

**PLANNING COMMISSION
Meeting Agenda
Monday – February 8, 2010
7:00 PM - Regular Meeting
City Council Chambers – 155 NW 2nd Avenue**

**Chair Dan Ewert – Vice Chair Janet Milne
Commissioners Sean Joyce, Charles Kocher, John Proctor, Misty Slagle and Randy Tessman**

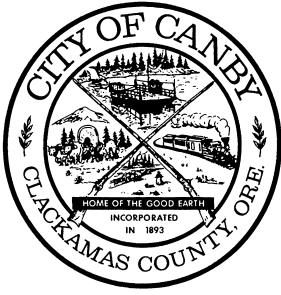
- 1. CALL TO ORDER**
- 2. CITIZEN INPUT ON NON-AGENDA ITEMS**
- 3. PUBLIC HEARINGS**
 - a. Approval of a Site & Design Review application to build a 14,448 square foot commercial building and an accessory parking lot on a 2-acre site in the 300 Block of S. Walnut Street (a 2-acre portion of Clackamas County Assessor Map & Tax Lot Nos. 31E34-01805 and 01710). The applicant is requesting approval of a concurrent variance from CMC 16.49.120.9 in order to waive the requirement for automatic irrigation or water spigots for the lawn-portion of the landscaping area. The applicant is requesting approval of a concurrent variance from CMC 16.35.050.G in order to allow different street improvements on S. Walnut Street than required by code. **DR 09-02** – Staff: Melissa Hardy, Associate Planner **Page 2**
- 4. NEW BUSINESS**
 - a. Adoption of Planning Commission Policies and Procedures **Page 65**
- 5. FINAL DECISIONS - None**

Note: These are final, written versions of previous oral decisions. No public testimony.

 - a. **DR 09-02 - Dragonberry** **Page 76**
- 6. MINUTES**

January 11, 2010 **Page 85**
- 7. ITEMS OF INTEREST/REPORT FROM STAFF**
- 8. ITEMS OF INTEREST/GUIDANCE FROM PLANNING COMMISSION**
- 9. ADJOURNMENT**

*The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for person with disabilities should be made at least 48 hours before the meeting to Jill Thorn at 503-266-7001.
A copy of this agenda can be found on the City's web page at www.ci.canby.or.us
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For a schedule of the playback times, please call 503-263-6287.*



STAFF REPORT

APPLICANT:

Chris Spurgin
935 S.E. Alder Street
Portland, OR 97214

FILE NO.:

DR 09-02

OWNER:

Dragonberry Real Estate, LLC
11517 S.E. Hwy 212
Clackamas, OR 97015

STAFF:

Melissa Hardy
Associate Planner

LEGAL DESCRIPTION:

Portion of Lot 5 of "Struble Estates" Plat No. 4236 together with Portion of Lot 8 of "Burden" Plat No. 3973 (also identified as portions of Clackamas County Map and Tax Lot Numbers 31E34-01805 and 31E34-01710)

DATE OF REPORT:

February 01, 2010

LOCATION:

300 Block of S. Walnut Street

DATE OF HEARING:

February 08, 2010

COMP. PLAN DESIGNATION:

Light Industrial (LI)

ZONING DESIGNATION:

Light Industrial (M-1), and Canby Industrial Area Overlay (I-O) zone

I. APPLICANT'S REQUEST:

The applicant is proposing to construct a 14,458 square foot commercial building and an accessory parking lot on an approximately 2 acre site.

II. APPLICABLE REGULATIONS:

Canby Municipal Code (CMC) Title 16:

- 16.08 General Provisions
- 16.10 Off-Street Parking and Loading
- 16.32 M-1 Light Industrial Zone
- 16.35 Canby Industrial Area Overlay (I-O) Zone
- 16.42 Signs
- 16.46 Access Limitations on Project Density
- 16.49 Site and Design Review

- 16.53 Variances
- 16.89 Application and Review Procedures
- 16.120 Parks, Open Space and Recreation Land

III. SUMMARY OF PROPOSAL:

Development – The applicant is requesting approval of a Site and Design Review and Variance application, to construct a 14,458 square foot commercial building (12,384 sq. ft. first floor -plus- 2,074 sq. ft. second floor) and an accessory parking lot on an approximately 2 acre site.

Location and Existing Conditions – The project site is located in the 300 Block of S. Walnut Street (see *Exhibit A – Vicinity Map*). The site is currently undeveloped and is zoned Light Industrial (M-1) and located in the Canby Industrial Area Overlay (I-O) zone. Neighboring properties south, east, and west of the project site are zoned M-1, and land north of the site is located in the County and zoned Exclusive Farm Use (EFU) (see *Exhibit B – Zoning*).

The approximately 2-acre project site is located across a portion of two abutting lots. The two property owners received Canby approval to replat the common lot line between the two lots in 2009, and they are currently in the process of recording the replat (see *Exhibit C – Legal Lots of Record*). Once the replat is recorded, the proposed project will be located on the east half of the reconfigured northerly lot. The west half of the reconfigured lot is not a part of this application. Lot 5 of Struble Estates, is currently used for agriculture (see *Exhibit D – Site Photos*), and the property owner intends to continue to use the west half of the lot for agriculture at this time. There are no significant slopes on the property. And there do not appear to be any mapped flood hazard areas on the property according to Federal Emergency Management Agency (FEMA) flood insurance rate maps.

Land Use Permit Requirement – Site and Design Review approval is required prior to construction of the proposed development per CMC 16.49.035.B. The applicant is also requesting two concurrent code variances, and therefore Variance approval is required prior to construction per CMC 16.53.020.

IV. SITE AND DESIGN REVIEW ANALYSIS (FINDINGS):

CMC Section 16.49.040.1 sets forth the approval criteria which the Planning Commission must use to determine whether or not a Site and Design Review application shall be approved or denied. The Planning Commission shall find that the following criteria are either met, can be met by observance of conditions, or are not applicable:

16.49.040.1.A. The proposed site development, including the site plan, architecture, landscaping and graphic design, is in conformance with the standards of this and other applicable city ordinances insofar as the location, height and appearance of the proposed development are involved. Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:

General Provisions (CMC Chapter 16.08) – As proposed, and with conditions of approval, the development meets CMC 16.08 standards as follows:

The property owner is currently in the process of replatting the two legal lots that this proposed development is located on (*see Exhibits A and C*), so that after the replat the development will be entirely located on the easterly portion of the north lot, and S. Walnut Street will separate the two lots. A condition of approval is recommended in order to ensure that the replat is recorded prior to building permit issuance, so that all lot line issues are resolved prior to construction and the lot is considered a legal lot of record for development purposes, in conformance with CMC 16.08.070.

Pursuant to CMC 16.08.090, the Planning Commission may impose appropriate sidewalk and curbing requirements as a condition of approving any discretionary application it reviews. S. Walnut Street abutting the project site is classified as a “Local” street in the Canby Transportation System Plan, and currently does not meet minimum adequacy standards for a local street, and has no existing sidewalk or curb. Therefore, a condition of approval is recommended to ensure that S. Walnut Street abutting the project site is completed prior to occupancy permit, including construction of sidewalks and curbing.

Pursuant to CMC 16.08.110, the Planning Commission may require sight-blocking or noise-mitigating fencing up to eight feet in height for any development it reviews. The project site is surrounded by non-residential zoning districts. There is one single-family dwelling located on the neighboring lot to the north (*see Exhibit D*), but that property is zoned Clackamas County Exclusive Farm Use (EFU) which is a natural resource district, and that property is also designated for Light Industrial land use on the Canby Comprehensive Plan map. Therefore, the City does not anticipate that property will ever likely be zoned for, or developed for, residential use. The developer is not proposing any outdoor storage area on the site, so sight-blocking fencing is not warranted. And because the surrounding area is non-residential, no noise issues are anticipated that would warrant noise-mitigating fencing. Therefore, site-blocking or noise-mitigating fencing is not warranted and not required.

Analysis: Conditions of Approval required to meet all CMC Chapter 16.08 standards –

- Prior to issuance of building permit, property owner shall record a replat to complete the Lot Line Adjustment approved by the City of Canby (file no. LLA-09-01). Following recordation, the property owner shall submit a copy of the replat to the Canby Planning Department. (*condition # 4*)
- Property owner shall complete all required public street improvements along the entire frontage of the project site, to the satisfaction of the City Engineer and Public Works Director, including installing a 6-foot-wide concrete public sidewalk, a 5-foot-wide planter strip with street trees, and commercial driveways at approved locations, to City standards. Sidewalks shall be located 5.5 feet from the face of the curb line or 21.5 feet from the centerline of the new S. Walnut Street right-of-way. Street trees shall be approved by the Public Works Director prior to planting. (*condition # 8*)

Off-Street Parking and Loading (CMC Chapter 16.10) – As proposed, the development meets CMC 16.10 standards as follows: The applicant is proposing to construct a commercial building with 14,458 square feet of floor area, and indicates the anticipated occupancy of the building will be: a 13,442 square foot produce warehouse, packaging, and distribution company (which includes approx. 4,704 square feet of office space), and a 1,016 square foot accessory coffee shop at some point in the future.

For the 13,442 sq.ft. warehouse/distribution company, CMC Table 16.10.050 requires a minimum of 26 vehicle spaces (3.5 spaces per 1,000 s.f. of office space + 1 space per 1,000 s.f. of non-office space). The applicant's development proposal includes 26 vehicle parking spaces on-site, so a 13,442 sq.ft. warehouse/distribution company will have adequate vehicle parking to meet minimum code standards.

The applicant also anticipates that at some point in the future, the property owner may consider operating 1,016 square foot accessory coffee shop in the building, which according to Table 16.10.050 would trigger a requirement for 9 additional vehicle parking spaces. The applicant is requesting that Planning Commission grant a parking exception, so that no additional vehicle parking spaces are required for an accessory coffee shop on site. Pursuant to CMC 16.10.010, the Planning Commission may permit a lesser number of parking spaces if the Commission finds that a lesser number of spaces is sufficient to carry out the objective of the Off-Street Parking and Loading Chapter. The purpose of operating a small accessory coffee shop in the building is to provide convenient coffee break services for warehouse employees and for truck drivers while they wait for their trucks to load. Therefore, it is anticipated that the customers of the coffee shop will be people who are already there in the building or on the property, and it is not expected that anyone else will be driving to the site specifically to go to the coffee shop. Staff recommend that the Planning Commission grant a parking exception, so that no additional vehicle or bicycle parking spaces are required for a 1,016 sq.ft. accessory restaurant in the building.

The 26 vehicle parking spaces on the applicant's site plan all meet minimum dimensional standards, including provisions for one van-accessible ADA space and one ADA space. Wheel stops are provided, as required by code. The maneuvering aisles on the applicant's site plan all meet the minimum 24-foot width requirement. The off-street loading facility requirement for an industrial tenant occupying 14,458 square feet is one 12'x60' loading space. The applicant's plans provide for five 13'x70' loading births and one light truck ramp, located on the north side of the building such that they will be adequately screened by landscaping. And Chapter 16.10 requires an industrial park or warehouse tenant to provide a minimum of two bicycle parking spaces, which the applicant has proposed to install on the east side of the building near the public entrance and west side of the building near employee entrances (*see Exhibit E to view proposed inverted U racks*). With the requested parking exception, the anticipated occupants of the site will have adequate vehicle and bicycle parking on site.

The Canby code requires a minimum of one vehicle access between 24 and 40 feet wide with a paved pedestrian pathway along one side. The applicant is proposing two vehicle access driveways, each 30 feet wide, the southerly of which is proposed with an adjacent 6-foot-wide concrete pedestrian pathway that leads to the back of the building. Both driveways are greater than 50 feet from the closest collector or arterial intersection. The proposed driveways have been reviewed favorably by the City Transportation Engineer (*see Exhibit H*).

Analysis: Condition of Approval required to meet all CMC Chapter 16.10 standards –

- The Planning Commission finds that, for the proposed 14,458 square foot commercial building, containing a 13,442 sq.ft. warehouse/distribution company and a 1,016 sq.ft. accessory coffee shop, 26 vehicle parking spaces and 2 bicycle parking spaces are sufficient to carry out the objective of the Off-Street Parking and Loading Chapter, and hereby grants a parking exception. This parking exception shall remain in effect until a change in the use of

this site, or development of additional square footage on this site, triggers a requirement to re-evaluate parking. (*condition # 17*)

M-1 Light Industrial Zone (CMC Chapter 16.32) – As proposed, and with a condition of approval, the development meets CMC 16.32 standards as follows: The project site does not abut a residential zone; therefore no residential setbacks are required. The only required M-1 setbacks applicable to the proposed development are the 15-foot vision clearance triangles required at the corners of the driveways where they intersect with S. Walnut Street. The applicant has proposed ‘Truck Entrance’ signage inside the vision clearance triangles, which if over 30 inches tall would violate the vision clearance requirement (*see Exhibit E – sheet C111*). Therefore, a condition of approval is recommended to ensure ‘Truck Entrance’ signage conforms with the City’s vision clearance regulations. The anticipated future occupancy of the building by a produce warehouse, packaging, and distribution company, and possibly by an accessory coffee shop, are both currently listed as permitted uses under 16.32.010.U “*wholesale distribution, including warehousing and storage*” and 16.32.010.M “*restaurant, when related and incidental to primary industrial use of the area*”. Although other outright permitted uses or conditionally permitted uses listed in CMC Chptr 16.32 could also occupy the site, provided all applicable CMC regulations are met.

Analysis: Condition of Approval required to meet all CMC Chapter 16.32 standards –

- ‘Truck Entrance’ signage over 30-inches in height shall not be installed inside the 15-foot vision clearance triangles required at the corners of the driveways. (*condition # 12*)

Canby Industrial Area Overlay Zone (CMC Chapter 16.35) – As proposed, and with a condition of approval, the development meets CMC 16.35 standards as follows: Unless limited by section 16.35.040 or 16.35.045, uses allowed in the M-1 zone are allowed in the overlay zone. So if the wholesale distribution company and accessory restaurant resulted in less than 12 employees per acre, or required an H occupancy, or if the restaurant wasn’t related to the primary industrial use of the park, or if the restaurant occupied more than 15% of a building footprint, then they would have to apply to the Planning Commission for Conditional Use approval prior to getting a business license. However, the applicant has given no indication that any of these restrictions will be an issue, so it is not anticipated at this time that a wholesale distribution company or accessory restaurant will need to obtain a Conditional Use Permit.

There are no minimum lot width or lot frontage requirements in the overlay zone. Maximum building height allowed is 45 feet. And there is no maximum lot coverage limitation. The proposed development meets the minimum 10 foot setback required from the northerly interior lot line. The minimum setback from the lot line abutting the right-of-way is 20 feet for parking areas and 20 or 35 feet for structures, depending on the height of the structure. The applicant’s proposed parking areas meet the 20 foot parking setback. And the applicant is proposing to build a 27 foot tall building, setback approximately 41.5 feet from the right-of-way line, which meets the minimum 35 foot setback regulation.

All other overlay zone development standards are met by the applicant’s proposal, with the exception of two variances that the Planning Commission has been asked to consider. A variance of 16.35.050.G to allow S. Walnut Street to be constructed differently than set forth in the street section standards of the Industrial Area Master Plan, and a variance of 16.35.050.M to

waive the automatic irrigation requirement for 21,500 square feet of drought-tolerant lawn area, are both discussed in greater detail later in this staff report under Heading V: *VariANCES*.

Analysis: Meets all CMC Chapter 16.35 development standards, with the exception of the two variances requested.

Signs (CMC Chapter 16.42) – As proposed, and with a condition of approval, the development meets CMC 16.42 standards as follows: The applicant has indicated that they plan to install one monument sign near the southerly driveway (*see Exhibit E – callout #17 on sheet C111*). Monument signs must meet all the design standards in 16.42.040, and Table 16.42.050 states that one monument sign, no taller than 6 feet, and not exceeding 32 square feet per sign face, is allowed per lot. CMC 16.42.040 permits the street yard setback for signs to be half of that required for other structures in the zone, so the proposed monument sign could be as close as 10 feet from the right-of-way, provided that vision clearance is met. There is no evidence the proposed monument sign will not be able to meet all the standards. A condition of approval is recommended to approve the placement of one monument sign in the approximate location indicated on sheet C111, provided all applicable standards are met.

The applicant has also indicated that they plan to install two canopy signs on the west building elevation, and one canopy sign on the east building elevation (*see Exhibit E – sheet A301*). Table 16.42.050 states that only one canopy sign is allowed on each building frontage for each business license on file with the city, and that the maximum sign face area of all canopy signs allowed on a primary frontage is 12% of the building elevation area, up to a maximum of 120 square feet. Both the west and the east building elevations meet the definition of a “primary building frontage”, so the total square footage of all canopy signs that would be permitted on each building frontage is 120 square feet. There is no evidence that the anticipated canopy signs could not meet all required sign standards, provided that two business licenses are issued for occupants of the building prior to the 2nd canopy sign being installed on the west building elevation. A condition of approval is recommended to permit the property owner to apply for sign permits and have them reviewed through the normal sign application process, rather than require a Site and Design Review Modification application.

Analysis: Condition of Approval required to meet all CMC Chapter 16.42 standards –

- One monument sign is approved, to be located in the approximate location indicated on sheet C111 of Exhibit E to the February 1, 2010 staff report, provided that the sign meets all applicable sign standards, setbacks, and vision clearance standards. The property owner shall obtain a sign building permit from the City prior to construction. Any application for additional signage shall be reviewed administratively through the normal sign application process, rather than as a Site and Design Review Modification application. (*condition # 13*)

Access Limitations (CMC Chapter 16.46) – As proposed, and with a condition of approval, the development meets CMC 16.46 standards as follows: S. Walnut Street is designated as a Local street in the Canby Transportation System Plan, and as such, the only access spacing limitation specified in the code is the minimum 50-foot distance that driveways must be setback from the intersection of a collector or arterial street, set forth in CMC Chapter 16.10. S. Sequoia Parkway is a designated collector street, so any proposed driveways need to be setback at least 50 feet from the intersection of S. Walnut Street with S. Sequoia Street. The applicant’s development plan includes two proposed driveways. A Transportation Analysis was conducted for the proposed

project (*see Exhibit H*), and the study concluded that the proposed development does not create any trip generation issues, that the driveway spacing along S. Walnut Street is adequate. Because of the curvature of S. Walnut Street in relation to the driveway placement, the Transportation Engineer did find that maintaining adequate site distance is a concern that should be addressed (*see Exhibit H – page 3 and Figure A-2*). The study found that the following recommendation will address the concern and maintain adequate site distance: “To ensure sight distance will continue to be met at the site access driveway, the sight line shown in Figure A-2, in the Technical Appendix, should be kept clear of any structures and growth which extend higher than 3.5 feet from the ground.” In review of the applicant’s proposed landscaping plan, it appears that the only plants the applicant plans to plant inside the sight distance lines that are taller than 42-inches are red alder trees (which mature to 50-90 feet tall), and that the most critical sight distance area appears to be where the sight distance lines converge adjacent the curve of the roadway. Therefore, it is recommended that approval of the development include a condition that the 3 red alder trees proposed inside the convergence of the sight distance lines be replaced by a plant material that will not grow higher than 42 inches.

Analysis: Condition of Approval required to meet all CMC Chapter 16.46 standards –

- At the time of building permit application, a revised landscaping plan shall be submitted to the City with the follow revision: the 3 red alder trees located inside the convergence of the sight distance lines near the curvature of the roadway, as illustrated in Figure A-2 of Exhibit H to the February 1, 2010 staff report, shall be removed and replaced by a plant material that will not grow higher than 42 inches. No plant materials or other features shall be allowed on the site within the area of sight line convergence that exceed 42 inches in height. (*condition # 14*)

Site and Design Review (CMC Chapter 16.49) – Conformance with the applicable design review matrix (Table 16.35.040) is detailed later in the staff report in the discussions involving Criteria 1.B, Criteria 1.C, and Criteria 1.D. As proposed, the development meets all other CMC 16.49 standards as follows: The applicant’s proposed development includes on-site facilities for bicycle and pedestrian access, in conformance with CMC 16.49.065 standards. There are pedestrian walkways, a minimum 5 feet in width, that provide connectivity between the public sidewalk and entrances to the building, and between vehicle parking areas and building entrances. Pedestrian connectivity is also provided between this development and the abutting lot to the north, so that when the abutting lot to the north is developed in the future they will be able to provide pedestrian inter-connectivity between their lot and this lot.

