICE               |
| <input type="checkbox"/> POLICE                   | <input type="checkbox"/> CLACKAMAS COUNTY ASSESSOR       |
| <input type="checkbox"/> PUBLIC WORKS             | <input type="checkbox"/> CLACKAMAS COUNTY 911            |
| <input type="checkbox"/> CANBY ELECTRIC           | <input type="checkbox"/> CLACKAMAS COUNTY TRANSPORTATION |
| <input type="checkbox"/> CANBY WATER              | <input type="checkbox"/> TRAFFIC SAFETY COMMITTEE        |
| <input type="checkbox"/> WWTP - Darwin Trammel    | <input type="checkbox"/> CLACKAMAS COUNTY                |
| <input type="checkbox"/> WWTP - Jeff Crowther     | <input type="checkbox"/> CANBY SCHOOL DISTRICT           |
| <input type="checkbox"/> CITY ENGINEER            | <input type="checkbox"/> OREGON DEPT. TRANSPORTATION     |
| <input type="checkbox"/> CTA                      | <input type="checkbox"/> ODOT/REGION 1/DIST 2B           |
| <input checked="" type="checkbox"/> NW NATURAL    | <input type="checkbox"/> STATE OF OREGON/REVENUE         |
| <input type="checkbox"/> WILLAMETTE BROADBAND     | <input type="checkbox"/> CANBY BUSINESS REVITALIZATION   |
| <input type="checkbox"/> CANBY DISPOSAL           | <input type="checkbox"/> PARKS AND RECREATION            |
| <input type="checkbox"/> CITY ATTORNEY            | <input type="checkbox"/> CITY TRANSPORTATION ENGINEER    |
| <input type="checkbox"/> BIKE AND PEDESTRIAN COMM | <input type="checkbox"/> BUILDING OFFICIAL               |
| <input type="checkbox"/> PGE                      | <input type="checkbox"/> OTHER _____                     |

The City has received DR 07-02/NCS 07-01, an application from Country Side Living requesting a site and design review and expansion of a non-conforming use review to build a guest house. The property is zoned C-1 (Downtown Commercial). The property is located at 390 NW 2<sup>nd</sup> Avenue.

Please review the enclosed application and return comments to Kevin Cook by Friday, May 11, 2007. Please indicate any conditions of approval you wish the Commission to consider. Thank you.

**Comments or Proposed Conditions:**

There maybe a conflict with the location of the new building and the existing gas line. Please have this verified

Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: Brian Van Sambeek Date: 5-08-07

Title: Engineer Supervisor Agency: NW Natural

CANBY PLANNING DEPARTMENT  
REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

[503] 266-7001

FAX 266-1574

ATE: April 30, 2007

- TO:
- |   |  |
|---|--|
| <input type="checkbox"/> FIRE                     | <input type="checkbox"/> CANBY POST OFFICE               |
| <input type="checkbox"/> POLICE                   | <input type="checkbox"/> CLACKAMAS COUNTY ASSESSOR       |
| <input type="checkbox"/> PUBLIC WORKS             | <input type="checkbox"/> CLACKAMAS COUNTY 911            |
| <input type="checkbox"/> CANBY ELECTRIC           | <input type="checkbox"/> CLACKAMAS COUNTY TRANSPORTATION |
| <input type="checkbox"/> CANBY WATER              | <input type="checkbox"/> TRAFFIC SAFETY COMMITTEE        |
| <input type="checkbox"/> WWTP - Darwin Trammel    | <input type="checkbox"/> CLACKAMAS COUNTY                |
| <input type="checkbox"/> WWTP - Jeff Crowther     | <input type="checkbox"/> CANBY SCHOOL DISTRICT           |
| <input type="checkbox"/> CITY ENGINEER            | <input type="checkbox"/> OREGON DEPT. TRANSPORTATION     |
| <input type="checkbox"/> CTA                      | <input type="checkbox"/> ODOT/REGION 1/DIST 2B           |
| <input type="checkbox"/> NW NATURAL               | <input type="checkbox"/> STATE OF OREGON/REVENUE         |
| <input type="checkbox"/> WILLAMETTE BROADBAND     | <input type="checkbox"/> CANBY BUSINESS REVITALIZATION   |
| <input type="checkbox"/> CANBY DISPOSAL           | <input type="checkbox"/> PARKS AND RECREATION            |
| <input type="checkbox"/> CITY ATTORNEY            | <input type="checkbox"/> CITY TRANSPORTATION ENGINEER    |
| <input type="checkbox"/> BIKE AND PEDESTRIAN COMM | <input type="checkbox"/> BUILDING OFFICIAL               |
| <input type="checkbox"/> PGE                      | <input type="checkbox"/> OTHER _____                     |

The City has received DR 07-02/NCS 07-01, an application from Country Side Living requesting a site and design review and expansion of a non-conforming use review to build a guest house. The property is zoned C-1 (Downtown Commercial). The property is located at 390 NW 2<sup>nd</sup> Avenue.

Please review the enclosed application and return comments to **Kevin Cook** by **Friday, May 11, 2007**. Please indicate any conditions of approval you wish the Commission to consider. Thank you.

**Comments or Proposed Conditions:**

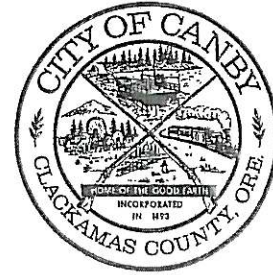
*No comments or conditions.*

Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: Darwin Trammel Date: 5/03/07

Title: Wastewater Supervisor Agency: WWTP



# MEMORANDUM

**TO:** Planning Commission  
**FROM:** Carla Ahl  
**DATE:** June 14, 2007

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## HISTORY:

The owners of BCM Auto Sales (Mr. and Mrs. Miller) have requested the ability to place a modular office on the site of their used car lot located on the south side of Highway 99E, between Marcinkiewicz Co and Canby NAPA Auto Parts at 593 SE 1<sup>st</sup> Avenue. Currently they are working under a "Home Occupancy" business license, so customers are taken to the owner's residence to fill out paperwork when a car is sold.

Staff's determination was that the modular office was not allowed without a Site and Design Review application and did not meet the definition of accessory structure.

Mr. and Mrs. Miller are appealing that decision to the Planning Commission.

## BACKGROUND FROM THE CODE:

### **16.49.030 Site and design review plan approval required.**

**1. The following projects require site and design review approval, except as exempted in (2) below:**

- a. All new buildings.
- b. All new mobile home parks.
- c. Major building remodeling above 60% of value.
- d. Addition of more than 5,000 square feet of additional gross floor area in a one year period.
- e. Construction activity which causes a decrease in pervious area in excess of 2,500 square feet in a one year period.

None of the above shall occur, and no building permit for such activity shall be issued, and no sign permit shall be issued until the site and design review plan, as required by this ordinance, has been reviewed and approved by the Board and their designees for conformity with applicable criteria.

**2. The following are exempt from site and design review:**

- a. Signs that are not a part of a reviewable development project. Signs that are a part of a reviewable development project, and that are proposed more than two (2) years beyond the final occupancy of the reviewed development.

- b. Alterations or remodeling that do not change the exterior of the building.
- c. Temporary public structures which will be removed within two (2) years of placement.
- d. Accessory structures under 500 square feet.
- e. Temporary commercial tent/canopy structures, which meet the Uniform building or Fire Code, and which will be removed within thirty (30) days of placement.
- f. Parking lot or paving projects. If no buildings or structures are involved, paving or parking lot development in excess of 2,500 square feet of impervious surface is exempted from site and design review, except in the C-1 zone. In the C-1 zone, all new parking lots that do not involve buildings or structures are subject to site plan review as required in Section 16.49. All new paved areas and parking lots in excess of 2,500 square feet must meet the requirements of Section 16.49.150.
- g. Single family or two-family dwellings, and any alterations or remodeling thereof.
- h. Minor public facilities.

3. Construction, site development and landscaping shall be carried out in substantial accord with the approved site and design review plan. Review of the proposed site and design review plan and any changes thereto shall be conducted in accordance with site and design review procedures.

4. No fence/wall shall be constructed throughout a project that is/was subject to site and design review approval where the effect or purpose is to wall said project off from the rest of the community unless reviewed and approved by the Planning Commission.

**16.04.040 Accessory structure or use.**

**Accessory structure or use means a detached structure or use not intended for human habitation, incidental and subordinate to the main use of the property and which is located on the same lot with the main use such as, but not limited to, garage, carport, tool shed, private greenhouse or utility building.**

.....

# BCM Auto Sales, Inc.

June 14, 2007

City of Canby Planning Commission  
182 N. Holly Street  
Canby, OR 97013

Chairman: Jim Brown

Commissioners: Dan Ewert, Bruce Holte, Janet Milne, Jared Taylor, and John  
Molamphy

Ladies and Gentlemen:

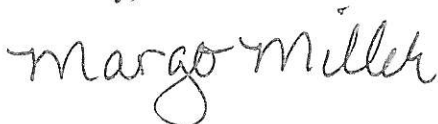
This letter is to appeal a decision that the City Planning Department has made regarding the placement of an 8'X20' modular building (see attached specifications and site plan) at 593 SE 1<sup>st</sup> Ave., Canby, OR. The proposed location is currently a vacant lot located on the South side of Hwy 99 adjacent to Marcinkiewicz Co. Inc.

It is our opinion after reviewing the Site and Design Review Document, Section 16.49.030 with building department staff that this modular building is not addressed in the code. Staff has elected to classify this as a new building and in turn requiring site and design approval, we feel this will put an unnecessary burden on us and is not required.