Landscaping standards require that a minimum 15 percent of the project site be landscaped, and also that a minimum 15 percent of the parking lot area be landscaped. In review of the applicant’s landscaping calculation sheet and plans (*see Exhibit E*), the proposed overall area of landscaping proposed for the 2-acre project site is approximately 47% of the site, and the area of parking lot landscaping proposed is approximately 30% of the parking lot area, both of which exceed the minimum 15% code requirement. At least 12,410 square feet of the landscaping area (95% of the required minimum 15% landscaping) must be covered by living grass or other plant material within 3 years, and it appears in reviewing the landscape plan that this standard will be met as well. Trees surrounding the parking lot area also exceed the minimum requirement of one tree for every 8 parking spaces. The only landscaping standard not met by the applicant’s proposal is the automatic irrigation requirement, from which the applicant is requesting a

variance for 21,500 square feet of drought-tolerant lawn area – this variance request is discussed in greater detail under Heading V: *Variances*.

Analysis: Meets all CMC Chapter 16.49 development standards, with the exception of the irrigation variance requested.

Variances (CMC Chapter 16.53) – See Heading V: *Variances*

Application and Review Procedures (CMC Chapter 16.89) – The applicant held a pre-application meeting with City staff in June of 2009. A neighborhood meeting was not required, because the project site is located in an established industrial park and no residential zones are located within close proximity to the project site. Notice of the public hearing for this application was mailed on January 19, 2010, to all property owners and residents within 500 feet of the subject property. Notice was posted on-site by the applicant on January 22, 2010. And notice of the public hearing was published in the Canby Herald on February 03, 2010.

Analysis: Meets all CMC Chapter 16.89 standards.

General Provision (CMC Chapter 16.120) – When residential, commercial, and industrial development occurs, the City requires land dedication or payment of a system development Charge (SDC) in lieu of land dedication in order to provide for park, open space and recreation sites to serve existing and future residents and employees. SDC's are charged at the time of building permit application.

Analysis: Meets all CMC Chapter 16.120 standards.

16.49.040.1.B. The proposed design of the development is compatible with the design of other developments in the same general vicinity. *Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:*

The proposed design of the development is considered to be compatible with the design of other developments in the same general vicinity because the application, as detailed below under Criteria 1D, has achieved minimum acceptable scores on the applicable Site and Design Review matrix.

16.49.040.1.C. The location, design, size, color and materials of the exterior of all structures and signs are compatible with the proposed development and appropriate to the design character of other structures in the same vicinity. *Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:*

The location, design, size, color and materials of the exterior of all structures and signs are considered compatible with the proposed development and appropriate to the design character of other structures in the same vicinity because the application, as detailed below under Criteria 1D, has achieved minimum acceptable scores on the applicable Site and Design Review matrix.

16.49.040.1.D. The Board shall, in making its determination of compliance with subsections B and C above, use the following matrix to determine compatibility unless this matrix is

superseded by another matrix applicable to a specific zone or zones under this title. An application is considered to be compatible, in regards to subsections B and C above if ... it achieves scores equal to or greater than the minimum acceptable scores in the matrix. Staff recommends Planning Commission find that the application, as proposed, is in compliance with this Criteria based on the following design matrix analysis:

TABLE 16.35.040

CRITERIA	SCORE ACHIEVED
Parking	
Parking areas located to the side or rear of buildings as viewed from public right-of-way: <50% of parking spaces = 0; 50%-75% = 1; 100% = 2.	
Analysis: 26 out of 26 parking spaces (100%) are located on the north side of the building.	2
Increase minimum interior parking lot landscape over the base 15%: 15%-18% = 0; 18%-22% = 1; >22% = 2.	
Analysis: 30% of vehicular use area is landscaped.	2
Increase the number of trees planted within buffers and/or within the parking area: 100%-105% of base requirement* = 0; 105%-110% of base requirement = 1; >110% = 2. *The base requirement is determined based on total parking area/number of spaces, and parking setback perimeter, see Chapter 16.49.120.	
Analysis: A minimum of 5 trees are required; 23 trees are provided = 460%	2
Number of parking spaces (% of required minimum): >110% = 0; 110%-105% = 1; 105%-100% = 2.	
Analysis: Minimum required is 26 spaces; 26 spaces are provided = 100%	2
Minimum Acceptable Score = 4 Points	8 Points
Transportation/Circulation	
Proposed local street alignments: street not proposed = 0; street(s) proposed with some modifications to master plan = 1; proposed street(s) approximate recommended alignments = 2. Note: the planned parkway and collector streets are required elements, except as indicated by the Industrial Area Master Plan.	
Analysis: The master plan states that the alignment of S. Walnut Street is flexible; therefore the proposed alignment approximates the recommended alignment.	2
Design of all pedestrian ways (private, on-site pathways): six feet wide, raised concrete with painted crosswalks ("standard") = 0; standard with brick or similar pavers for pathways and crosswalks = 1; greater than 6 feet wide (inclusive of curb) and use of brick or similar pavers for pathways and crosswalks = 2.	
Analysis: Most of the proposed pedestrian walkways are six feet wide, with the exception of the pathway that connects the site to the neighboring lot to the north, and the pathway along the southern wall of the building, both of which are 5 feet wide. The pathways are concrete with a painted crosswalk (see Exhibit E – sheet C111).	0
Number of pedestrian connections between the street sidewalk and internal circulation system: one connection = 0; two connections = 1.	
Analysis: Two pedestrian connections proposed (see Exhibit E – sheet C111).	1
Minimum Acceptable Score (some provisions may not apply) = 3 Points	3 Points
Tree Retention, Open Space Conservation and Trail Connections	
Preserves trees as recommended by arborist or City Planning Department: <50% of recommended trees preserved = 0; 50%-75% = 1; 75%-100% = 2	
Analysis: Not applicable. There are no existing trees on the project site.	NA

Replaces trees that were recommended for retention: No = 0; Yes = 1. Mitigation based on reasonable tree replacement	
Analysis: Not applicable. No trees recommended for retention.	NA
When site includes designated open space, park or trail connection; proposal does not dedicate or establish easement for designated open space/park or trail connection = 0; dedicated or establishes easement = 1; dedicated land/right-of-way and constructs improvements = 2.	
Analysis: Not applicable. Proposal does not include any provision of on-site open space, park, or trail connection.	NA
Minimum Acceptable Score (some provisions may not apply) = 3 Points	NA
Landscaping	
Trees installed at 3 inch caliper: <25% of trees = 0; 25%-50% = 1; 50%-100% = 2.	
Analysis: All trees proposed at 2-inch caliper = 0%	0
Usable outdoor amenity provided with development (e.g., water features, plazas, seating areas and similar features): No = 0; Yes = 1; Yes and public access provided (i.e., through an easement) = 2.	
Analysis: Proposal includes a zen rock garden designed for congregation and contemplation, with seating to be provided by appropriately-sized boulders placed in and around the rock garden (see Exhibit E – sheet L101). Public access through recorded public easement has not been proposed by applicant.	1
Amount of grass or other planting used for ground cover treatment: <75% = 0; 75%-90% = 1; 90%-100% = 2	
Analysis: The only landscape area that isn't vegetation is about 10% of the area covered with pea gravel and boulders and a few rock swales under the downspouts.	2
Minimum Acceptable Score = 3 Points	3 points
Building Appearance and Orientation	
Building orientation at or near street; parking or drive separates building from street = 0; at least 20% of elevation within 5 feet of minimum setback = 1; at least 20% of elevation is at minimum setback = 2	
Analysis: Entire building is more than 40 feet from front lot line.	0
Building entrances visible from the street: No = 0; Yes = 1	
Analysis: The main public entrance on the east side of building is visible from the street.	1
Buildings use quality materials: concrete, wood, or wood siding = 0; concrete masonry, stucco, or similar material = 1; brick or similar appearance = 2	
Analysis: Exterior finish of building is painted concrete masonry.	1
Articulation and/or detailing to break up large building surfaces and accentuate the building entrance(s): No = 0; Yes = 2	
Analysis: Building façade design includes horizontal banding on the east and west elevations, and a large green screen (a metal trellis for vegetation) on the south elevation (see Exhibit E – sheet A301), to break up wall surfaces.	2
Minimum Acceptable Score	4 Points
	4 points

As detailed in the above analysis, the “Tree Retention, Open Space Conservation and Trail Connections” category is not deemed applicable to this application. The application achieves minimum acceptable scores in all other categories.

16.49.040.4. The Board shall, in making its determination of compliance with the above requirements, be guided by the objectives and standards set forth in this section. It must be demonstrated that all required public facilities and services are available, or will become available through the development, to adequately meet the needs of the proposed

available through the development, to adequately meet the needs of the proposed development. If the site and design review plan includes utility facilities or public utility facility, then the City Planner shall determine whether those aspects of the proposed plan comply with applicable standards. Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:

The application has been reviewed by City of Canby Public Works, Canby City Engineer, Canby Building Official, Canby Utility, Canby Disposal, N.W. Natural, Canby Police Department, Canby Fire, Canby Area Transit, Wave Broadband, Canby Telcom, and Canby Parks and Recreation. Their comments are attached (*see Exhibit I*), which indicate that all required public facilities and services exist, or exist with conditions of approval, to adequately meet the needs of the proposed development. Their recommendations and comments are summarized as follows:

Canby Public Works:

- See *Exhibit I* for complete list of recommendations.
- *Planning Staff comments: Site and Design Review approval should include all of Public Works' recommended conditions, in order to ensure that all required public facilities and services are available, or will become available through the development.*

Canby City Engineer:

- See *Exhibit I* for complete list of recommendations.
- *Planning Staff comments: Site and Design Review approval should include all of the City Engineer's recommended conditions, in order to ensure that all required public facilities and services are available, or will become available through the development.*

Canby Police:

- Adequate public services are available.

Canby Building Official:

- Adequate public services are available.

Canby Utility Electric:

- Adequate public services will become available through the development.

Canby Utility Water:

- Adequate public services will become available through the development.

Canby Disposal Company:

- Adequate public services are available.

Canby Telcom:

- Adequate public services will become available through the development.

Canby Parks & Recreation:

- No comments received.

Canby Fire:

- No comments received.

Canby Area Transit:

- No comments received.

NW Natural Gas:

- No comments received.

Wave Broadband Cable:

- No comments received.

Analysis: Based on the above recommendations, the following Conditions of Approval are required to comply with Criteria 16.49.040.4 –

- Tenant or Applicant shall complete a Non-Residential Wastewater Survey for review by the Public Works Department prior to final occupancy. (*condition # 19*)
- Loading dock drain routed to sanitary must be covered and sloped to prevent rainwater from entering the catch basin prior to final occupancy. (*condition # 21*)
- If process water is generated on site, the Public Works Director shall determine whether pretreatment is required prior to discharge to the sanitary sewer, including but not limited to a sampling manhole, flow monitoring device, and automatic sampler. (*condition # 24*)
- The applicant shall install a sewer cleanout at the back of the sidewalk prior to entering the public right-of-way. Applicant shall contact the City Engineer to coordinate the location of the sewer lateral. (*condition # 25*)
- Applicant shall provide the Public Works Director written documentation from Oregon DEQ as to whether a stormwater 1200-C NPDES permit is required or not. A copy of the 1200-C NPDES application and permit, including the erosion sediment control plan shall be submitted to Public Works Department for review. (*condition # 26*)
- All Canby Erosion and Sediment Control permits must be obtained from Public Works Department prior to disturbing soil at the site. (*condition # 27*)
- Loading dock drains, if exposed to rainfall, must be routed to the onsite stormwater collection and disposal system. (*condition # 22*)
- Trash enclosures and/or dumpsters shall not have drains located directly beneath them. (*condition # 23*)
- Applicant shall have commercial driveway plans approved by the Public Works Director/City Engineer prior to constructing the proposed driveways. All driveway construction shall be inspected and approved by Public Works Department prior to final occupancy permit. (*condition # 10*)
- Property owner shall dedicate right-of-way equal to 20 feet from centerline of S. Walnut Street, and a 16-foot-wide sidewalk, storm drainage and public utility easement parallel to and abutting the new S. Walnut Street alignment. (*condition # 6*)
- Property owner shall complete all required public street improvements along the entire frontage of the project site, to the satisfaction of the City Engineer and Public Works Director, including installing a 6-foot-wide concrete public sidewalk, a 5-foot-wide planter strip with street trees, and commercial driveways at approved locations, to City standards. Sidewalks shall be located 5.5 feet from the face of the curb line or 21.5 feet from the centerline of the new S. Walnut Street right-of-way. Street trees shall be approved by the Public Works Director prior to planting. (*condition # 8*)

- Vehicular access to the westerly undeveloped portion of lot 5 of “Struble Estates” plat shall be through the two driveways approved as part of this development (DR-09-02), until such time that any additional or alternative vehicle access locations may be approved by the City. *(condition # 11)*
- Water and sanitary sewer services to this development shall be provided by the City “South Walnut Street LID” project at locations provided by the developer’s design engineer on January 21, 2010. *(condition # 18)*
- Storm drainage runoff shall be disposed on-site and will not be allowed to discharge into the public system. *(condition # 20)*
- The access driveways onto S. Walnut Street shall be commercial-type with large radius curb returns to account for truck traffic. Public sidewalks shall extend across the driveways. *(condition # 9)*
- The existing right-of-way and public utility easement dedicated along the S. Walnut Street frontage of this property, as part of the “Struble Estates” plat, Clackamas County Subdivision Plat Book 139, page 008, no. 4236, shall be modified to be comparable with the new Walnut Street alignment. Such modification shall be to the satisfaction of the City Engineer. *(condition # 7)*

16.49.040.5. The Board shall, in making its determination of compliance with the requirements set forth, consider the effect of its action on the availability and cost of needed housing. The Board shall not use the requirements of this section to exclude needed housing types. However, consideration of these factors shall not prevent the Board from imposing conditions of approval necessary to meet the requirements of this section. The costs of such conditions shall not unduly increase the cost of housing beyond the minimum necessary to achieve the purposes of this ordinance. Staff recommends Planning Commission find that the application, as proposed, is in compliance with this Criteria based on the following:

The application does not involve development of any dwelling units, and there is no evidence that approval of the proposed development will affect availability or cost of any needed housing.

16.49.040.6. As part of the site and design review, the property owner may apply for approval to cut trees in addition to those allowed in Section 12.32, the city Tree Ordinance. The granting or denial of said application will be based on the criteria in Chapter 12.32. The cutting of trees does not in and of itself constitute change in the appearance of the property which would necessitate application for site and design review. Staff recommends Planning Commission find that the application, as proposed, is in compliance with this Criteria based on the following:

There are no existing street trees in the right-of-way abutting the project site, and the applicant has not requested permission to remove any street trees. Therefore this criteria concerning removal of street trees is not applicable to consideration of this application.

Additional Conditions: Site and Design Review approval may include conditions to ensure that the public is protected from the potentially deleterious effects of the proposal, that the need for services created, increased or in part attributable to the proposal is fulfilled, and to further implementation of CMC requirements.

Staff recommends Planning Commission find that the following conditions protect the public from the potentially deleterious effects of the proposal, ensure that the need for services created, increased or in part attributable to the proposal is fulfilled, and further implementation of CMC requirements:

- Approval of this application is based on submitted application materials (a reduced copy of which are attached to the Feb. 01, 2010 staff report as Exhibit E) and other relevant application materials and submitted testimony. Approval is strictly limited to the submitted proposal and is not extended to any other development of the property. Any modification of development plans not in conformance with the approval of application file no. DR 09-02, including all conditions of approval, shall first require an approved modification in conformance with the relevant sections of the Canby Municipal Code. (*condition #1*)
 - At the time of building permit application, the applicant shall submit a full size set of all development plans (including site plan, landscape plan, elevations, etc.) that is consistent with the development approved herein, including all conditions of approval and revisions required to meet conditions, to the satisfaction of the City's Planning & Building Department and Public Works Department. All conditions of approval must be met prior to final occupancy of the building unless otherwise noted. (*condition #2*)
 - Prior to the issuance of a building permit, installation of public utilities, or any other site work other than rough site grading, construction plans must be approved and signed by the appropriate City Departments and by all other utility/service providers. The design, location, and planned installation of all roadway improvements and utilities including but not limited to water, electric, sanitary sewer, natural gas, telephone, storm water, cable television, and emergency service provision is subject to approval by the appropriate utility/service provider. The City of Canby's preconstruction process procedures shall be followed by the applicant. (*condition #3*)
 - All required landscaping shall be installed prior to final occupancy permit. (*condition #15*)
 - Prior to issuance of building permits, applicant shall meet all fire & life safety requirements of Canby Fire. (*condition #28*)

V. **VARIANCE ANALYSIS (FINDINGS):**

CMC Section 16.53.020 sets forth the approval criteria which the Planning Commission must use to determine whether or not a Variance application shall be approved or denied. The Commission may authorize variances where it can be shown that, owing to special and unusual circumstances related to a specific piece of property, the literal interpretation of the regulations would cause an undue or unnecessary hardship. In granting a variance, the Commission may attach conditions which it finds necessary to protect the best interests of the surrounding property or neighborhood and to otherwise achieve the purpose of Title 16.

Variance #1 : A request to waive the CMC 16.35.050.M and 16.49.120.9 code requirements for automatic irrigation, in order to allow approximately 21,500 square feet of drought tolerant lawn area (*see Exhibit E – sheet L111*) to be planted without installation of a permanent irrigation system. In the applicant's variance request letter (*see Exhibit F*), the applicant states that they want to use a temporary irrigation system until the turf – ODOT Multipurpose Mix – is established. Once

established, the applicant states that the turf is designed to thrive without a permanent irrigation system, and although it may experience some browning during the peak of summer, it will provide a rich green appearance throughout the rest of the year.

A variance may be granted only upon determination that all of the following conditions are present:

16.53.020.B.1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the city and within the same zone. These exceptional or extraordinary circumstances result from tract size or shape, topography or other circumstances over which the owners of the property have no control. Actions of previous owners do not constitute other exceptional or extraordinary circumstances. Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:

The applicant states that they are requesting non-irrigation for the lawn area, because the project site has been designed as a model of sustainability for Canby in terms of usage of materials, energy consumption, and potable water demand. These are the exceptional or extraordinary circumstances that apply to this property which do not apply generally to other properties in the city and within the same zone.

16.53.020.B.2. The variance is necessary to assure that the applicant maintains substantially the same property rights as are possessed by the owners of other property in the city and within the same zone. Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:

The applicant states that, as landscape architects we feel it is (our) professional responsibility to develop planting designs that are models of sustainability, designs that minimize the need for pesticides, fertilizers, and water usage. The variance is necessary to assure the applicant maintains substantially the same property rights as are possessed by the owners of other property in the city and within the same zone.

16.53.020.B.3. Granting of this variance will not be materially detrimental to the intent or purposes of the city's Comprehensive Plan or the Land Development and Planning Ordinance. Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:

The applicant states that the non-irrigation request is for the lawn area only, and that all shrub areas will be irrigated. *Exhibit E – sheet L111* details the irrigation system plans for the remainder of the landscaped area. CMC 16.49.010.B.1 states that one of the purposes of Chapter 16.49, the chapter in which landscaping standards are located, is to encourage originality, flexibility and innovation in site planning and development, including the architecture, landscaping and graphic design of said development. Granting this variance to allow an alternative style of landscaping is not materially detrimental to this purpose statement. Furthermore, in order to insure that the variance will not be detrimental to the next purpose statement in Chapter 16.49, B.2, which is to discourage monotonous, unsightly, dreary and inharmonious development, a Condition of Approval is recommended to ensure that the applicant gets the lawn area established and thriving before they remove their proposed temporary irrigation.

Recommended Condition:

- Permanent automatic irrigation for approximately 21,500 square feet of drought tolerant turf area is not required, provided that the applicant provides a temporary irrigation system to water the turf area for a minimum of one year from the date of planting, or until the turf is established, whichever is longer. After the temporary irrigation system is removed, permanent automatic irrigation shall not be required for the turf area so long as it is maintained in a green thriving condition during the majority of each year (although some browning during the peak of summer is allowed). If the lawn cannot be maintained in a green thriving condition during the majority of each year, upon notice by the City, the applicant shall be required to install permanent automatic irrigation to fix and maintain the lawn area. (*condition #16*)

16.53.020.B.4. Granting of this variance will not be materially detrimental to other property within the same vicinity. *Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:*

No other property within the same vicinity will be affected by the granting of this variance.

16.53.020.B.5. The variance requested is the minimum variance which will alleviate the hardship. *Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:*

A variance approval is the minimum action that the Planning Commission can take in order to waive the code requirement for automatic irrigation. A code amendment to change the regulation could be undertaken, but that is a much more involved and more complex process. There is no other way to alleviate the applicant's hardship.

16.53.020.B.6. The exceptional or unique conditions of the property which necessitate the issuance of a variance were not caused by the applicant, or the applicant's employees or relatives. *Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:*

The exceptional or unique conditions of the property which necessitate the issuance of a variance, specifically the code requirement for automatic irrigation for landscaping areas, were not caused by the applicant, or the applicant's employees or relatives.

Variance #2 : A request to waive the CMC 16.35.050.G code requirement that street right-of-way improvements be made in accordance with the circulation plan and streetscape/street section standards of the Industrial Area Master Plan. This request is made by the Applicant and by the City Engineer, who has designed an alternative street section standard for S. Walnut Street that is different than the code requirement (*see Exhibit G*), as part of a S. Walnut Street Local Improvement District (LID) street construction project. The LID was approved by City Council in October 2008.

The primary differences in the new design are:

- 16-foot-wide travel lanes instead of 14-foot-wide lanes, recommended by the Public Works department to better accommodate truck traffic, and
- 5-foot-wide street tree planter strips instead of 6-foot-wide planter strips, because the planter strips in all other areas of Canby are only 5-feet-wide, and

- Street is located inside a 40-foot-wide Right-of-Way (ROW) plus a 16-foot Easement on either side of the ROW (for a total width of 72 feet), instead of having the street located inside a 52-foot-wide ROW.

A variance may be granted only upon determination that all of the following conditions are present:

16.53.020.B.1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the city and within the same zone. These exceptional or extraordinary circumstances result from tract size or shape, topography or other circumstances over which the owners of the property have no control. Actions of previous owners do not constitute other exceptional or extraordinary circumstances. Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:

The exceptional or extraordinary circumstances that apply to this property which do not apply generally to other properties in the city, are that this property is part of a City Council-approved Local Improvement District for which a specific street section design has been created and approved. The street section design for S. Walnut Street is outside of the applicant's control.

16.53.020.B.2. The variance is necessary to assure that the applicant maintains substantially the same property rights as are possessed by the owners of other property in the city and within the same zone. Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:

The variance is necessary so that the applicant is not required to dedicate more ROW and not required to build a different type of street improvement than what is in the Council-approved LID plan. Therefore the applicant maintains substantially the same property rights as are possessed by other property owners in the LID area.

16.53.020.B.3. Granting of this variance will not be materially detrimental to the intent or purposes of the city's Comprehensive Plan or the Land Development and Planning Ordinance. Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:

The intent of the street section standard required by Chapter 16.35 of the Land Development and Planning Ordinance is to "provide efficient circulation and access" and to "provide visual continuity for streetscapes and developments". The wider travel lanes effected by the new alternative street design provide efficient circulation and access, because the Public Works Department recommended wider travel lanes to accommodate truck traffic in the industrial park; and the narrower street tree planting strips provide visual continuity for streetscape because the street tree planter strips in all other areas of the city are the same 5-foot-width that is in the new design.

The only potential material impact from granting the variance comes from the reduction in the ROW width, from a 52-foot-wide ROW to a 40-foot-wide ROW. Required setbacks for buildings, parking, and other structures are measured from the ROW line. If you look at the street section detailed in the code (*see Exhibit G – Figure 1*), the ROW line falls at the outside edge of the sidewalk, which means that if a 27-foot-tall building is required to have a minimum street yard setback of 35 feet, there will be a minimum of 35 feet between the building and the edge of the

sidewalk. The setbacks in the code were established based on the public sidewalk being located in the public ROW. Now if you look at the new alternative street section (*see Exhibit G – Figure 2*), the ROW line no longer falls at the outside edge of the sidewalk, and the edge of the sidewalk is 7.5 feet outside of the public ROW. Therefore a 27-foot-tall building required to have a minimum street yard setback of 35 feet will now be located 27.5 feet behind the edge of the sidewalk, instead of 35 feet behind the edge of the sidewalk.

As this ROW issue relates to this particular proposed development, the 27-foot-tall building is proposed to be located 41.5 feet from the ROW line, which will place the building 34 feet behind the edge of the public sidewalk. This is only a one-foot reduction from the intended 35-foot setback result, which is not a significant setback reduction. However, to insure that the variance will not be detrimental to the intent or purposes of the setback requirements, a Condition of Approval is recommended to provide direction in how setbacks should be applied to this site.

Recommended Condition:

- A reduced Right-of-Way width is permitted for S. Walnut Street, as detailed in Figure 2 of Exhibit G to the February 01, 2010 staff report. As a result, the way in which street yard setbacks are measured shall be modified for this site as follows: (A) street yard setback for the 14,458 square foot building approved as part of DR-09-02 shall be measured from the ROW line; (B) street yard setback for all other structures or buildings which may be approved for this site in the future shall be measured from the outside edge of the public sidewalk (the sidewalk edge that is furthest from the centerline of the ROW). (*condition #5*)

16.53.020.B.4. Granting of this variance will not be materially detrimental to other property within the same vicinity. *Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:*

No other property within the same vicinity will be affected by the granting of this variance.

16.53.020.B.5. The variance requested is the minimum variance which will alleviate the hardship. *Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:*

A variance approval is the minimum action that the Planning Commission can take in order to modify the street improvement required by code. A code amendment to change the street improvement regulation could be undertaken, but that is a much more involved and more complex process. There is no other way to alleviate the applicant's hardship.

16.53.020.B.6. The exceptional or unique conditions of the property which necessitate the issuance of a variance were not caused by the applicant, or the applicant's employees or relatives. *Staff recommends Planning Commission find that the application, as proposed and with conditions of approval, is in compliance with this Criteria based on the following:*

The exceptional or unique conditions of the property which necessitate the issuance of a variance are created by the Local Improvement District that includes plans for a street improvement that is different than what the code specifies. This was not caused by the applicant, or the applicant's employees or relatives.

VI. PUBLIC INPUT RECEIVED:

Neighborhood Meeting – The applicant’s request to not hold a neighborhood meeting prior to application submittal was granted by the Planning Director because the project site is located in an established industrial park and no residential zones are located within close proximity to the project site.

Public Comments – Notice of the public hearing was mailed to all property owners and residents within 500 feet of the subject property, and no public comments were received as of the date this staff report was prepared.

VII. CONCLUSION:

Staff concludes that, with recommended conditions of approval, the application meets all criteria for Site and Design Review approval. As detailed herein this staff report, including all attachments hereto, staff conclude the following:

16.49.040.1.A. The proposed development of the site is consistent with the applicable standards and requirements of the Canby Municipal Code and other applicable City ordinances insofar as the location, height and appearance of the proposed development are involved; and

16.49.040.1.B. The proposed design of the development is compatible with the design of other development in the vicinity; and

16.49.040.1.C. The location, design, size, color, and materials of the exteriors of the structure is compatible with the proposed development and appropriate to the design character of other structures in the same vicinity; and

16.49.040.1.D. The proposal is deemed compatible given that the application achieves scores equal to or greater than the minimum acceptable points in the Design Review matrix; and

16.49.040.4. All required public facilities and services exist or can be made available to adequately meet the needs of the proposed development.

16.49.040.5. The proposed development will have no impact on the availability or cost of housing.

16.49.040.6. No street trees are being removed.

Staff also concludes that, with recommended conditions of approval, the application meets all criteria for Variance approval. As detailed herein this staff report, including all attachments hereto, staff conclude the following:

16.53.020.B.1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the city and within the same zone. These exceptional or extraordinary circumstances result from tract size or shape, topography or other circumstances over which the owners of the property have no control.

16.53.020.B.2. The variances are necessary to assure that the applicant maintains substantially the same property rights as are possessed by the owners of other property in the city and within the same zone.

16.53.020.B.3. Granting of these variances will not be materially detrimental to the intent or purposes of the city’s Comprehensive Plan or the Land Development and Planning Ordinance.

16.53.020.B.4. Granting these variances will not be materially detrimental to other property within the same vicinity.

16.53.020.B.5. The variances requested are the minimum variances which will alleviate the hardship.

VIII. RECOMMENDATION:

Based upon the application materials received by the City, the facts, findings and conclusions of this report, and without the benefit of a public hearing, staff recommends that the Planning Commission APPROVE DR 09-02 and the two concurrent Variance requests, with the following conditions:

1. Approval of this application is based on submitted application materials (a reduced copy of which are attached to the Feb. 01, 2010 staff report as Exhibit E) and other relevant application materials and submitted testimony. Approval is strictly limited to the submitted proposal and is not extended to any other development of the property. Any modification of development plans not in conformance with the approval of application file no. DR 09-02, including all conditions of approval, shall first require an approved modification in conformance with the relevant sections of the Canby Municipal Code.
2. At the time of building permit application, the applicant shall submit a full size set of all development plans (including site plan, landscape plan, elevations, etc.) that is consistent with the development approved herein, including all conditions of approval and revisions required to meet conditions, to the satisfaction of the City's Planning & Building Department and Public Works Department. All conditions of approval must be met prior to final occupancy of the building unless otherwise noted.
3. Prior to the issuance of a building permit, installation of public utilities, or any other site work other than rough site grading, construction plans must be approved and signed by the appropriate City Departments and by all other utility/service providers. The design, location, and planned installation of all roadway improvements and utilities including but not limited to water, electric, sanitary sewer, natural gas, telephone, storm water, cable television, and emergency service provision is subject to approval by the appropriate utility/service provider. The City of Canby's preconstruction process procedures shall be followed by the applicant.
4. Prior to issuance of building permit, property owner shall record a replat to complete the Lot Line Adjustment approved by the City of Canby (file no. LLA-09-01). Following recordation, the property owner shall submit a copy of the replat to the Canby Planning Department.
5. A reduced Right-of-Way width is permitted for S. Walnut Street, as detailed in Figure 2 of Exhibit G to the February 01, 2010 staff report. As a result, the way in which street yard setbacks are measured shall be modified for this site as follows: (A) street yard setback for the 14,458 square foot building approved as part of DR-09-02 shall be measured from the ROW line; (B) street yard setback for all other structures or buildings which may be approved for this site in the future shall be measured from the outside edge of the public sidewalk (the sidewalk edge that is furthest from the centerline of the ROW).
6. Property owner shall dedicate right-of-way equal to 20 feet from centerline of S. Walnut Street, and a 16-foot-wide sidewalk, storm drainage and public utility easement parallel to and

abutting the new S. Walnut Street alignment.

7. The existing right-of-way and public utility easement dedicated along the S. Walnut Street frontage of this property, as part of the “Struble Estates” plat, Clackamas County Subdivision Plat Book 139, page 008, no. 4236, shall be modified to be comparable with the new Walnut Street alignment. Such modification shall be to the satisfaction of the City Engineer.
8. Property owner shall complete all required public street improvements along the entire frontage of the project site, to the satisfaction of the City Engineer and Public Works Director, including installing a 6-foot-wide concrete public sidewalk, a 5-foot-wide planter strip with street trees, and commercial driveways at approved locations, to City standards. Sidewalks shall be located 5.5 feet from the face of the curb line or 21.5 feet from the centerline of the new S. Walnut Street right-of-way. Street trees shall be approved by the Public Works Director prior to planting.
9. The access driveways onto S. Walnut Street shall be commercial-type with large radius curb returns to account for truck traffic. Public sidewalks shall extend across the driveways.
10. Applicant shall have commercial driveway plans approved by the Public Works Director/City Engineer prior to constructing the proposed driveways. All driveway construction shall be inspected and approved by Public Works Department prior to final occupancy permit.
11. Vehicular access to the westerly undeveloped portion of lot 5 of “Struble Estates” plat shall be through the two driveways approved as part of this development (DR-09-02), until such time that any additional or alternative vehicle access locations may be approved by the City.
12. ‘Truck Entrance’ signage over 30-inches in height shall not be installed inside the 15-foot vision clearance triangles required at the corners of the driveways.
13. One monument sign is approved, to be located in the approximate location indicated on sheet C111 of Exhibit E to the February 1, 2010 staff report, provided that the sign meets all applicable sign standards, setbacks, and vision clearance standards. The property owner shall obtain a sign building permit from the City prior to construction. Any application for additional signage shall be reviewed administratively through the normal sign application process, rather than as a Site and Design Review Modification application.
14. At the time of building permit application, a revised landscaping plan shall be submitted to the City with the follow revision: the 3 red alder trees located inside the convergence of the sight distance lines near the curvature of the roadway, as illustrated in Figure A-2 of Exhibit H to the February 1, 2010 staff report, shall be removed and replaced by a plant material that will not grow higher than 42 inches. No plant materials or other features shall be allowed on the site within the area of sight line convergence that exceed 42 inches in height.
15. All required landscaping shall be installed prior to final occupancy permit.
16. Permanent automatic irrigation for approximately 21,500 square feet of drought tolerant turf area is not required, provided that the applicant provides a temporary irrigation system to water the turf area for a minimum of one year from the date of planting, or until the turf is established, whichever is longer. After the temporary irrigation system is removed, permanent automatic irrigation shall not be required for the turf area so long as it is maintained in a green thriving condition during the majority of each year (although some browning during the peak of summer is allowed). If the lawn cannot be maintained in a

green thriving condition during the majority of each year, upon notice by the City, the applicant shall be required to install permanent automatic irrigation to fix and maintain the lawn area.

17. The Planning Commission finds that, for the proposed 14,458 square foot commercial building, containing a 13,442 sq.ft. warehouse/distribution company and a 1,016 sq.ft. accessory coffee shop, 26 vehicle parking spaces and 2 bicycle parking spaces are sufficient to carry out the objective of the Off-Street Parking and Loading Chapter, and hereby grants a parking exception. This parking exception shall remain in effect until a change in the use of this site, or development of additional square footage on this site, triggers a requirement to re-evaluate parking.
18. Water and sanitary sewer services to this development shall be provided by the City “South Walnut Street LID” project at locations provided by the developer’s design engineer on January 21, 2010.
19. Tenant or Applicant shall complete a Non-Residential Wastewater Survey for review by the Public Works Department prior to final occupancy.
20. Storm drainage runoff shall be disposed on-site and will not be allowed to discharge into the public system.
21. Loading dock drain routed to sanitary must be covered and sloped to prevent rainwater from entering the catch basin prior to final occupancy.
22. Loading dock drains, if exposed to rainfall, must be routed to the onsite stormwater collection and disposal system.
23. Trash enclosures and/or dumpsters shall not have drains located directly beneath them.
24. If process water is generated on site, the Public Works Director shall determine whether pretreatment is required prior to discharge to the sanitary sewer, including but not limited to a sampling manhole, flow monitoring device, and automatic sampler.
25. The applicant shall install a sewer cleanout at the back of the sidewalk prior to entering the public right-of-way. Applicant shall contact the City Engineer to coordinate the location of the sewer lateral.
26. Applicant shall provide the Public Works Director written documentation from Oregon DEQ as to whether a stormwater 1200-C NPDES permit is required or not. A copy of the 1200-C NPDES application and permit, including the erosion sediment control plan shall be submitted to Public Works Department for review.
27. All Canby Erosion and Sediment Control permits must be obtained from Public Works Department prior to disturbing soil at the site.
28. Prior to issuance of building permits, applicant shall meet all fire & life safety requirements of Canby Fire.

Exhibits:

- A. Vicinity Map

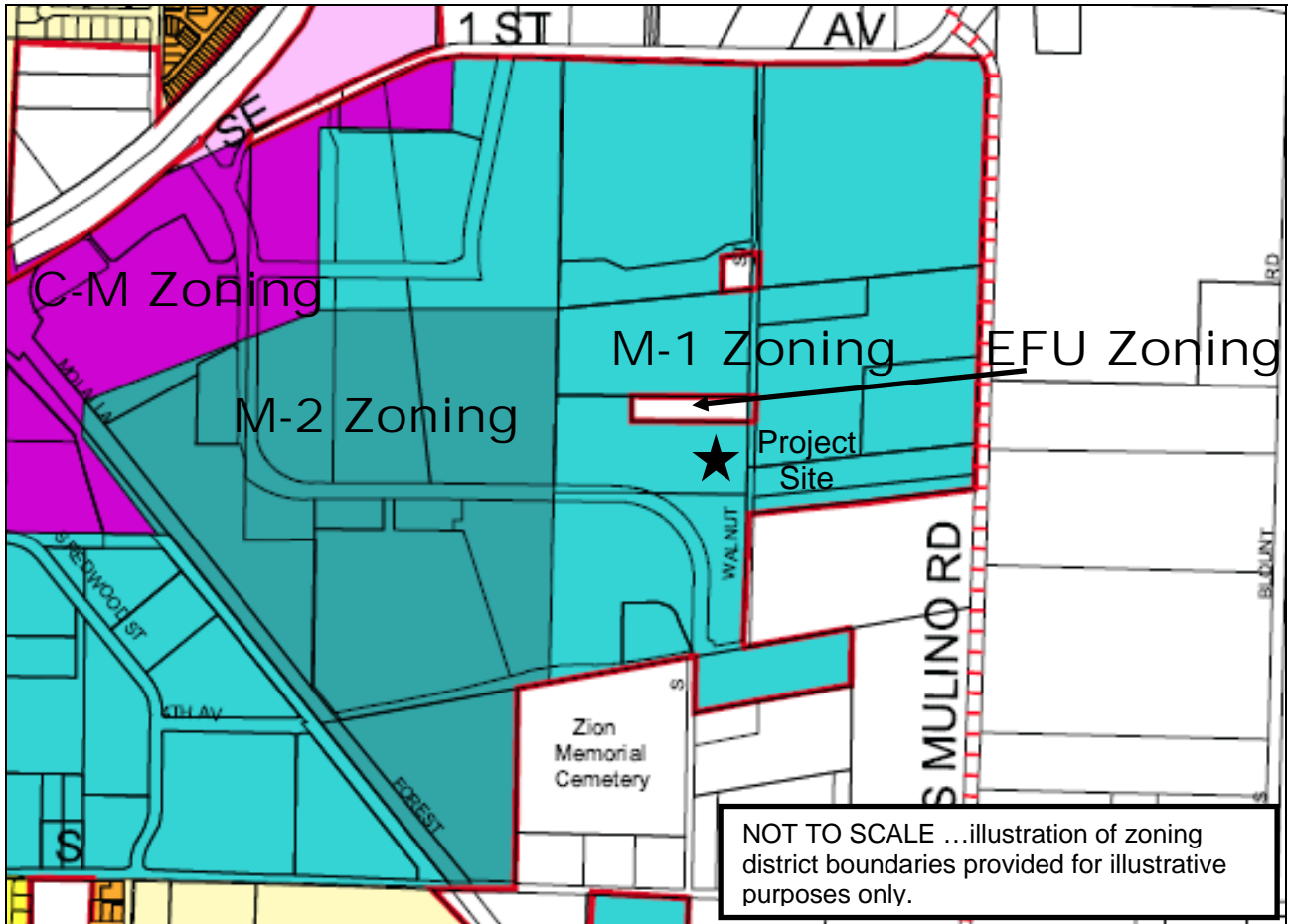
- B. Zoning
- C. Legal Lots of Record
- D. Site Photos
- E. Applicant's Plans
- F. Request for Variance From Irrigation Standard
- G. Request for Variance From Street Construction Standard
- H. Transportation Analysis
- I. Service Provider Comments