This modular building will provide shelter during inclement weather and storage of tools.

We ask a variance be granted to allow the placement and use of this modular building.

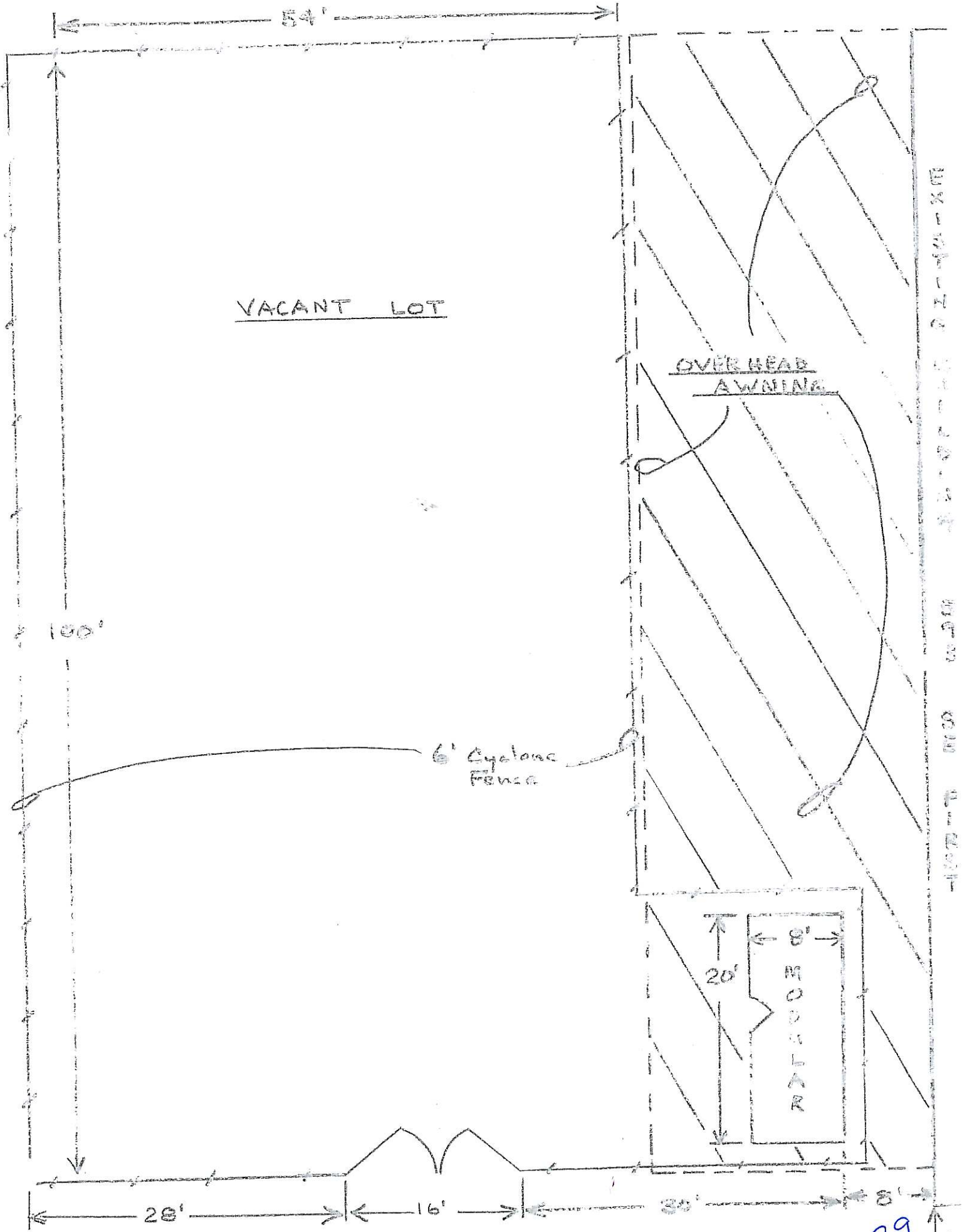
Sincerely,



Margo Miller  
President  
BCM Auto Sales, Inc.

*Good cars are always a good investment  
Come on in and see ours*

.....