VICINITY MAP

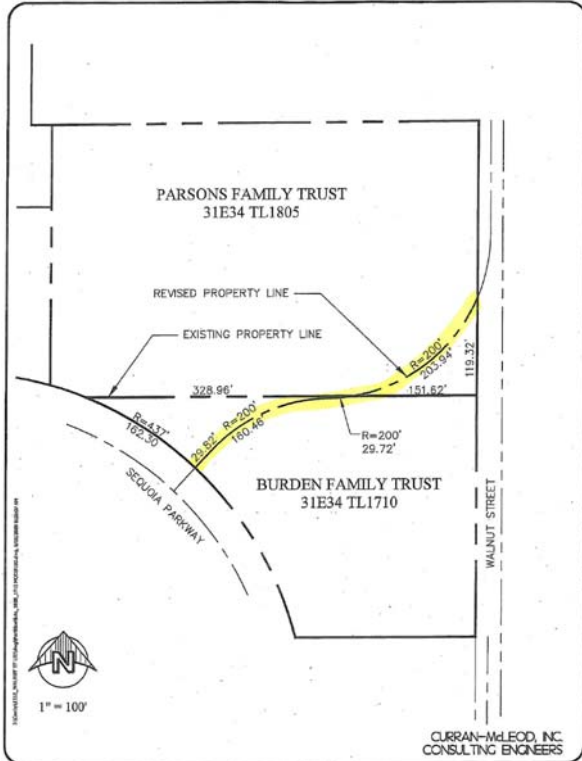


Location: 300 Block of S. Walnut Street, approximately one-tenth of a mile north of S.E. 4th Avenue

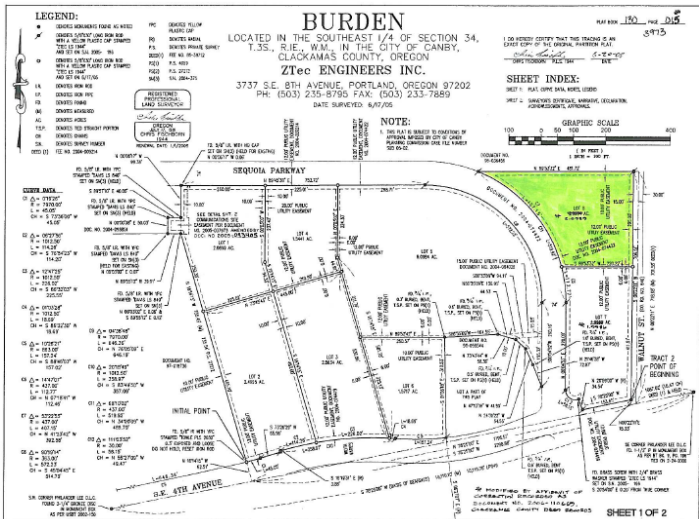
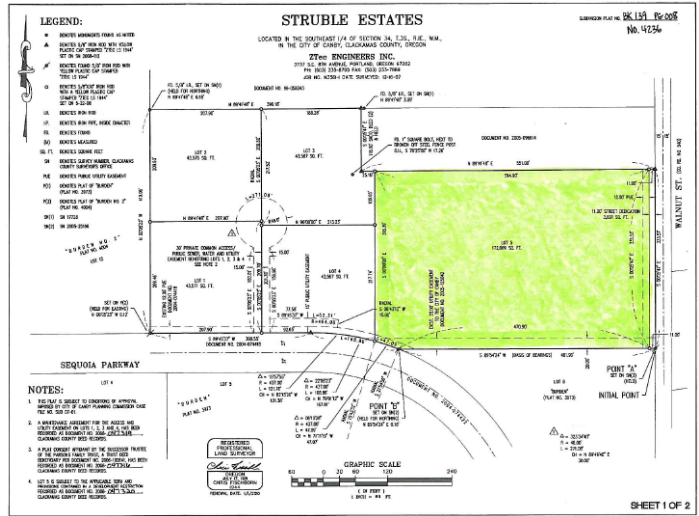
ZONING



LEGAL LOTS OF RECORD



LLA 09-01 (Canby approved a replat of this lot line in June 2009, but it's not yet recorded)



The 2 plats above show the existing lot line configuration.

SITE PHOTOS

The following photographs were taken by City Staff on January 18, 2010



① Looking west across project site (view from S. Walnut Street).



② Looking north across project site (view from S. Sequoia Pkwy).



③ Photo of existing single-family dwelling located on abutting property to the north – this abutting property is zoned Clackamas County Exclusive Farm Use (EFU), which is not a “residential” zoning district, but rather a “natural resource” zoning district.



④ Aerial view of project site.

APPLICANT'S PLANS

Applicant's plans are inserted into the following 14 pages.

SITE AND DESIGN REVIEW APPLICATION: LANDSCAPING CALCULATIONS

Site Areas

1. Building area	12,384 SF	☞ Square footage of building footprint
2. Parking/hardscape	33,820 SF	☞ Square footage of all sidewalks, parking, & maneuvering areas
3. Landscaped area	40,883 SF	☞ Square footage of all landscaped area
4. Total developed area	87,087 SF	☞ Add lines 1, 2 and 3
5. Undeveloped area	82,915 SF	☞ Square footage of any part of the site to be left undeveloped.
6. Total site area	170,002 SF	☞ Total square footage of site
<p><i>(west half of lot is not part of this project site)</i> <i>87,087 s.f.</i></p>		

Required Site Landscaping (Code 16.49.080)

7. Zone	M1	☞ Fill in the Appropriate Zone and Percentages: R-1, R-1.5, R-2 Zones: 30% C-2, C-M, C-R, M-1, M-2 Zones: 15% C-1 Zone: 7.5%
8. Percent of required landscaping	15%	
9. Total developed area	87,087 SF	☞ Fill in value from line 4
10. Required square footage of landscaping	13,063 SF	☞ Multiply developed area by % of required landscaping
11. Proposed square footage of landscaping	40,883 SF	☞ Fill in value from line 3

Required Landscaping within a Parking Lot (Code 16.49.120(4))

Note: this section and the next apply only to projects with more than 10 parking spaces or 3,500 square feet of parking area

12. Zone	M1	☞ Fill in the Appropriate Zone and Percentages: R-1, R-1.5, R-2, C-2, C-M, C-R, M-1, M-2 Zones: 15% C-1 Zone: 5%
13. Percent of required landscaping	15%	
14. Area of parking lot & hardscape	11,969 SF	☞ Fill in area of parking and maneuvering areas plus all paved surface within ten (10) feet of those areas.
15. Required square footage of landscaping within 10 feet of parking lot	1,795 SF	☞ Multiply area of parking lot (line 14) by percent of required landscaping (line 13)
16. Proposed square footage of Landscaping within 10 feet of parking lot	3,567 SF	☞ Calculate the amount of landscaping proposed within 10 feet of all parking and maneuvering areas.

SITE AND DESIGN REVIEW APPLICATION: LANDSCAPING CALCULATIONS

17. Number of parking spaces	26	☞ Total number of parking spaces
18. Area of parking lot & hardscape	11,969 SF	☞ Area from line 14
19. Number of parking spaces (line 17) divided by 8	4	☞ Round up to the nearest whole number
20. Area of parking lot (line 18) divided by 2,800	5	☞ Round up to the nearest whole number
21. Number of required trees in parking lot	5	☞ Take the larger of the previous two rows
22. Number of trees provided within 10 feet of parking lot	23	☞ Count the number of proposed trees within 10 feet of parking and maneuvering areas.

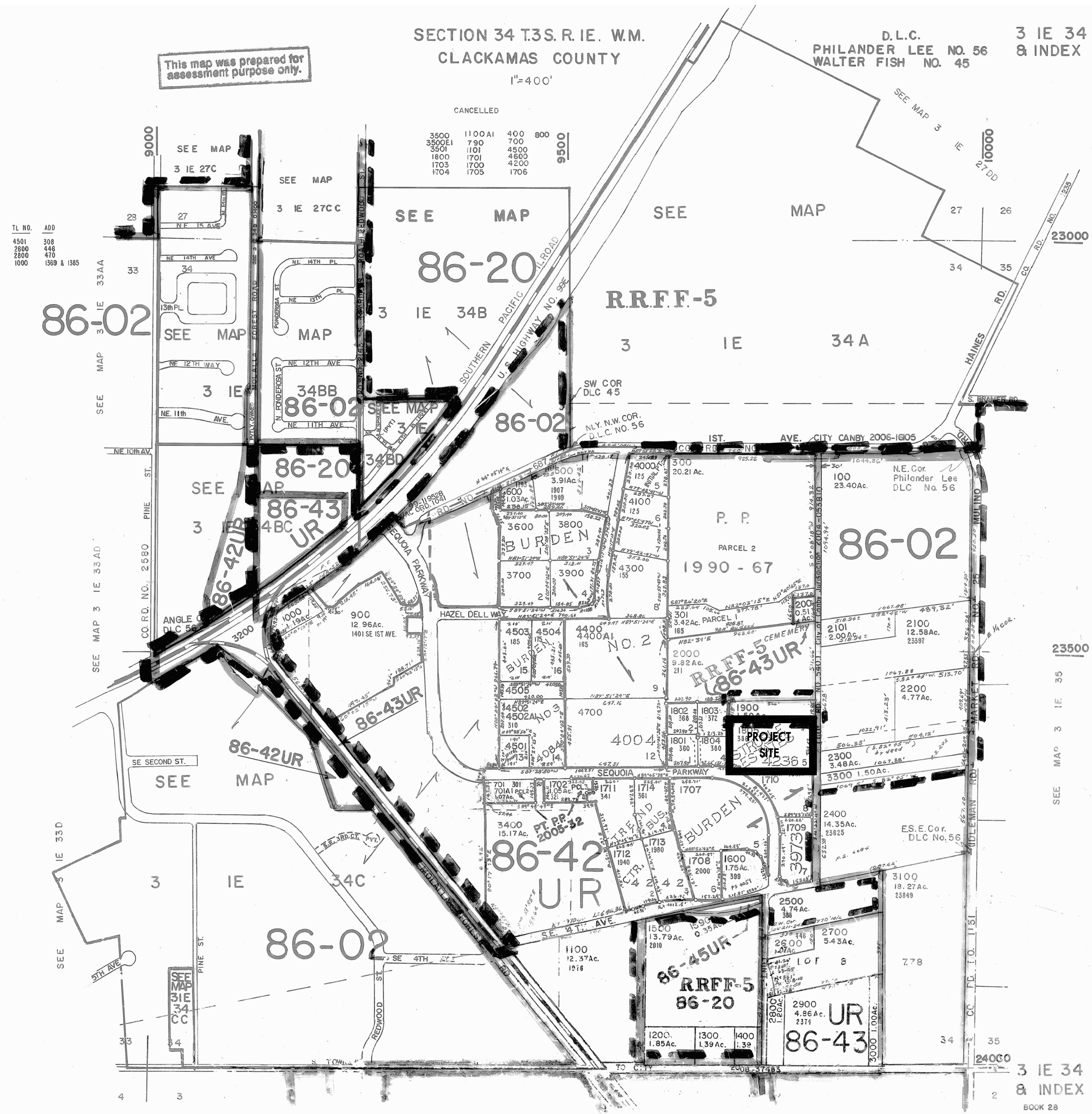
DRAGONBERRY

PRODUCE DISTRIBUTION CENTER

deca
ARCHITECTURE INC

935 SE Alder Street, Portland Oregon 97214
tel 503 239 1987 fax 503 239 6558

d



SITE & ZONING INFORMATION

LEGAL DESCRIPTION: SECTION 34 TOWNSHIP 3S RANGE 1E TAX LOT 01805
 MAP NUMBER: 31E34 01805
 PARCEL NUMBER: 05021435
 PROPERTY SIZE: 170,002 SQUARE FT (3.9 ACRES)
 DEVELOPED PROP. SIZE: 87,087 SQUARE FT (2 ACRES)
 BUILDING FOOTPRINT: 12,384 G.S.F.
 AREA BY OCCUPANCY:
 WAREHOUSE 8772 G.S.F.
 OFFICE 4,660 G.S.F.
 RETAIL 1,016 G.S.F.
 ZONE: M1-LIGHT INDUSTRIAL
 OVERLAY: INDUSTRIAL OVERLAY ZONE
 HISTORIC DISTRICT: N/A
 SLOPES AND FLOODING: N/A
 AREAS OF SPECIAL CONCERN: N/A
 SIGNIFICANT WETLANDS: N/A
 SETBACKS: STREET YARDS(S): 35 FEET FOR BUILDINGS BETWEEN 25 FEET AND 45 FEET IN HEIGHT.

MIN. LOT WIDTH AND FRONTAGE: NONE
 BUILDING HEIGHT: ALLOWED 45 FEET (PROPOSED: 26 FEET)
 MAX. LOT COVERAGE: NO LIMIT
 MIN. LOT AREA: NONE
 MIN. YARD REQUIREMENTS: 20 FEET WHERE ABUTTING A RESIDENTIAL ZONE
 MIN. INTERIOR PARKING LOT LANDSCAPING: 15%
 AUTO PARKING: MINIMUM: 3.5 SPACES PER 1,000 GROSS SQUARE FEET OF OFFICE SPACE, PLUS 1.50 SPACES PER 1,000 GROSS SQUARE FEET OF NON-OFFICE WHOLESALE SPACE MINIMUM OF 5 PARKING SPACES OVERALL

WAREHOUSE - $8,635/1000=8.635$ = 08.6 SPACES
 OFFICE - $4,220/1,000=4.22$ = 14.7 SPACES
 RETAIL - $965/1,000=0.965$ = 01.8 SPACES
 TOTAL REQUIRED: 25.1 SPACES
 PROPOSED: 26 SPACES

ADA PARKING: REQUIRED: 2 PROPOSED: 2 (INCL. 1 ADA VAN SPACE)
 LOADING: REQUIRED: 1 PROPOSED: 5
 BICYCLE PARKING: WAREHOUSE - $8,635/1000=8.635$ = 0.86 SPACES (2 MIN)
 OFFICE - $4,220/1,000=4.22$ = 4.2 SPACES
 RETAIL - $965/1,000=0.965$ = 0.29 SPACES (2 MIN)
 TOTAL REQUIRED: 5.35 SPACES
 PROPOSED: 6 SPACES

PROJECT TEAM

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 Amy Nguyen / amy@dragonberryproduce.com

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 Erin Leitch / erin.leitch@brightworks.net

GENERAL CONTRACTOR
 TBD

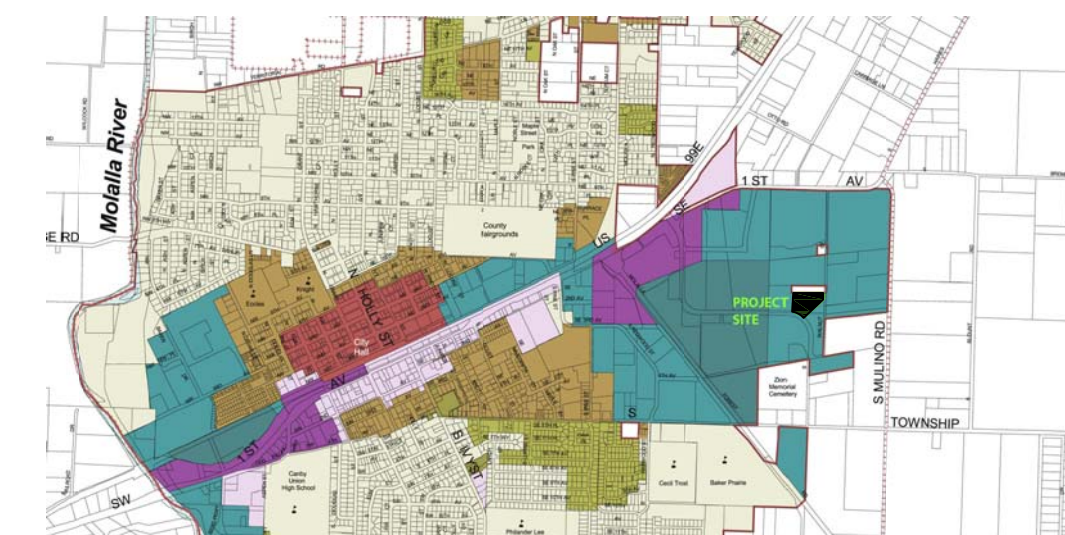
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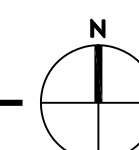
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Issue	Revision	Date
SITE & DESIGN		JULY 31, 2009
REVIEW		

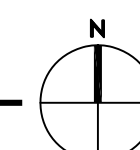
VICINITY MAP
ZONING INFO
PROJECT TEAM



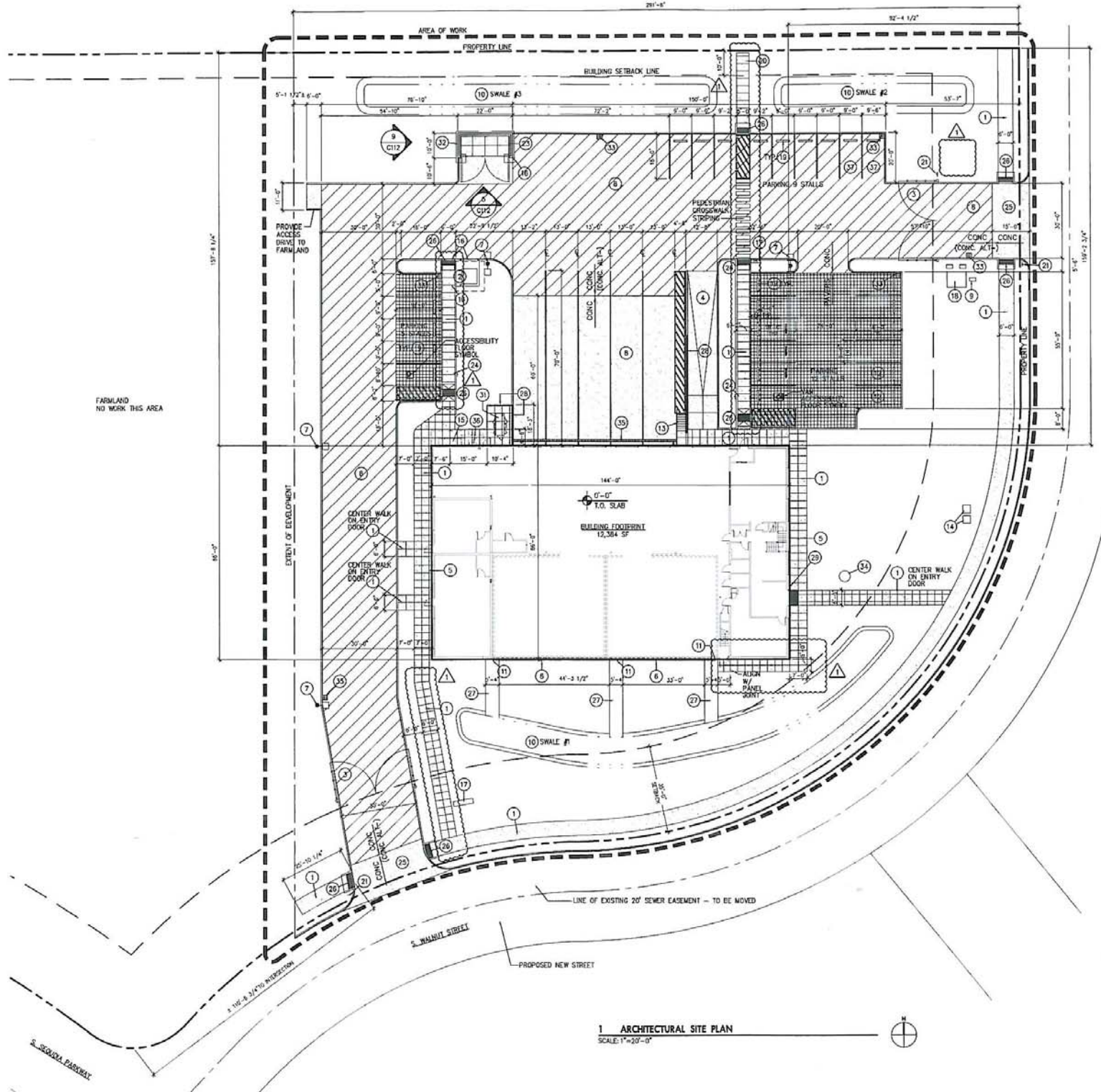
TAX MAP
 SCALE: 1"=400'



VICINITY MAP
 SCALE: NTS



Scale AS NOTED
 Date JULY 31, 2009
 Sheet No. **G1**



- SITE PLAN KEY NOTES**
- 1 CONCRETE WALK
 - 2 PAD MOUNTED TRANSFORMER, SEE ELEC. DWGS.
 - 3 METAL BAR GATE W/ PADLOCK, SEE CIVIL DWGS., PROVIDE KNOX BOX FOR CANBY FIRE DISTRICT AT EACH GATE
 - 4 LIGHT TRUCK RAMP
 - 5 BIKE PARKING, CENTER ON TILT-UP WALL
 - 6 GREEN SCREEN AT BUILDING FACADE
 - 7 POLE LIGHT, SEE ELEC. DWGS.
 - 8 CONCRETE PAVING
 - 9 WATER VAULT, SEE CIVIL DWGS.
 - 10 SWALE, SEE CIVIL AND LANDSCAPE DWGS.
 - 11 PROVIDE 90 DEGREE ELBOW AT OUTLET, 4 INCHES ABOVE SWALE ROOFS
 - 12 ALTERNATE FULL AFFORDANT CAR SPACE
 - 13 CONCRETE STAIR, SEE 7/C112
 - 14 CABLE & TELEPHONE VAULTS, SEE ELEC. DWGS.
 - 15 ELECTRICAL EQUIPMENT, SEE ELEC. DWGS.
 - 16 BOLLARD
 - 17 MONUMENT SIGN, SEE ELEC. DWGS.
 - 18 FIRE VAULT, SEE CIVIL DWGS.
 - 19 WHEEL STOP
 - 20 CONCRETE SIDEWALK, EXTEND TO PROPERTY LINE
 - 21 OFF "TRUCK ENTRANCE" SIGNAGE
 - 22 STOP SIGN
 - 23 PAINTED CMU TRASH ENCLOSURE W/ CONC. PROTECTION CURB, SLOPE CONCRETE SLAB TO PAVING, SEE SHEET C112
 - 24 ACCESSIBLE PARKING SIGN
 - 25 CONCRETE APRON
 - 26 ADA TACTILE WARNING (MAX SLOPE 1:20)
 - 27 ROCK LINED SWALE AT DOWNSPOUT
 - 28 PAINTED TUBE STEEL GUARDRAIL, SEE FINISH SCHEDULE
 - 29 FIRE BUREAU KEY BOX AND CARD READER, (RECESSED)
 - 30 MAIL BOXES (3 BOXES MOUNTED ON SINGLE PEDESTAL)
 - 31 GAS FIRED EMERGENCY GENERATOR
 - 32 IRRIGATION CONTROLLER
 - 33 CATCH BASIN, SEE CIVIL DWGS.
 - 34 SAMPLING MANHOLE
 - 35 TRENCH DRAIN, SEE MECH. DWGS.
 - 36 GAS METER
 - 37 RESERVED FOR CAR OR VAN POOL PARKING

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GENERAL SITE PLAN NOTES

AREA TOTALS:	
PROPOSED BUILDING	12,384 SF
SITE	170,002 SF / 3.9 ACRES
DEVELOPED AREA	87,697 SF / 2.0 ACRES
FARMLAND AREA	82,305 SF / 1.9 ACRES
PARKING/HARDSCAPE	33,820 SF / 0.8 ACRES
LANDSCAPED AREA	46,883 SF / 1.0 ACRES

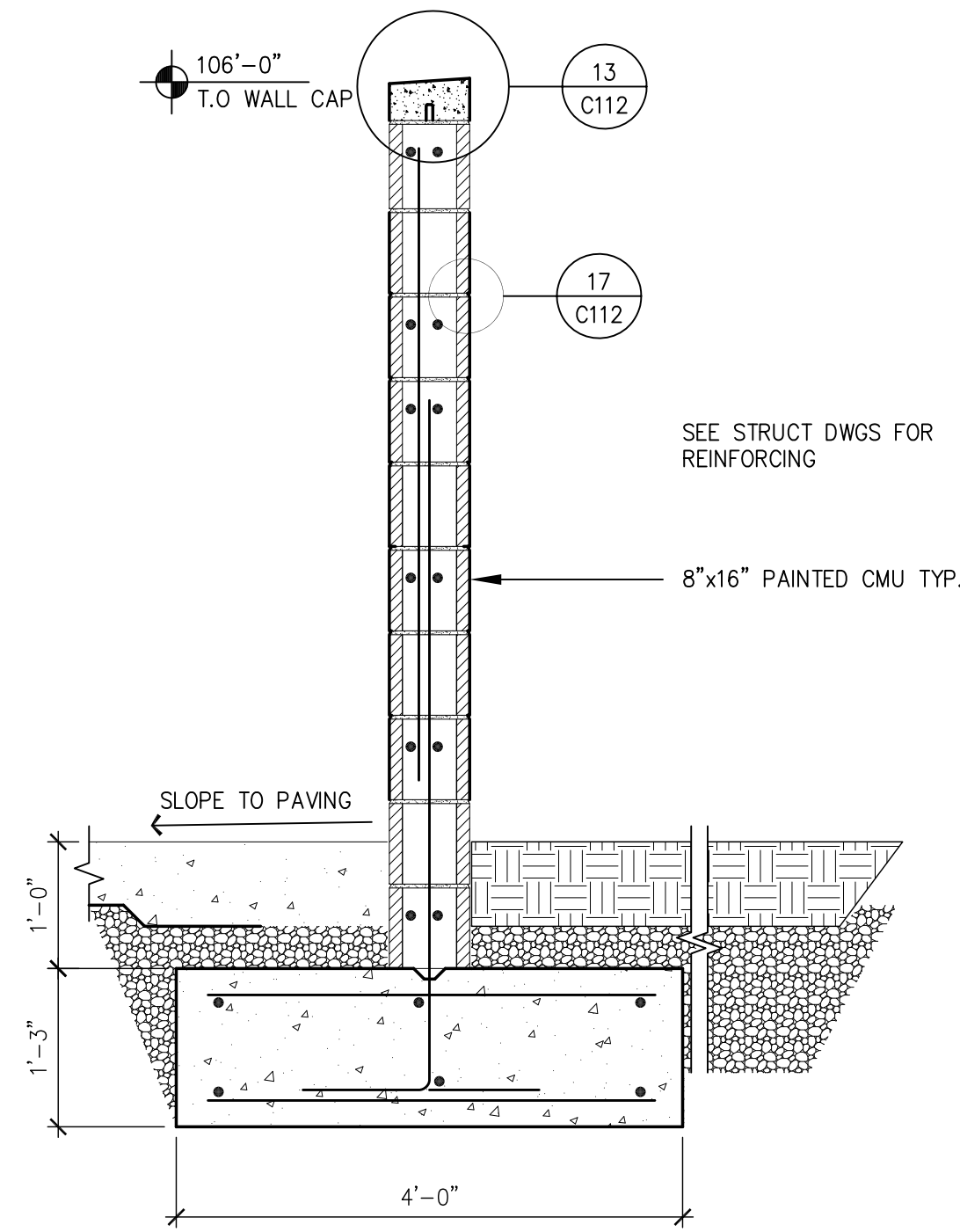
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Issue	Revision	Date
SITE & DESIGN		JULY 31, 2009
REVIEW		DEC 20, 2009

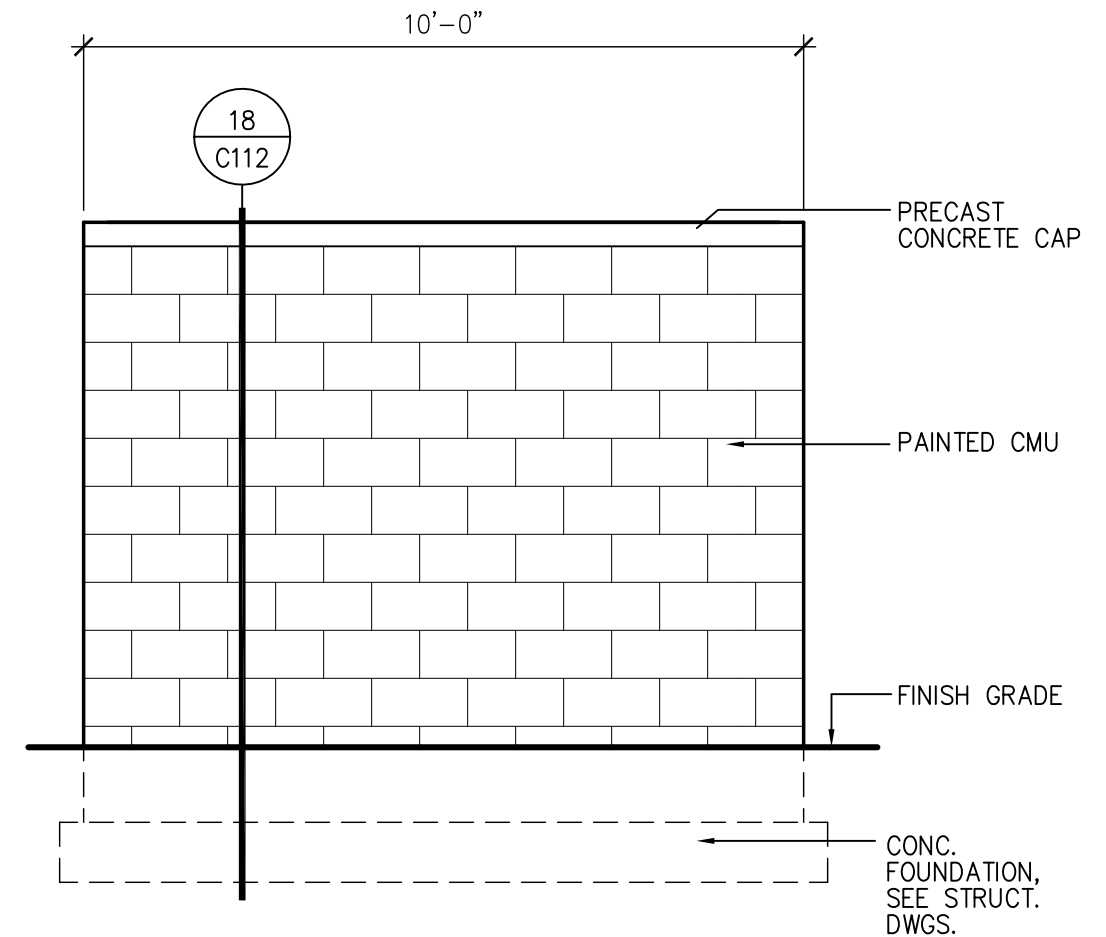
**ARCHITECTURAL
SITE PLAN**

Scale AS NOTED
Date JULY 31, 2009
Sheet No. **C111**

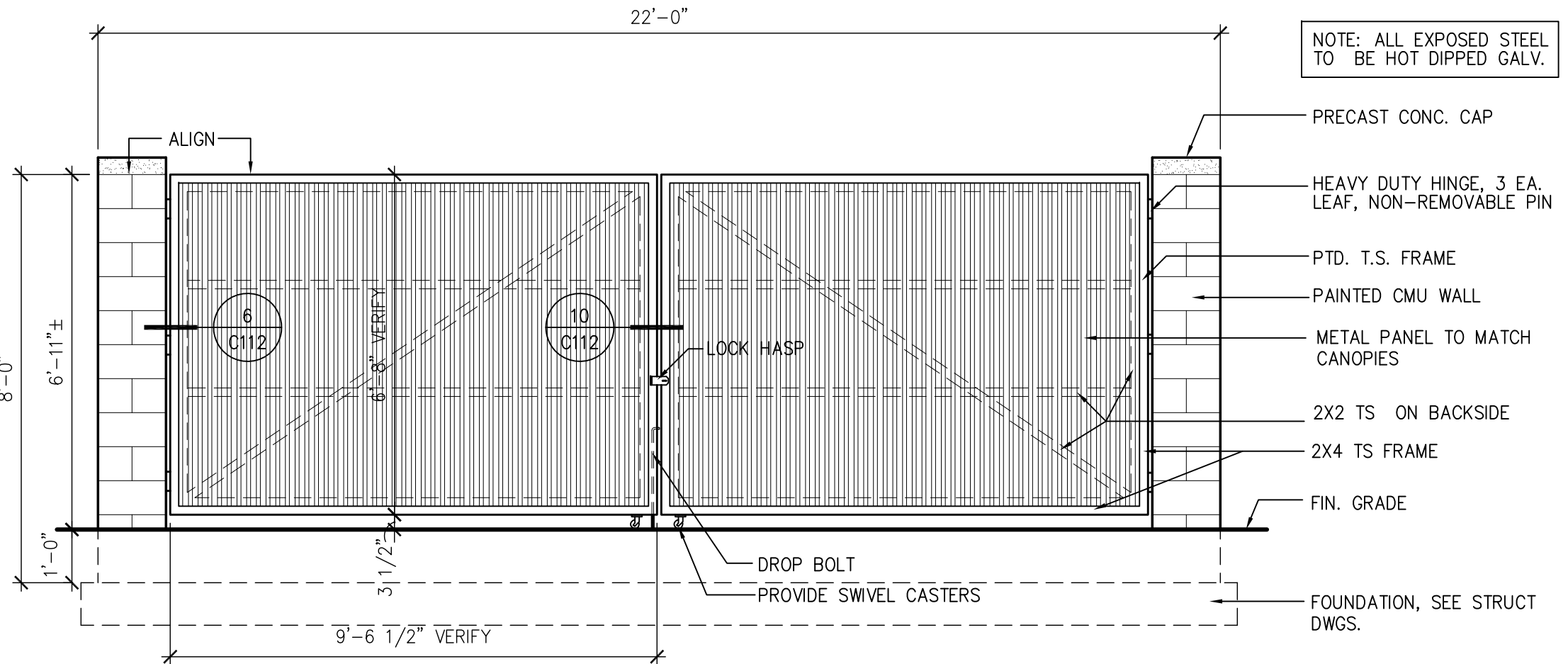




13 WALL CAP - TRASH ENCLOSURE
Scale: 3/4"=1'-0"
drgn_0207

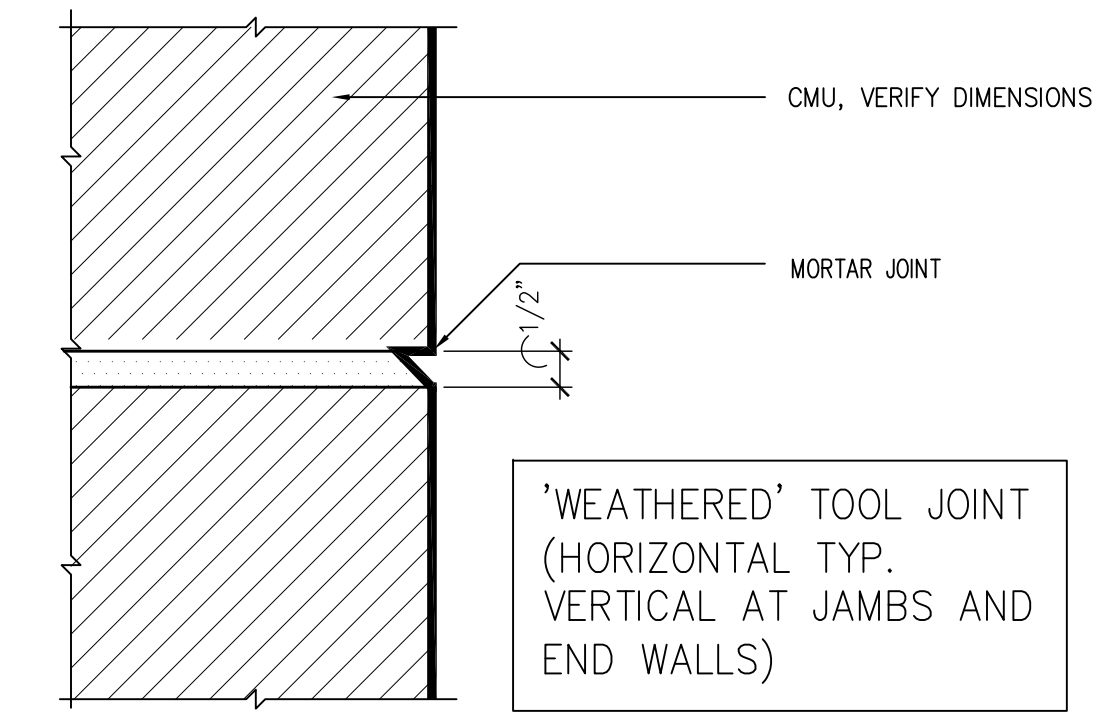


9 SIDE ELEVATION - TRASH ENCLOSURE
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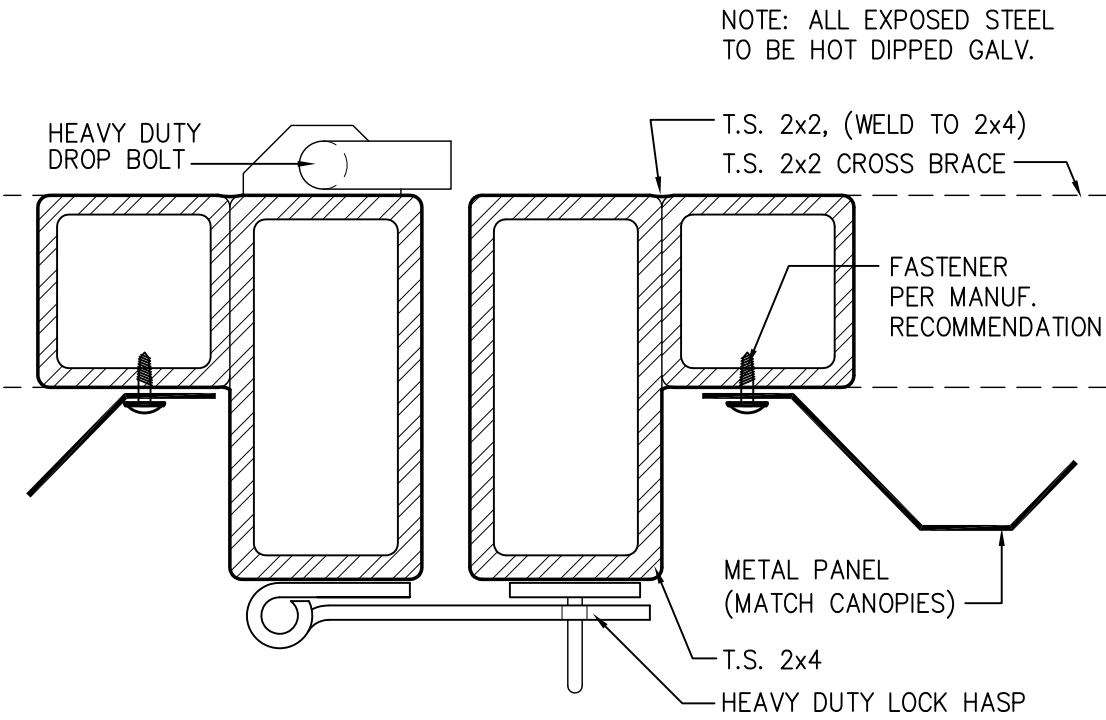