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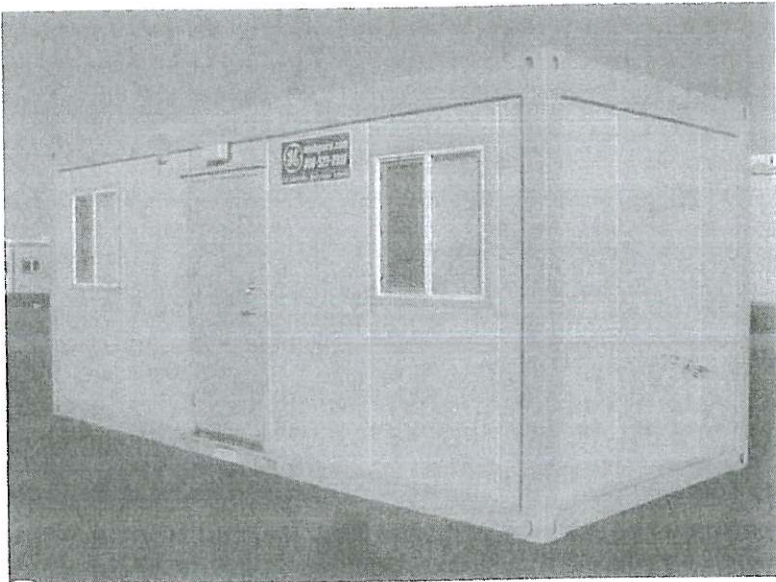
HWG. 99E 25'

# GE Modular Space

PHONE: (503)-283-2685 FAX: (503)-285-5109

Toll Free: 800-523-7918

GE Modular Space is now offering ground level office space that can be set up and ready-for-use upon delivery. For use as additional office space, urgent care medical facilities, disaster recovery, document storage, in-plant offices, special events and much, much more.



## FRAMES

Smart Space systems utilize a heavy gauge self-supporting steel frame, galvanized with eight container corners (ISO-standard). They're stackable and inter-connectable.

## ROOF / CEILING

Self-supporting sandwich panels with 4" polyurethane foam core and steel sheet galvanized on both sides. Interior roof drainage through connection pieces. Load Factor of 35 lbs. per square foot. Stronger load factors available. Insulative R-value of 35.

## SIDE WALLS

Detachable sandwich panels with 2.5" polyurethane foam core. Insulative R-value of 21.

## FLOOR

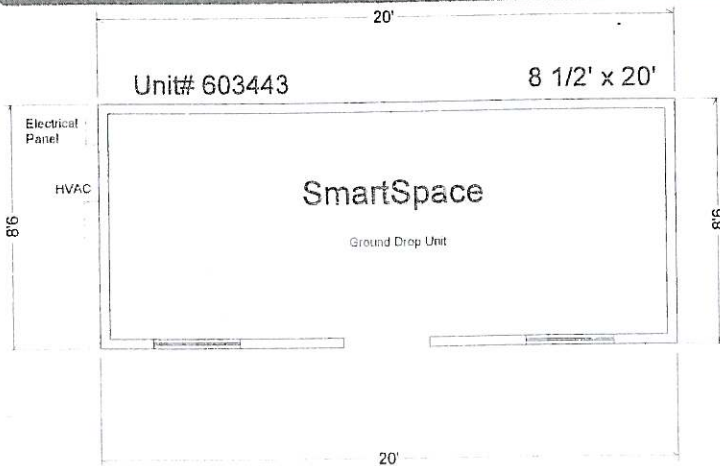
(From outside to inside) Self-supporting sandwich panels with 1" polyurethane foam core and steel sheet galvanized on both sides. Chipboard or Duripanel plate, on request with PVC or carpet covering. Diamond plate also available. Insulative R-value of 16.

## DOORS

Steel sheet outer door, double walled, insulated, galvanized, painted with corner cases, light metal counter frames, rubber seal, and security lock. Installed wherever necessary.

## WINDOWS

European Styles, PVC windows, combination tilt-turn with insulated glass and exterior mounted rolling privacy shutter.



Standard 8 1/2 x 20 SmartSpace floor plan.

## ELECTRICAL INSTALLATION

Racetrack covering with electrical, phone, and computer wiring. Layout according to customer's wishes.

## HEATING & VENTILATION

Electric or gas operated wall or baseboard mounted heaters, air conditioners, or fans.

GE Modular Space

Heidi Vickery  
Sales Representative  
Portland Branch #494  
Ph: (503) 283-2685  
Fx: (503) 285-5109  
800-523-7918

13132 North Woodrush Way  
Portland, OR 97203  
[heidi.vickery@ge.com](mailto:heidi.vickery@ge.com)  
[www.modspace.com](http://www.modspace.com)





**GE**

# Modular Space

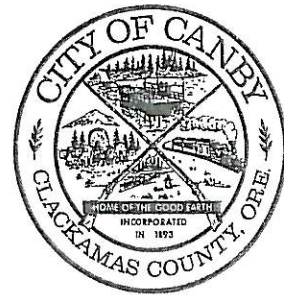
BRANCH OFFICE:  
PORTLAND, OR

Phone: 503-283-2685

Fax: 503-285-5109

Unit No: 603441 Size: 8' x 20'





BEFORE THE PLANNING COMMISSION  
OF THE  
CITY OF CANBY

A REQUEST FOR SITE AND DESIGN ) FINDINGS, CONCLUSION & FINAL ORDER  
REVIEW APPROVAL FOR A ) DR 07-03  
DRIVE-THROUGH RESTAURANT ) (KFC – A&W)

NATURE OF APPLICATION

The City has received DR 07-03, an application by Northwest Restaurants, Inc. to construct a 3,283 sq. ft. KFC/A&W drive-through restaurant. The site is located on Pad A of the Canby Place retail center that was previously approved by the Planning Commission in 2005 (file DR 05-05). Most aspects of the site have already been determined through the original Design Review; which had assumed that the site would be utilized as a drive-through restaurant. Access to the site will be from within the existing development which has access from Highway 99E and Berg Parkway.