5 FRONT ELEVATION - TRASH ENCLOSURE
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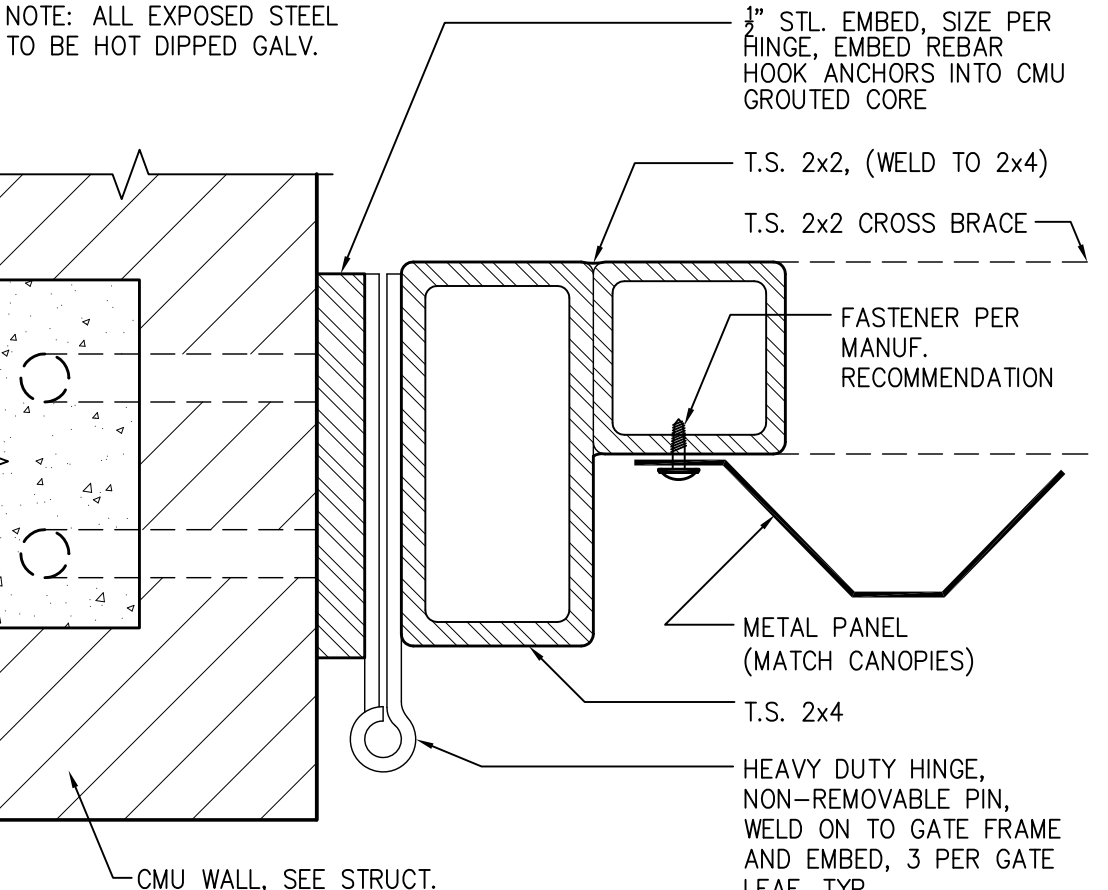
18 TRASH ENCLOSURE SECTION
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drgn_0206



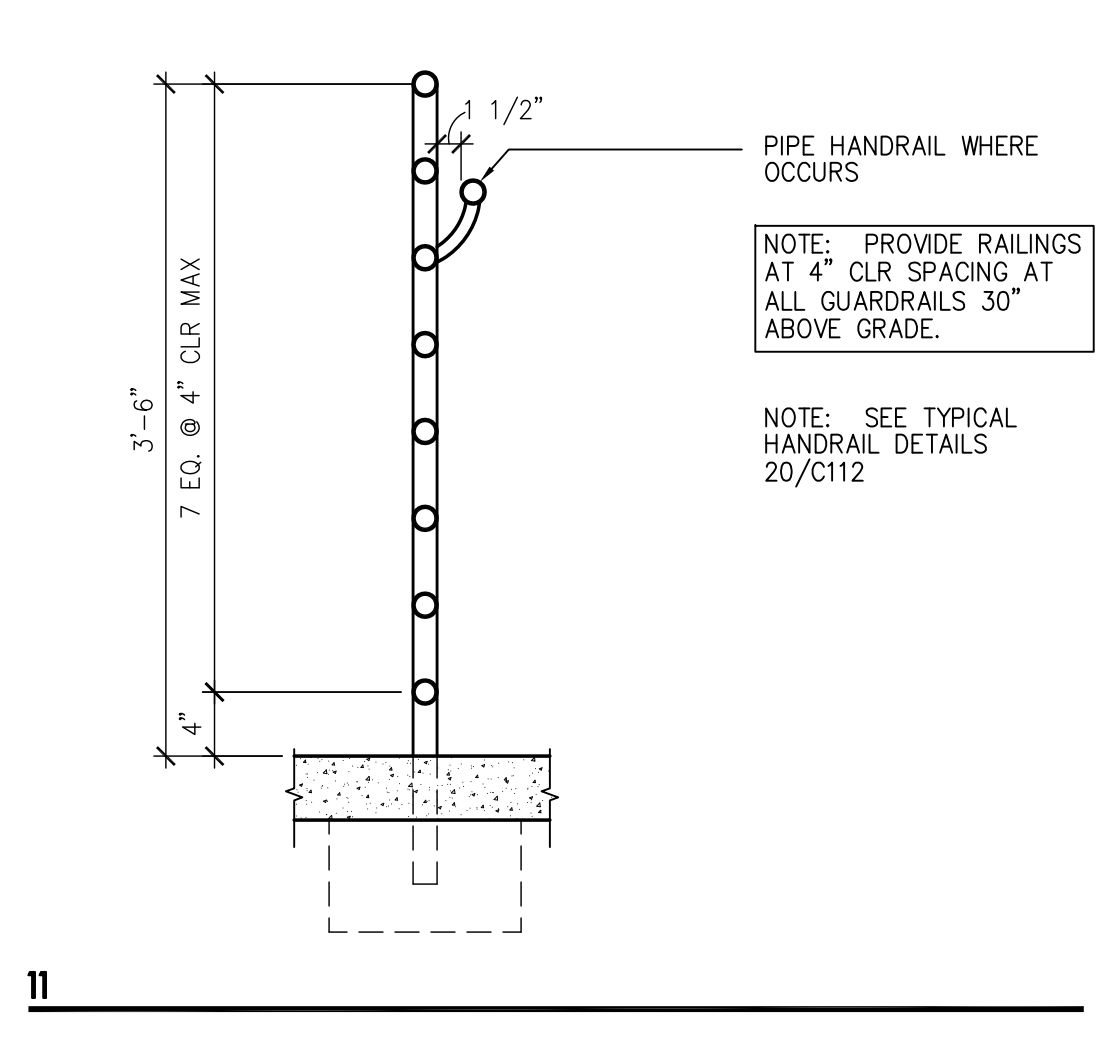
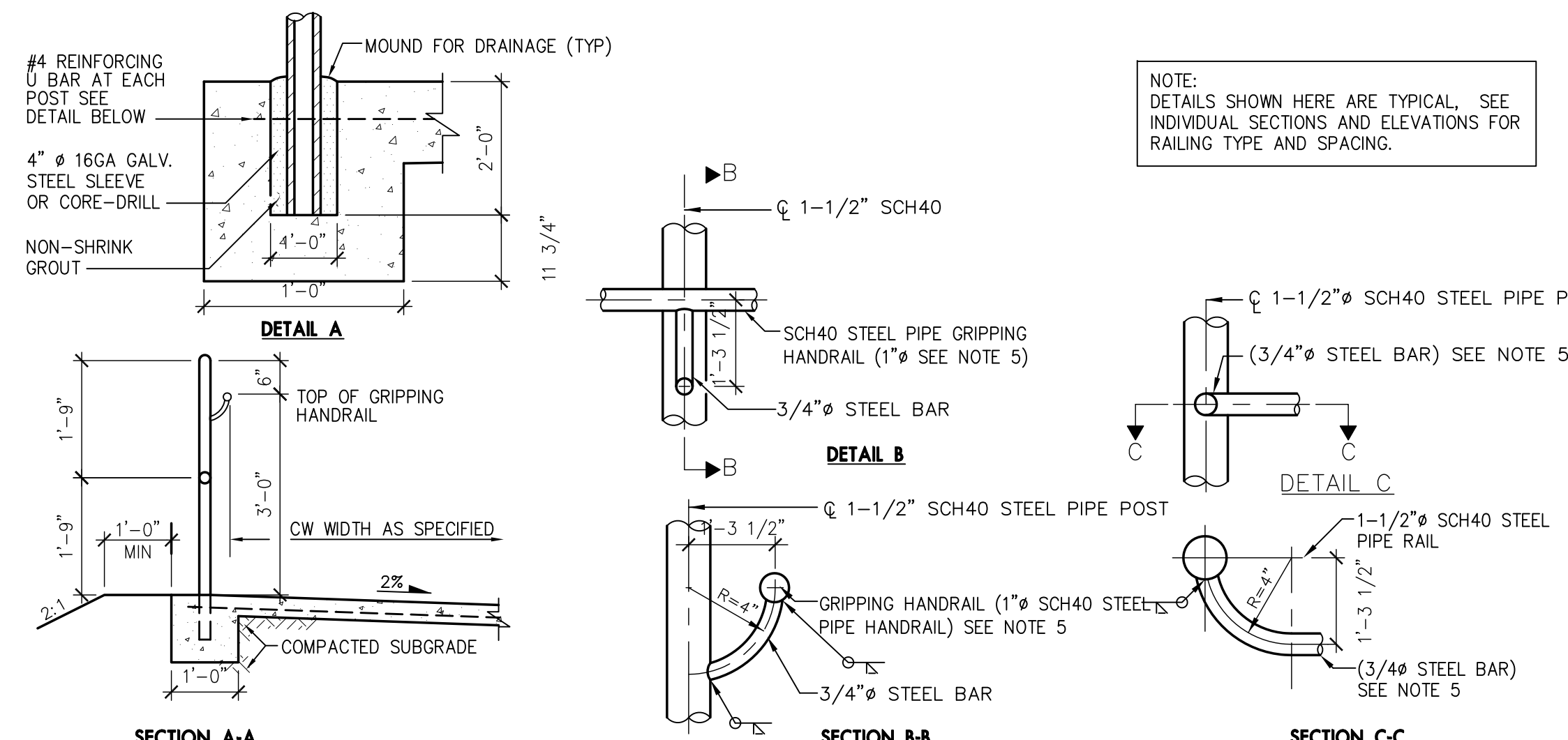
17 HORIZ MORTAR JOINT
Scale: 6"=1'-0"
drgn_0208



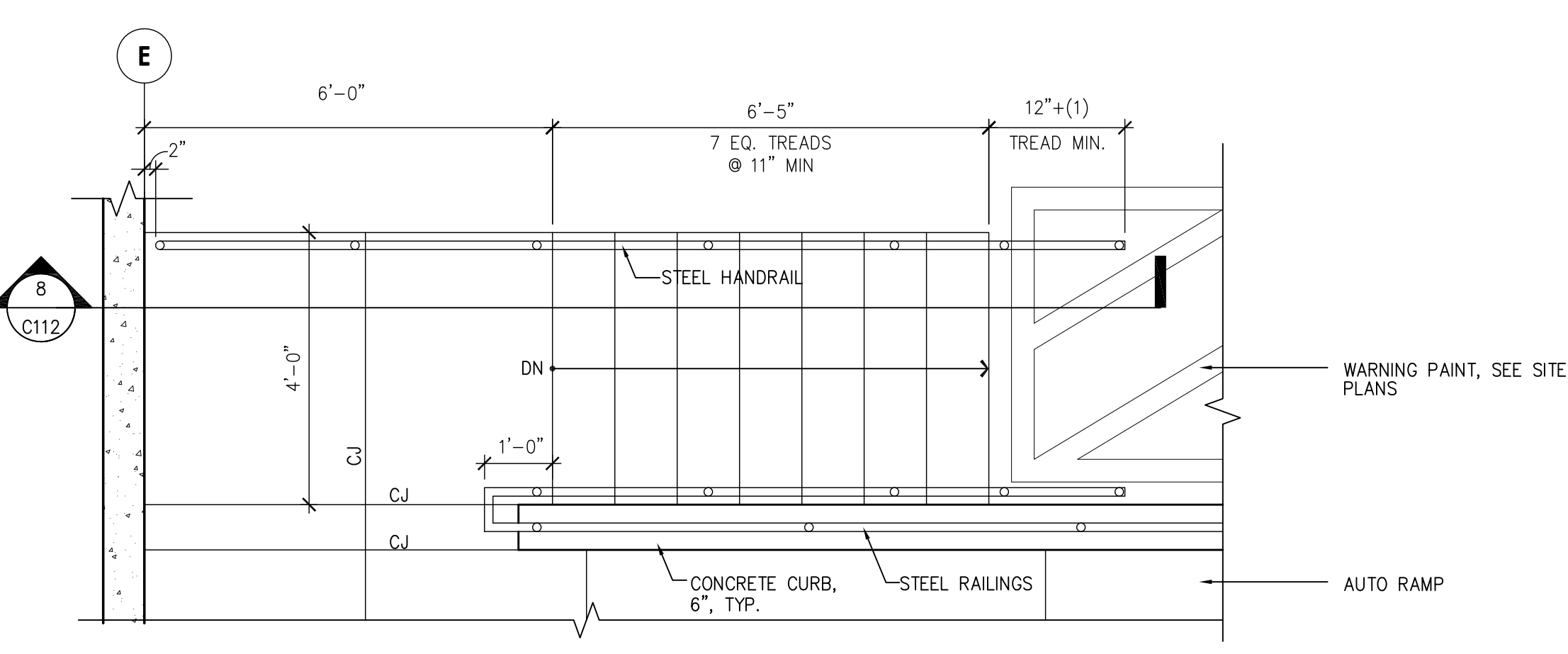
10 GATE JAMB AND LOCK
Scale: 6"=1'-0"
drgn_0209



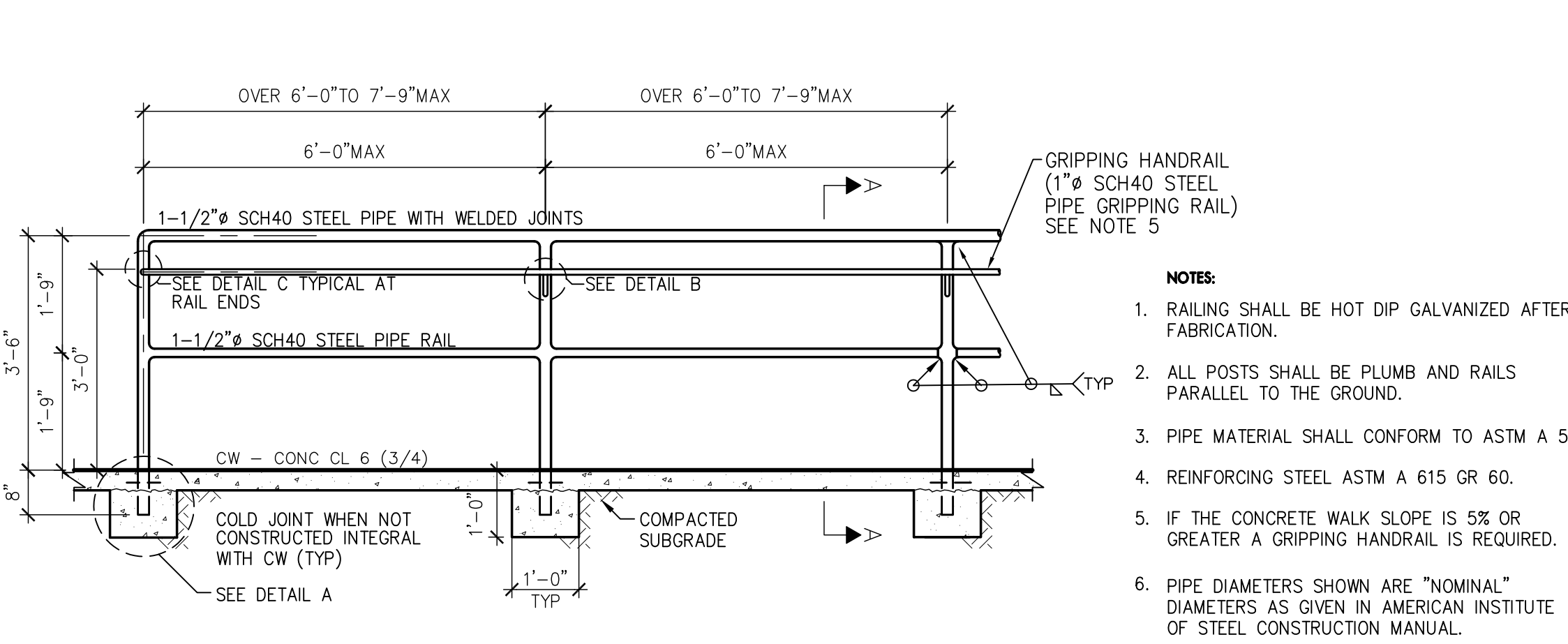
6 GATE HINGE
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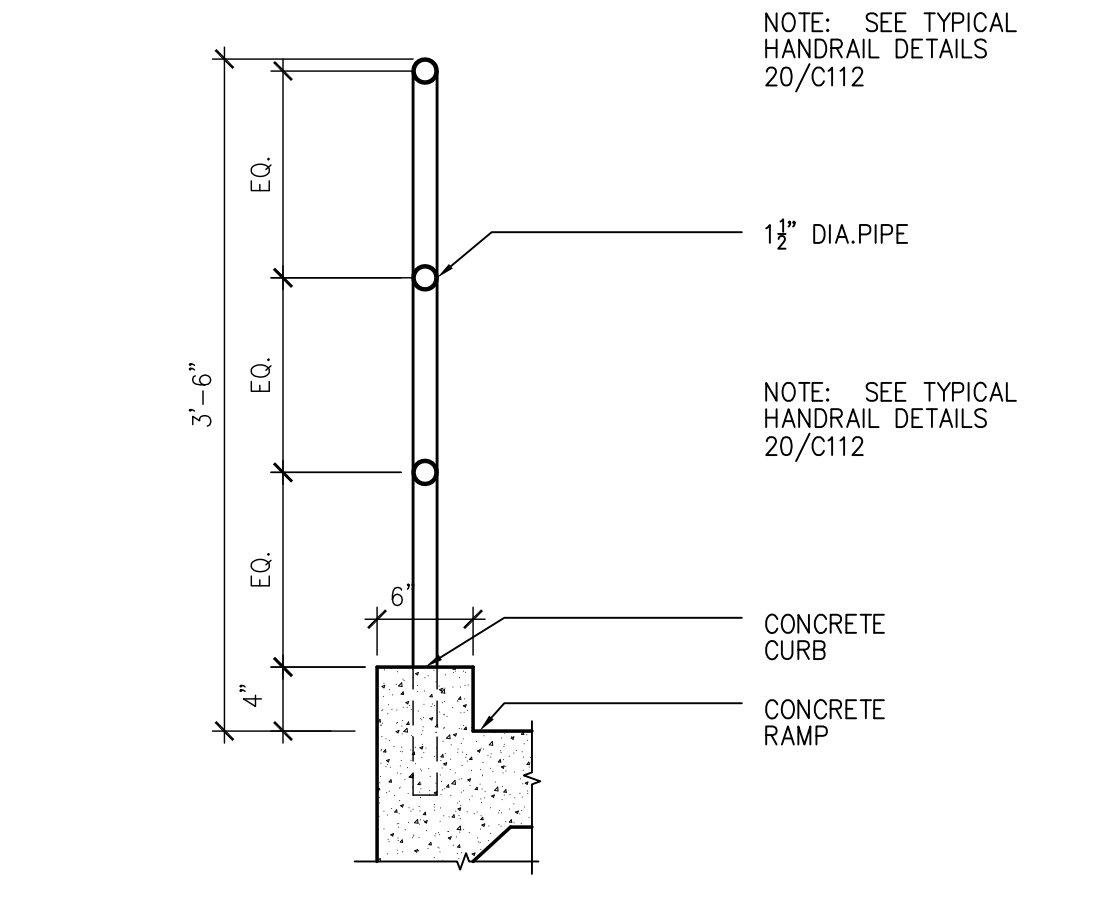
11
Scale: 1/2"=1'-0"