CRITERIA AND STANDARDS

In judging whether or not a Site and Design Review application shall be approved, the Planning Commission shall weigh the proposal's positive and negative features that would result from authorizing the particular development at the proposed location and, to approve such use, shall find that the following criteria are either met, can be met by the application of conditions, or are not applicable:

1. The Board shall, in exercising or performing its powers, duties or functions, determine whether there is compliance with the following:
  - A. The proposed site development, including the site plan, architecture, landscaping and graphic design, is in conformance with the standards of this and other applicable City ordinances insofar as the location, height and appearance of the proposed development are involved; and
  - B. The proposed design of the development is compatible with the design of other developments in the same general vicinity; and
  - C. The location, design, size, color and materials of the exterior of all structures and signs are compatible with the proposed development and appropriate to the design character of other structures in the same vicinity.

- D. The Board shall, in making its determination of compliance with subsections B and C above, use the Design Review matrix outlined in Section 16.35 to determine "compatibility". An application is considered to be "compatible", regarding subsections B and C above, if the minimum score in each category is met for the entire development.
  - E. It must be demonstrated that all required public facilities and services are available, or will become available through the development, to adequately meet the needs of the proposed development.
2. The Board shall, in making its determination of compliance with the above requirements, be guided by the objectives and standards set forth in this section. If the site and design review plan includes utility facilities or public utility facility, then the City Planner shall determine whether those aspects of the proposed plan comply with applicable standards.
  3. The Board shall, in making its determination of compliance with the requirements set forth, consider the effect of its action on the availability and cost of needed housing. The Board shall not use the requirements of this section to exclude needed housing types. However, consideration of these factors shall not prevent the Board from imposing conditions of approval necessary to meet the requirements of this section. The costs of such conditions shall not unduly increase the cost of housing beyond the minimum necessary to achieve the purposes of this ordinance.
  4. As part of the Site and Design Review, the property owner may apply for approval to cut trees in addition to those allowed in Section 12.20.080 of the City Tree Ordinance. The granting or denial of said application will be based on the criteria in Chapter 12.20 of the City Tree Ordinance. The cutting of trees does not in and of itself constitute change in the appearance of the property which would necessitate application for site and design review.

**FINDINGS AND REASONS**

The Planning Commission, after holding a public hearing on June 11, 2007 and considering the June 4, 2007 staff report deliberated and reached a decision approving the applicant's request for design review. The Commission discussed the layout and design of the site. The Commission adopted the findings and conclusions contained in the June 4, 2007 staff report, written in the Order below:

**CONCLUSION**

The Planning Commission concludes that, with the application of certain conditions:

- 1A. The proposed development of the site is consistent with the applicable standards and requirements of the Canby Municipal Code and other applicable City ordinances insofar as the location, height and appearance of the proposed development are involved; and
- 1B. The proposed design of the development is compatible with the design of other development in the vicinity; and
- 1C. The location, design, size, and materials of the exteriors of structures and signs are compatible with the proposed development and appropriate to the design character of other structures in the same vicinity; and
- 1D. The proposal is deemed compatible given that staff allocated a minimum or higher number of

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- points per category on the design review matrix; and
- 1E. All required public facilities and services exist or can be made available to adequately meet the needs of the proposed development.
  2. Public utility and service providers have indicated that the existing proposal can be made to comply with applicable standards.
  3. The proposed development will not increase the cost of housing in Canby.
  4. The property owner is not applying to remove street trees.

## ORDER

**IT IS ORDERED BY THE PLANNING COMMISSION** of the City of Canby that DR 07-03 is approved, subject to the following conditions:

1. The design, location, and planned installation of all utilities, including but not limited to water, electric, sanitary sewer, natural gas, telephone, and cable television shall be approved by the appropriate utility provider.
2. Prior to the issuance of a building permit, a pre-construction conference unless otherwise waived by the Planning Department shall be held prior to construction and issuance of any building permit. Twelve copies of the pre-construction plans shall be given to the City for review and approval by Canby Utility, Canby Telephone, Willamette Broadband, the City, and other required utility providers prior to the pre-construction conference. The construction plans shall include, as appropriate, the plans for street design, storm water, sewer, water, fire hydrants, electric, cable, telephone, natural gas, street lights, and mail boxes.
3. A revised set of **all** full size development plans (including site plan, landscape plan, elevation, etc.) shall be submitted which depicts each of the written conditions to the satisfaction of the City Planning Department.
4. A detailed landscape construction plan shall be submitted with the building permit application. The detailed landscape plan shall show: the number of plants, plant spacing/location of planting, the type of plants, the size of plants, the schedule of planting, and irrigation plans. The landscape plan shall reflect the approved landscape plan submitted with the Design Review application.
5. The landscaping shall be planted at such a density so as to provide a minimum of 95% coverage of the landscape areas with vegetation, within a 3-year time period. Bark mulch and similar material shall consist of not more than 5% of the total landscape area after the 3-year period. Trees are to be a minimum of 2" caliper.
6. All interior sidewalks and access-ways shall be a minimum of five (5) feet in width.
7. Wheel stops shall not be required in areas where sidewalks are at least 8 feet in width and in areas where landscaping within 2 feet of the curb is limited to ground cover and will not be damaged by vehicle overhangs. Wheel stops shall be provided for all parking spaces located adjacent to landscaping or walkways that do not meet the above criteria. The wheel stops shall be placed 2 feet in front of the end space.

8. The required accessible parking spaces shall be designed to the standards and specifications of the ADA in terms of size, striping, location, and associated access-way.
9. Details of sign dimensions and mounting techniques shall be shown on the building permit submittal or on a subsequent sign permit application.
10. An erosion control permit is required. All City erosion control regulations shall be followed during construction as specified by the Canby Municipal Code.
11. All grading and fill conducted on the site shall comply with City and County regulations.
12. Any relocation of existing utilities required due to construction of the development shall be done at the expense of the applicant.
13. All storm water shall be disposed of on-site. The design of storm water facilities shall be approved by the City Engineer and Public Works Supervisor. The applicant is responsible for obtaining approval from DEQ, if necessary, for private drywells.
14. ADA Ramps shall be provided as required by the Public Works Supervisor.
15. Site lighting shall be "hooded" to project light downward.
16. A minimum of four "Staple" type bicycle racks shall be provided as shown on the submitted site plan as provided per the requirements of CMC 16.10.100.
17. If required by the Wastewater Treatment Plant Supervisor, the applicant will obtain an Industrial Wastewater Discharge Permit prior to any discharge to the City of Canby wastewater system. A grease interceptor shall be installed to Clackamas County standards.
18. All conditions of approval from DR 05-05 (Canby Place) apply to this approval And remain in effect.
19. A five-foot wide, ADA compliant, pedestrian path connection shall be installed between the proposed sidewalk immediately adjacent to the building and the public sidewalk along Berg Parkway. The path shall take the form of a raised, striped crosswalk were it crosses the drive-through lane.
20. Wainscoting on the building shall continue around the entire perimeter of the building. Wainscoting shall be of similar material and color as the other approved buildings on the site and shall be a minimum of three feet in height.
21. Stack-stone wainscoting of at least three feet in height shall be included on the attached trash enclosure for the building.
22. The doors of the attached trash enclosure shall be architecturally enhanced to the satisfaction of the Canby Planning Department.

I CERTIFY THAT THIS ORDER approving DR 07-03 was presented to and APPROVED by the Planning Commission of the City of Canby.

DATED this 25th day of June, 2007.

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James Brown  
Chairman, Canby Planning Commission

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Kevin C. Cook  
Associate Planner

**ATTEST:**

**ORAL DECISION – June 11, 2007**

**AYES:** Brown, Ewert, Holte, Milne, Molamphy, Taylor

**NOES:** None

**ABSTAIN:** None

**ABSENT:** None

**WRITTEN DECISION – June 25, 2007**

**AYES:**

**NOES:**

**ABSTAIN:**

**ABSENT:**

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**MINUTES**  
**CANBY PLANNING COMMISSION**  
7:00 PM – June 11, 2007  
City Council Chambers – 155 NW 2<sup>nd</sup> Avenue

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**PRESENT:** Chair Jim Brown, Vice Chair Dan Ewert, Commissioners John Molamphy, Janet Milne, Bruce Holte, and Jared Taylor

**ABSENT:** None

**STAFF:** John Williams, Community Development and Planning Director; Kevin Cook, Associate Planner; Carla Ahl, Planning Technician; and Jill Thorn, Planning Staff

**OTHERS PRESENT:** Vivian Carpenter, Bettylou Dalley, Kathleen McNamee, Dick Leagjeld, Adam Sibert, Jack Gallagher, Blake Schellenberg

**I. CITIZEN INPUT** None

**II. PUBLIC HEARINGS**

**MLP 07-05 – 441 S Knott Street** – Williford/Schellenberg - Minor land partition to divide Tax Lot 8800 of Map 31E33DC into 2 new tax lots

Chair Brown read the public hearing format. When asked if any Commissioner had a conflict of interest, none was expressed. When asked if any Commissioner had ex-parte contact, none was stated. No questions were asked of the Commissioners.