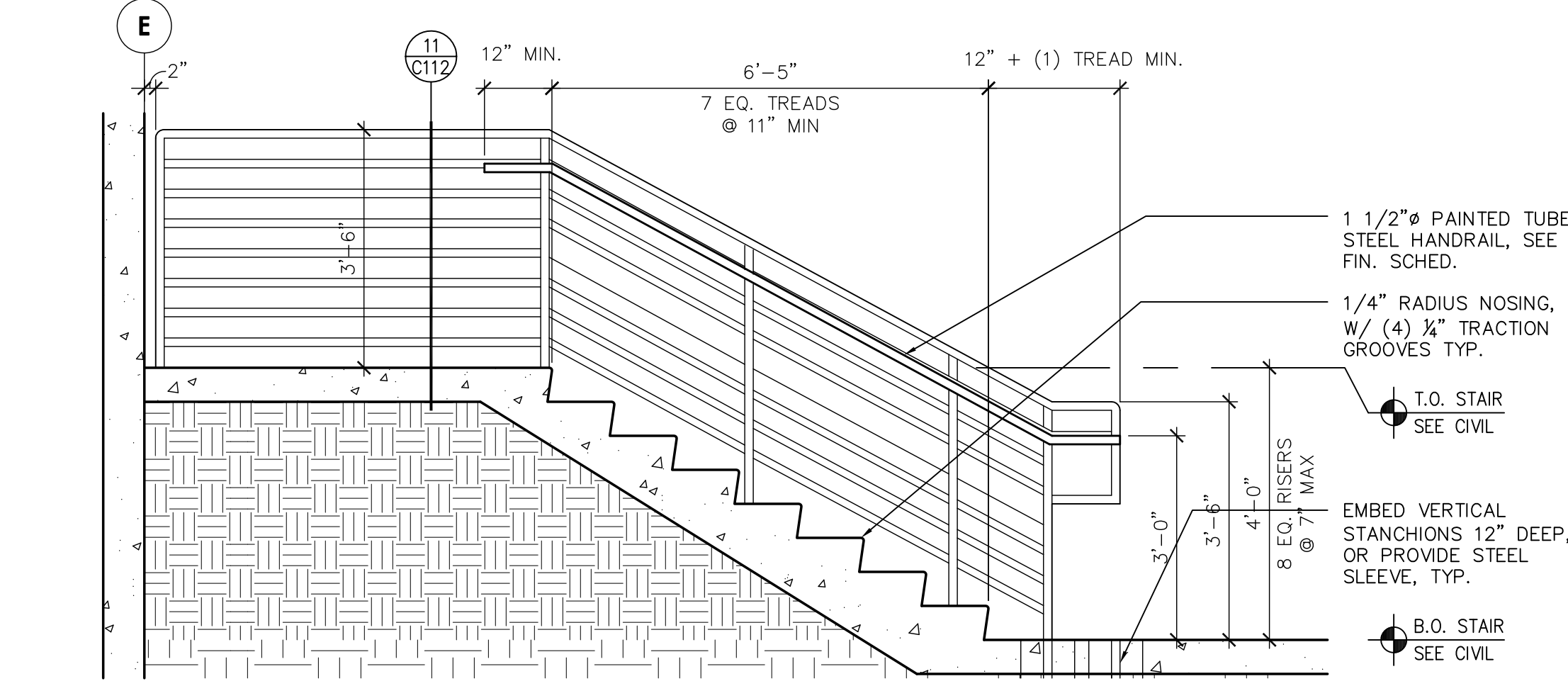
7 ENLARGED PLAN - EXTERIOR STAIRS
Scale: 1/2"=1'-0"
drgn_0204



20



12



8 EXTERIOR STAIRS
Scale: 1/2"=1'-0"
drgn_0202

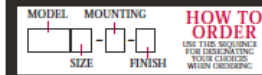
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Issue	Revision	Date
SITE & DESIGN		JULY 31, 2009
REVIEW		

ARCHITECTURAL
SITE DETAILS

Scale AS NOTED
Date JULY 31, 2009

Sheet No. **C112**



U-Rack • Bike Fence • Sidewinder

Inverted "U" racks—Models SU™ and WU™

- Fabricated from 1.5" I.D. (1.9" O.D.) or 2.0" I.D. (2 3/8" O.D.) ASTM A53 Schedule 40 Steel Pipe.
- 1.5" I.D. racks are designated SU 15 and WU 15 and 2.0" I.D. racks are designated SU 20 and WU 20.
- Bicycle makes contact with the rack in two places for additional stability and security.
- Simple, attractive, economical and space saving design is ideal for city sidewalks.
- Optional center cross bars available to make the racks more ADA friendly and to provide greater stability.
- MOUNTING OPTIONS:** (Please see "INSTALLATION SECTION" on page 44 for detailed mounting options): embedded mount (standard) or flanged surface mount (optional). Designate "-E" for embedded racks or "-F" for flanged racks after the model number.
- FINISH OPTIONS:** Hot-dipped galvanized (standard & recommended); polyester powder coated (optional); thermoplastic powder coat (optional); stainless steel with a #4 satin finish (optional). Designate "-G", "-P", "-T", or "-SS" for galvanized, powder coated, thermoplastic coated, or stainless steel finish respectively after the mounting designation.
- OPTIONAL CROSS BAR:** Please designate "-CB" after finish option for optional cross bar.



1.5" I.D. Schedule 40 Steel Pipe			
Model #	Description	Capacity	Length
SU 15	1.5" I.D. Schedule 40 pipe SU rack	2	21"
WU 15	1.5" I.D. Schedule 40 pipe WU rack	2	30"

2.0" Schedule 40 Steel Pipe			
Model #	Description	Capacity	Length
SU 20	2.0" I.D. Schedule 40 pipe SU rack	2	22"
WU 20	2.0" I.D. Schedule 40 pipe WU rack	2	30"

NOTE: Square tubing models shown below.

NOTE: OTHER LENGTHS ALSO AVAILABLE.

NOTE: OTHER LENGTHS ALSO AVAILABLE.



Florence Manufacturing Co.
5935 Corporate Drive
Marshall, KS 66603
800-275-1747

Click here to PRINT this page

MB2000 Residential Mailbox



Mail security isn't just for apartment buildings, it's for every mailbox in America. That's why Florence Manufacturing offers secure mail solutions for every mail application, including single family residential. Florence residential products are weatherproof to protect delivered and outgoing mail from the elements. But unlike other boxes, Florence mail receptacles are fabricated with treated aluminum that resist rust and other signs of weathering to protect your investment as well as your mail. Plus, Florence residential mailboxes are large enough to secure up to two-weeks worth of normal mail delivery.



Standard Features:

- Meets all Y2K USPS standards
- Curbside / Post / Wall installation options
- Accepts parcels up to 10" x 1 3/4" x 12"
- Easy access to mail with secure 5-pin cylinder lock
- RUST-FREE all aluminum construction
- Large storage capacity

Additional Features:

- Install 42-48" from road surface to point of mail entry
- Install 6-8" from front face of curb to mailbox door Note: Users of the MB2000 are required to contact their local post office before installing the mailbox to ensure its correct placement

Color Finishes:

Antique Bronze (Flat) - 8622C	Antique Copper (Flat) - 876C	Black (Pebble) - Black 6C
Dark Bronze (Pebble) - Black 7C	Forest Green (Pebble) - 3308C	Postal Grey (Flat) - 413C
Sandstone (Pebble) - 7501C	Silver Speck (Flat) - 877C (Standard)	White (Pebble) - White

NEW!

Eco-Priora™

- Patented Interlocking Spacers •
- LEED® Credits •
- Pedestrian and ADA Friendly •
- Save Time and Money •
- Compatible with other products •



Benefits

- Patented Interlocking Joints**
The unique, patented interlocking spacer lugs offer secure structural performance, even under vehicular traffic loads, especially when compared to other "non-interlocking" permeable pavers.
- Pedestrian and ADA Friendly**
The flat surface means Eco-Priora™ is well-suited for pedestrian and ADA (Americans with Disabilities Act) accessible pavements.
- Save Time and Money**
Eco-Priora can be mechanically installed to save time and money on large-scale projects such as parking lots and plazas.
- Compatible**
Combine the two available Eco-Priora shapes (4x8 and 8x8) to allow for complete design flexibility.
- LEED® Credits**
LEED "heat island" credit and "runoff" credits are available* when designing permeable pavement systems.

*LEED® Credit availability should be determined through the LEED Rating System and/or the Project Certification process established by the U.S. Green Building Council (USGBC). For more information visit: www.usgbc.org

Product Specifications

- Dimensions:** 4' x 8' x 3 1/8" (100 mm x 200 mm x 80 mm)
8' x 8' x 3 1/8" (200 mm x 200 mm x 80 mm)
Dimensions are hard metric and imperial conversions
- Joint size:** 1/8" (10mm)
- 4 x 8 Unit: Item No: PV080PRIORAM (Gray)**
Coverage per pallet: 93.2 sf
Units per pallet: 432
Units per sf: 4.6
Pallet wt: 3456 lbs
Unit wt: 8 lbs (approx)
- 8 x 8 Unit: Item No: PV080PRLGGRM (Gray)**
Coverage per pallet: 83.04 sf
Units per pallet: 192
Units per sf: 2.3
Pallet wt: 3120 lbs
Unit wt: 16 lbs (approx)

Features

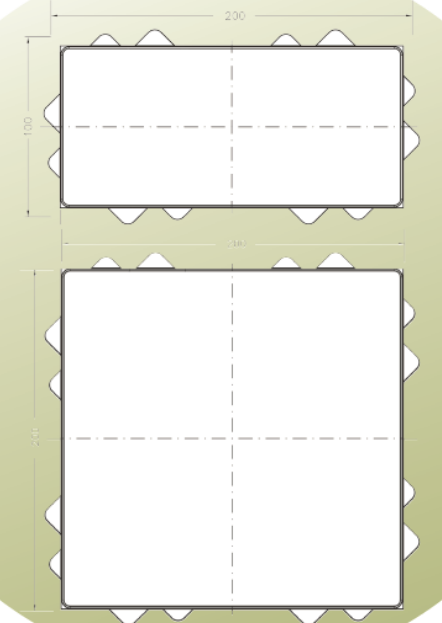
- The Eco-Priora™ permeable interlocking concrete pavement system is designed to reduce or eliminate storm water run off.
- Two sizes
- Standard Texture
- Patented interlocking spacers
- 80 mm thickness (3 1/8")
- 10 mm joint width (3/8")



1 (888) MUTUAL0 (688-8250)

© 2008 Mutual Materials • Eco-Priora™ is a trademark of Uni-Group USA.

Eco-Priora™



Dimensions are hard metric

**DRAGONBERRY PRODUCE
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CANBY, OR 97013

NOTES THIS SHEET

1. ALL EXPOSED STEEL TO BE PAINTED, SEE SPECIFICATIONS.
2. GRADE LINES ARE APPROXIMATE, AND SHOWN FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR FINISH GRADES.
3. LINES OF FOUNDATIONS (SHOWN DASHED) ARE APPROXIMATE, AND SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL DWGS FOR FOOTING ELEVATIONS.
4. DIMENSIONS ARE SHOWN TO DIMENSION POINT OF REFERENCED DETAIL, OR TO F.O. FINISH, UNO.
5. PROVIDE BLOCKOUTS FOR HOSE BIBS, ELEC. PENETRATIONS AND OTHER RECESSED EQUIPMENT IN CONC. PANELS.
6. WINDOW MULLIONS TO ALIGN VERTICALLY AND HORIZONTALLY AS SHOWN.

EXTERIOR ELEVATION KEY NOTES

- 1 TILT-UP CONCRETE WALL PANEL, PAINTED
- 2 ONCRETE FORM LINER, PAINTED
- 3 METAL CANOPY, PAINTED
- 4 GREEN SCREEN
- 5 OPERABLE WINDOW
- 6 NOT USED
- 7 EDGE OF DOCK LEVELERS & BUMPERS
- 8 TRUCK DOCK SIGNAGE PAINTED ON BUILDING, COLOR TBD
- 9 SIGNAGE AT FRONT OF CANOPY
- 10 SCUPPER BOX, PAINTED
- 11 DOWNSPOUT, PAINTED
- 12 NOT USED
- 13 EXTERIOR LIGHTING, SEE ELECT DWGS.
- 14 SIGNAGE LIGHTING
- 15 HOSE BIB, SEE PLUMBING
- 16 WOOD SLATS
- 17 ELECTRICAL SWITCHBOARD, PAINTED
- 18 FIRE BUREAU KEY BOX (RECESSED)
- 19 SECURITY SYSTEM CARD/FOB READER. COORDINATE W/ OWNER
- 20 BIKE RACK, POWDER COATED, SEE MATERIAL/FINISH SCHEDULE
- 21 ROUTE GAS LINE ALONG OUTSIDE WALL UP TO 20'-0" AFF. NO GAS LINES TO BE EXPOSED WHERE A FORKLIFT MAY IMPACT IT. SEE PLUMB DWGS.

NOT FOR CONSTRUCTION

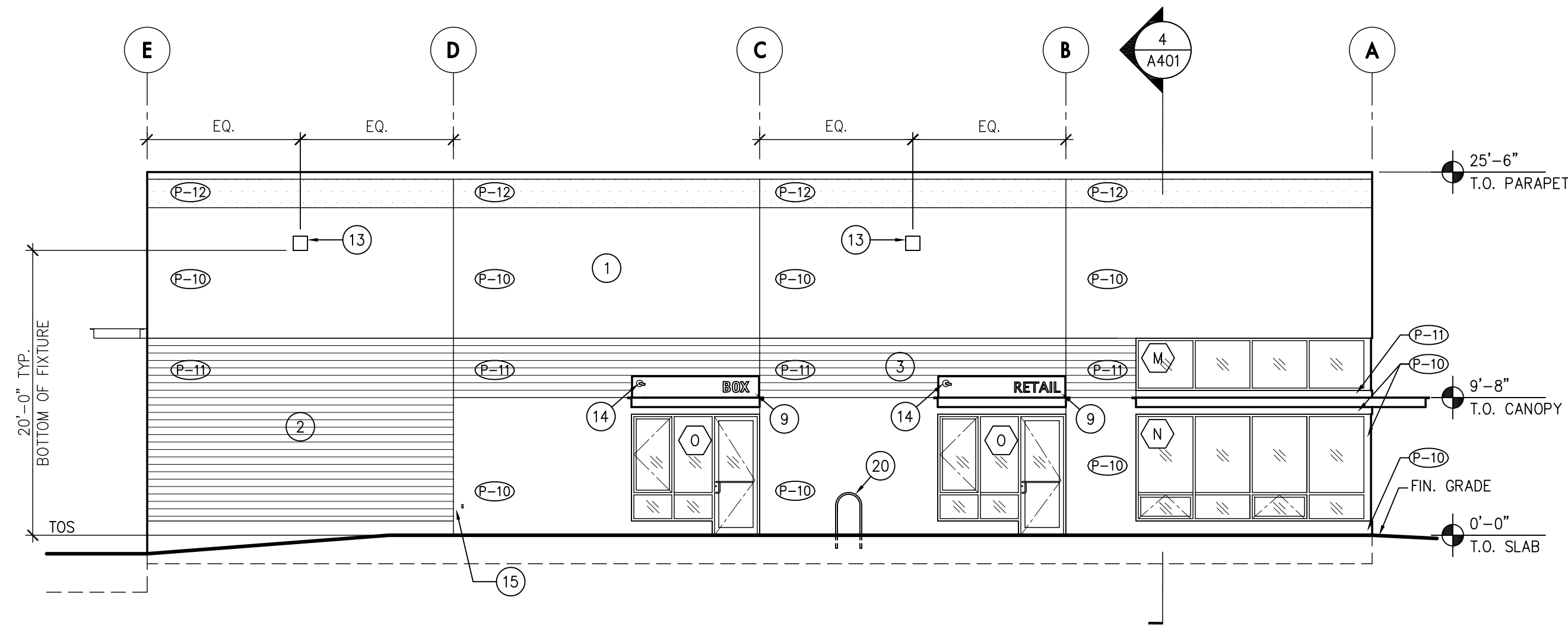
Issue	Revision	Date
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EXTERIOR ELEVATIONS

Scale AS NOTED

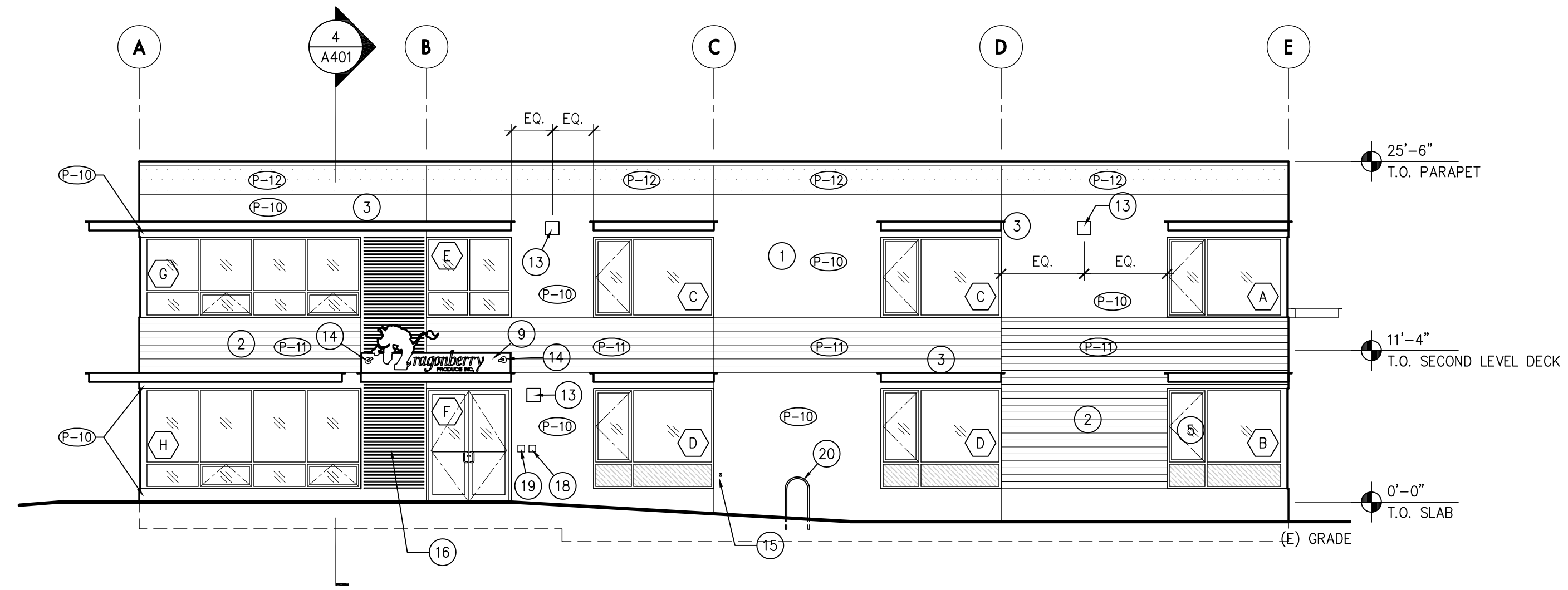
Date JULY 31, 2009

Sheet No. **A301**



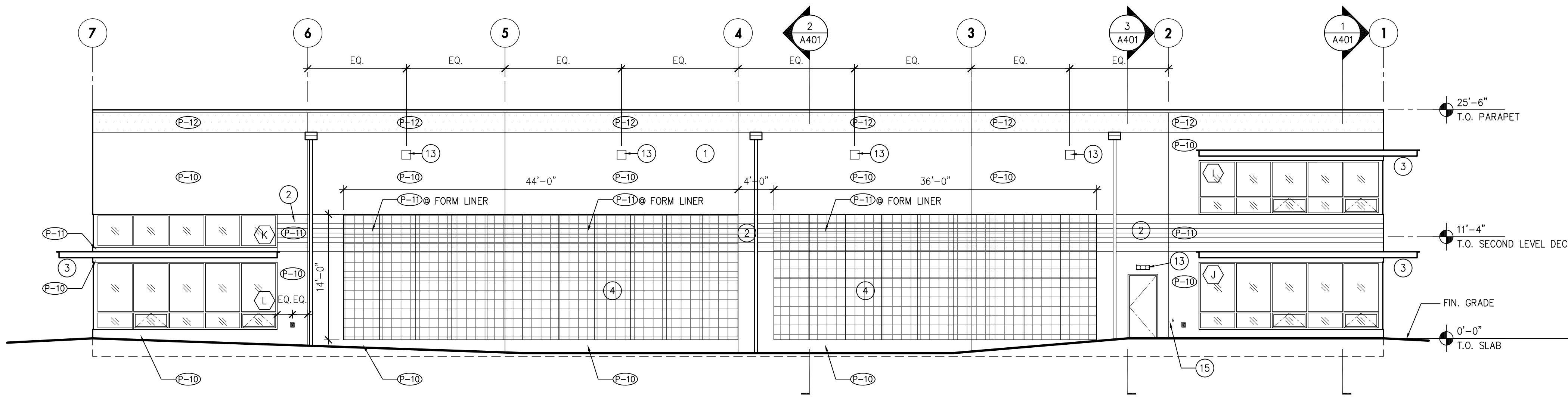
1 WEST ELEVATION

SCALE: 1/8"=1'-0"