Carla Ahl presented the staff report. The applicant is requesting approval to partition one 9,975 square foot parcel, zoned R-2 into two separate parcels. Parcel one would consist of 6,300 square feet and would retain the existing house. Parcel two would become a 3,675 square foot buildable lot.

The property is zoned R-2 (High Density Residential) with a Comprehensive Designation of R-2 also. All surrounding property contains the same R-2 designation both on the Current Zoning Map and the Comprehensive Plan Map.

Currently there is an existing flag lot located directly to the south of this proposed development. The applicant has provided a letter from the owner of that flag lot stating their intention of granting a reciprocal access easement to be recorded with the deed.

Commissioner Holte arrived and stated he had no ex-parte contact and no conflict of interest. He also stated he had read the materials and was able to make a decision.

Commissioner Ewert asked where the 15 foot access was. Ms Ahl responded that it was to the south of the property.

Chair Brown asked if the letter was received from the adjacent property owner allowing the use of the existing driveway.

John Williams responded that it had been received and was addressed in Condition 5.

**Applicant:** Blake Schellenberg, 31170 SW Country View Loop, Wilsonville, stated he understood the letter of intent must be recorded. He asked if the utility work had to be completed before the partition was recorded or at the time of development.

John Williams stated the code doesn't specify when it is to occur, and that Conditions 11 and 12 dealt with the process.

Mr. Schellenberg stated that the arborvitaes in the front of the property would be removed.

Chair Brown asked if the applicant had a problem if a condition was added required a solid fence at the rear of the property.

Mr. Schellenberg indicated he had no problem.

**Proponents:** None

**Opponents:** Kathleen McNamee, 243 SE 3<sup>rd</sup> Avenue, asked that the applicant be required to add a solid fence at the rear of the property to provide privacy to her property.

**Rebuttal:** Mr. Schellenberg asked if the utilities would have to be completed prior to issuing the building permit.

John Williams responded that was the way the condition was written.

Chair Brown closed the public hearing.

Chair Brown stated that Condition 22 should be added to require a solid fence at the rear of the property.

Commissioner Taylor stated the property was zoned R-2 (High Density Residential), but with the current application, it would not be built to that density. He felt the City needed to build to the zoned density.

Chair Brown responded that one would have to wait until the market conditions demanded the density and it was a natural process.

Commissioner Ewert asked if a two story home could be built and whether the setbacks could be met.

John Williams said it was possible if the step up requirements could be met and that the code allowed a flag lot to have 3 side yards.

It was moved by Commissioner Milne to approve MLP 07-05 as with a Condition 22 requiring the applicant to install sight obscuring solid fence across the rear property line prior to occupancy. It was seconded by Commissioner Holte. Motion carried 5-1 with Commissioner Taylor voting No.



**DR 07-03 - 1101 SW 1<sup>st</sup> Avenue - Site and design review to build a Kentucky Fried Chicken and A&W restaurant**

Chair Brown read the public hearing format. When asked if any Commissioner had a conflict of interest, none was expressed. When asked if any Commissioner had ex-parte contact, none was stated. No questions were asked of the Commissioners.

Kevin Cook presented the staff report. The City has received DR 07-03, an application by Northwest Restaurants, Inc. to construct a 3,283 sq. ft. KFC/A&W drive-through restaurant. The site is located on Pad A of the Canby Place retail center that was previously approved by the Planning Commission in 2005 (file DR 05-05). Most aspects of the site have already been determined through the original Design Review; which had assumed that the site would be utilized as a drive-through restaurant. Access to the site will be from within the existing development which has access from Highway 99E and Berg Parkway.

Chair Brown said the black and white renderings in the packet were different from the color renderings provided.

Kevin Cook said the applicant would be able to clarify.

Commissioner Ewert asked for a clarification of Condition 18.

Mr. Cook explained that the previous land use decision dealt with the over-all aspect of the property and those conditions were part of this decision.

Commissioner Ewert asked about a barricade similar to the one conditioned for Burger King.

Mr. Cook said the grade was different between the two projects and was not needed.

**Applicant:** Adam Sibert of Northwest Restaurants, Inc. said the building would be a single unit with two restaurants. He said the color renderings had just been received from the corporate office in Kentucky and this site would be one of the first with the new design on the West Coast.

He stated that he accepted Condition 19 and felt it would help increase foot traffic to the business.

Commissioner Milne asked how high the stacked stone would be around the building.

Mr. Sibert stated it would be 3 feet high.

Chair Brown said the location was of significant prominence and the thing that people would see first was the trash enclosure when they enter the City. He asked what type of gates would be on the enclosure.

Mr. Sibert responded they would be metal.

Chair Brown asked how the colors for the restaurant tied to the colors chosen for the rest of the center.

Mr. Sibert stated this was a bold new look and it would stand out. The color pictures did not do the project justice. He did not want an eye-sore.

Chair Brown asked if the signs were mounted to the building or on an exposed raceway.

Dick Leagjeld, Legjeld Construction, stated the KFC was on a raceway.

Commissioner Milne expressed concern about the site being very prominent and the desire to have it look good. She stated the style and colors would not be her choice but the community had decided that not every building should look the same so that national companies could use their colors. She said the style was not her favorite, but had been well done.

Chair Brown asked if there was a way to doll up the trash area.

Mr. Sibert said they could put stacked stone around the lower part of the trash area like the building.

Chair Brown asked if the applicant was opposed to dolling up the gates to the trash area.

Mr. Sibert said he was okay with that.

Commissioner Ewert stated he like the building, felt the signage was great but did not like the colors.

Chair Brown stated the stacked stone was appropriate.

Commissioner Ewert liked the stone look.

Commissioner Molamphy stated the colors were bright, but it was a stand alone building.

John Williams stated the applicant met the current design standards and this type of application was one of the reasons for the current design task force's work.

Commissioner Holte liked the idea of putting the stacked stone around the trash area.

Commissioner Taylor stated that he wouldn't paint his house those colors, and he understood it was a way to advertise their business.

Commissioner Ewert stated the commissioners lived in the community and he felt a responsibility to speak for people of the community.

**Proponents:** Jack Gallagher of Norris Beggs & Simpson and leasing agent for the center stated that changing colors for a corporate building would be next to impossible.

**Opponents:** None

**Rebuttal:** None

Chair Brown closed the public hearing.

Chair Brown summarized the proposed additional conditions. Condition 20 would be modified to meet Condition 21 which would require stacked stone around the trash area. Condition 22 would require the gates/doors to the trash area to be enhanced architecturally. Condition 23 would require that the colors on the building be maintained so they don't fade.

It was moved by Commissioner Milne to approve DR 07-03 with three additional conditions. The trash area to have stacked stone up to 3 feet and the doors to the trash area to be enhanced for a better appearance and the paint maintained to prevent fading. It was seconded by Commissioner Taylor. Motion carried 6-0.

### III. NEW BUSINESS

**MOD 07-11 of DR 00-09/CUP 00-06 - 390 NW 2<sup>nd</sup> Avenue – Country Side Living** - Site and design review and expansion of a non-conforming use review to build a guest house. – Moved to the June 25, 2007 Planning Commission Agenda at the Applicant's request

**Canby High School Expansion** – Discussion regarding left-turn-lane on SW 2<sup>nd</sup> Ave, DEQ storm water approval, emergency vehicle access to proposed school bus lane, and timing of site work.

Kevin Cook said the proposed turn lane at 2<sup>nd</sup> Avenue was being looked at by the Traffic Engineer and he would have a report at the next commission meeting.

The high school will be able to register the new dry wells, but there are some problems with the existing dry wells. If DEQ give tentative approval for the new dry wells, the City would allow the project to move forward.

Condition 1 states that no building permits and/or utility work shall be permitted prior to the approval of the proposed right-of-way vacation. The City Council approved the vacation, but state law requires a waiting period and the staff would allow the work to start with the understanding that any work would be at the district's risk.

The emergency access issue would be reported to the Commission at the next meeting.

### IV. FINDINGS

**MLP 07-03 371 SE 13<sup>th</sup> Place – Kimco Properties** - Commissioner Ewert moved to approve the findings for MLP 07-03 as presented. Motion seconded by Commissioner Taylor and passed 6-0.

**DR 07-01/CUP 07-01 – 371 SW 4<sup>th</sup> Avenue – Canby School District** - Commissioner Taylor moved to approve the findings for DR 07-01/CUP 07-01 as presented. Motion seconded by Commissioner Holte and passed 6-0.

**MLP 07-05 – 441 S Knott Street – Williford/Schellenberg** - Commissioner Milne moved to approve the findings for MLP 07-05 as modified from the Public Hearing earlier in the meeting. Motion seconded by Commissioner Taylor and passed 6-0.

## V. MINUTES

May 14, 2007 - Commissioner Ewert moved to approve minutes of May 14, 2007 as presented. Motion seconded by Commissioner Taylor and passed 6-0.

## VI. DIRECTOR'S REPORT

John Williams reported that on the June 25<sup>th</sup> agenda would be a modification to a previous Site and Design Review to allow Countryside Living to add a guest house to the property.

Also, the Commission would have the opportunity to discuss the issue of infrastructure timing on minor land partitions and subdivisions.

Mr. Williams stated that the next five applications to come to the Commission were all commercial projects. July 9 the Commission would hear the Site and Design Review for American Steel. July 23 would be a 4-lot subdivision in the Industrial Park. August 27 would be the Site and Design Review for a new Rite Aid.

Mr. Williams announced that the Design Standards group would meet on June 28.

Chair Brown asked about the unit on the top of the Willamette Falls building.

Mr. Williams stated that the Commission would probably be handling that in the near future.

## VII. ADJOURNMENT