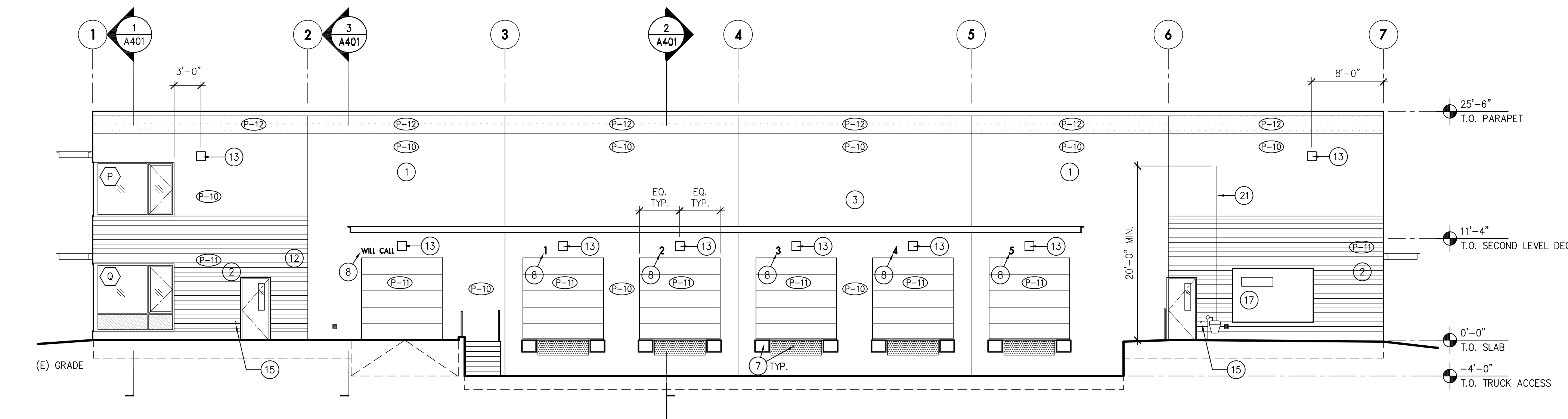
2 EAST ELEVATION

SCALE: 1/8"=1'-0"



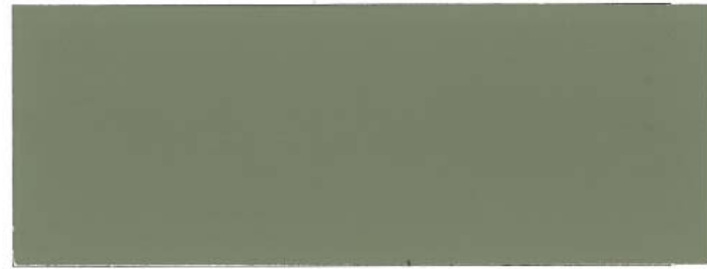
3 SOUTH ELEVATION

SCALE: 1/8"=1'-0"



4 NORTH ELEVATION

SCALE: 1/8"=1'-0"



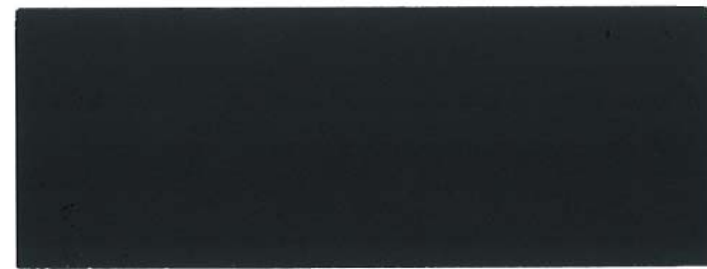
P-10 / Primary Exterior Paint Color



P-11 / Secondary Exterior Paint Color



P-12 / Parapet Exterior Paint Color



P-13 / Exterior Canopy Color,
Bike Racks, Misc. Exposed Metal



Dark Bronze Anodized
Store Front



IPE Wood

Dragonberry Produce Distribution Center
Exterior Color/Materials

d e c a ARCHITECTURE . I N C
935 SE Alder Street, Portland Oregon 97214
tel 503 239 1987 fax 503 239 6558



Dragonberry Produce Distribution Center
Exterior Color/Materials

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tel 503 239 1987 fax 503 239 6558





FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for use in car lots, street lighting or parking areas.

CONSTRUCTION — Rugged, .063" thick, aluminum rectilinear housing. Formed for weather-tight seal and integrity. Naturally anodized, extruded, aluminum door frame with mitered corners is retained with (two) .188" diameter hinge pins and secured with (one) quarter-turn, quick release fastener. Weatherproof seal between housing and door frame is accomplished with an integrally designed, extruded silicone gasket that snaps into door frame and another gasket applied to the housing.

FINISH — Standard finish is dark bronze (DDB) polyester powder finish with other architectural colors available.

OPTICAL SYSTEM — Reflectors: anodized and segmented for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Three cutoff distributions available: Type II (Roadway), Type III (Asymmetric), Type IV (Forward Throw, Sharp Cutoff).

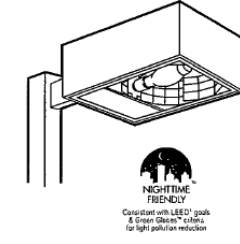
ELECTRICAL SYSTEM — Ballast: High pressure sodium: 70-150W is high reactance, high power factor. Constant wattage autotransformer for 200-250W. Metal halide: 100-150W is high reactance, high power factor and is standard with pulse-start ignitor technology. "SCWA" not required. Constant wattage autotransformer for 175-250W. Super CWA (pulse start ballast), 98% efficient and EISA legislation compliant, is required for metal halide 151-250W (SCWA option) for US shipments only. CSA, NOM or INTL required for probe start shipments outside of the US. Pulse-start ballast (SCWA) required for 200W. Ballasts 100% factory-tested.

Socket: Porcelain, horizontally mounted medium base socket for 70-150W and position-oriented mogul base socket for 175W and above, with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W, 600V.

INSTALLATION — Extruded aluminum arm for pole or wall mounting is shipped in fixture carton. Optional mounting systems available.

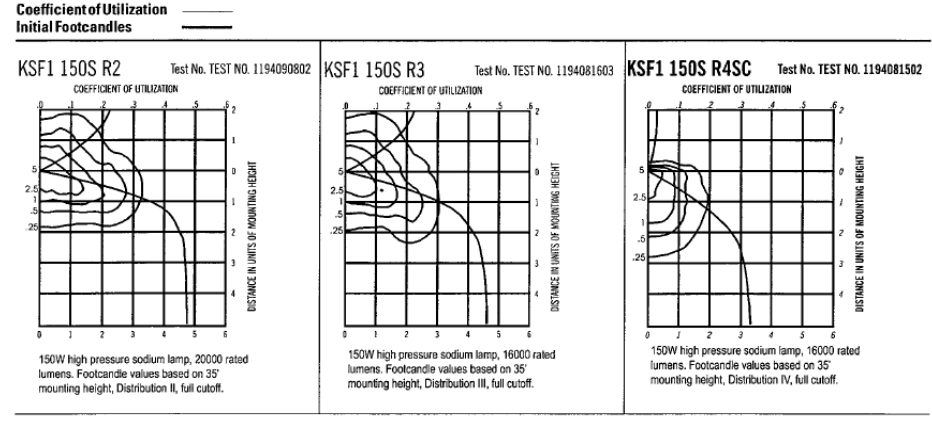
LISTING — UL Listed (standard), CSA Certified (See Options), NOM Certified (See Options), UL Listed for 25°C ambient temperatures and wet locations, IP65 rated.

Catalog Number	
Notes	Type SA/SA1



Area Lighting KSF1	METAL HALIDE 100W - 250W HIGH PRESSURE SODIUM 70W - 200W 15' to 20' Mounting
Specifications	
EPA: 1.5 ft ² (.14m ²) (includes arm)	
*Weight: 35 lbs (15.9kg)	
Length: 21-1/4" (54)	
Width: 15-15/32" (39.3)	
Depth: 7-1/4" (18.4)	
Arm: 4" (10.2)	
*Weight as configured in example below.	
All dimensions are inches (centimeters) unless otherwise specified. Specifications subject to change without notice.	

KSF1 Arm-Mounted Rectilinear Cutoff Lighting

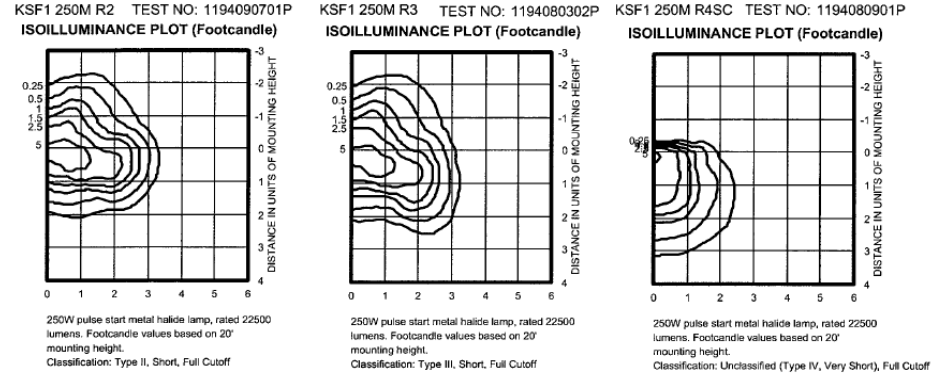


ORDERING INFORMATION

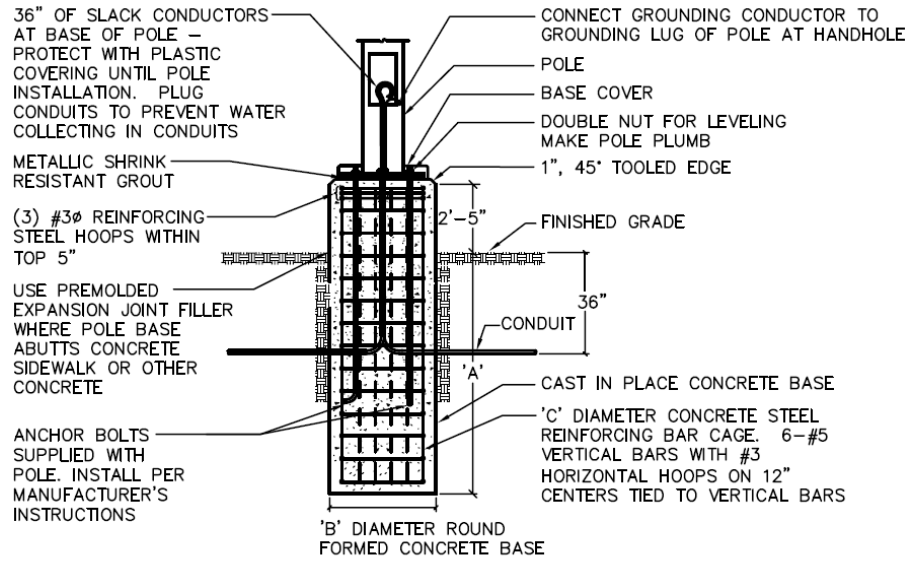
For shortest lead times, configure product using **standard options (shown in bold)**. Example: KSF1 100M R3 TB SP04 LPI

KSF1 175M R3 208 30' SP 04 CWI HS (SAI only) LPI																												
<table border="0"> <tr> <td>Series KSF1</td> <td>Voltage 120</td> <td>Mounting Pole type: SP Square pole 04 4" arm RP Round pole 06 6" arm WB Wall bracket 12 12" arm WW Wood pole or wall bracket 12 12" arm DA12P Degree arm (pole)¹⁰ DA12WB Degree arm (wall)¹⁰ KMA Mast arm external fitter¹⁶ KTMB Twin mounting bar¹⁹</td> <td>Ballast (blank) Magnetic ballast CWI Constant wattage isolated Pulse Start SCWA Super CWA pulse start ballast NOTE: For shipments to U.S. territories, SCWA must be specified to comply with EISA.</td> <td>Options Shipped installed in fixture: SF Single fuse 120, 277, 347V¹¹ DF Double fuse 208, 240, 480V¹¹ EC Emergency circuit¹² PER NEMA twist-lock receptacle only (no photocontrol) QRS Quartz restrrike system¹² QRSTD QRS time delay¹² HS House-side shield¹³ KW1 KiloWatch® 120V control relay¹⁵ KW4 KiloWatch 277V control relay¹⁵ CSA CSA Certified NOM NOM Certified INTL Available for MH probe start shipping outside the U.S. Shipped separately:¹⁴ PE1 NEMA twist-lock PE (120, 208, 240V) PE3 NEMA twist-lock PE (347V) PE4 NEMA twist-lock PE (480V) PE7 NEMA twist-lock PE (277V) SC Shorting cap for PER option VG Vandal guard</td> <td>Lamp¹⁷ LPI Lamp included (standard) L/LP Less lamp</td> <td>Finish¹⁸ (blank) Dark bronze DWH White DBL Black DMB Medium bronze DNA Natural aluminum CR Corrosion-resistant CRT Non-stick protective coating¹⁸</td> </tr> </table>	Series KSF1	Voltage 120	Mounting Pole type: SP Square pole 04 4" arm RP Round pole 06 6" arm WB Wall bracket 12 12" arm WW Wood pole or wall bracket 12 12" arm DA12P Degree arm (pole) ¹⁰ DA12WB Degree arm (wall) ¹⁰ KMA Mast arm external fitter ¹⁶ KTMB Twin mounting bar ¹⁹	Ballast (blank) Magnetic ballast CWI Constant wattage isolated Pulse Start SCWA Super CWA pulse start ballast NOTE: For shipments to U.S. territories, SCWA must be specified to comply with EISA.	Options Shipped installed in fixture: SF Single fuse 120, 277, 347V ¹¹ DF Double fuse 208, 240, 480V ¹¹ EC Emergency circuit ¹² PER NEMA twist-lock receptacle only (no photocontrol) QRS Quartz restrrike system ¹² QRSTD QRS time delay ¹² HS House-side shield ¹³ KW1 KiloWatch® 120V control relay ¹⁵ KW4 KiloWatch 277V control relay ¹⁵ CSA CSA Certified NOM NOM Certified INTL Available for MH probe start shipping outside the U.S. Shipped separately: ¹⁴ PE1 NEMA twist-lock PE (120, 208, 240V) PE3 NEMA twist-lock PE (347V) PE4 NEMA twist-lock PE (480V) PE7 NEMA twist-lock PE (277V) SC Shorting cap for PER option VG Vandal guard	Lamp¹⁷ LPI Lamp included (standard) L/LP Less lamp	Finish¹⁸ (blank) Dark bronze DWH White DBL Black DMB Medium bronze DNA Natural aluminum CR Corrosion-resistant CRT Non-stick protective coating ¹⁸																					
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Accessories: Tenon Mounting Slipfitter (Order as separate catalog number)																												
<table border="0"> <tr> <td>Tenon O.D.</td> <td>One</td> <td>Two@180°</td> <td>Two@90°</td> <td>Three@120°</td> <td>Three@90°</td> <td>Four@90°</td> </tr> <tr> <td>2-3/8"</td> <td>T20-190</td> <td>T20-280</td> <td>T20-290*</td> <td>T20-320</td> <td>T20-390*</td> <td>T20-490*</td> </tr> <tr> <td>2-7/8"</td> <td>T25-190</td> <td>T25-280</td> <td>T25-290*</td> <td>T25-320</td> <td>T25-390*</td> <td>T25-490*</td> </tr> <tr> <td>4"</td> <td>T35-190</td> <td>T35-280</td> <td>T35-290*</td> <td>T35-320</td> <td>T35-390*</td> <td>T35-490*</td> </tr> </table>	Tenon O.D.	One	Two@180°	Two@90°	Three@120°	Three@90°	Four@90°	2-3/8"	T20-190	T20-280	T20-290*	T20-320	T20-390*	T20-490*	2-7/8"	T25-190	T25-280	T25-290*	T25-320	T25-390*	T25-490*	4"	T35-190	T35-280	T35-290*	T35-320	T35-390*	T35-490*
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KSF1HS	House side shield ¹³																											
KSF1VG	Vandal guard																											

- NOTES:
- Not available with SCWA.
 - Not available with TBV.
 - Must be ordered with SCWA.
 - Not available with 480V.
 - Must specify CWI for use in Canada.
 - Optional multi-tap ballast (120, 208, 240, 277V), (120, 277, 347V in Canada).
 - Consult factory for available wattages.
 - Black finish only.
 - 9" arm is required when two or more luminaires are oriented on a 90° drilling pattern.
 - Ships separately.
 - Must specify voltage. Not available with TB or TBV.
 - Max allowable wattage lamp included.
 - Available with R2 & R3 distributions only.
 - May be ordered as an accessory.
 - See www.lithonia.com/archcolors for additional color options.
 - Consult factory for available wattages.
 - Black finish only.
 - Must be specified.
 - Must use RP09 or RP12.
 - Only available with 150S.



- NOTES:
- For electrical characteristics, consult technical data tab.
 - Tested to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory and actual field measurements. Dimensions and specifications are based on the most current available data and are subject to change.
 - Photometric data for other distributions can be accessed from www.lithonia.com.



NOTE: CONDUCTORS THROUGH POLE TO LUMINAIRE TO BE RATED 90° C

BASE DIMENSIONS	POLE HEIGHT			
	UP TO 15'	UP TO 22'	UP TO 35'	UP TO 40'
'A'	4'- 0"	4'- 0"	6'- 0"	7'- 0"
'B'	18"	24"	24"	24"
'C'	14"	20"	20"	20"

Mounting Height Correction Factor
(Multiply the fc level by the correction factor)
15 ft = .54
30 ft = 1.36
40 ft = .77

$(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}})^2 = \text{Correction Factor}$

SECTION - AREA LUMINAIRE STANDARD PEDESTAL ANCHOR BASE
NO SCALE



Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	2	SA	BACK-BACK	14400	0.750	KSF1 175M R3 (PULSE START)
	2	SA1	SINGLE	14400	0.750	KSF1 175M R3 HS (PULSE START)
	14	SB	SINGLE	8500	0.750	CATALOG NO. SND12-100MH
	4	SC	SINGLE	2200	0.750	ES3-CF1

Luminaire Schedule

TYPE 8A	DESCRIPTION:	EXTERIOR POLE BACK TO BACK ARM MOUNTED H.I.D. SITE LUMINAIRES.	ILLUMINANCE VALUES(Fc) Average =1.41 Maximum =2.7 Minimum =0.3 Avg/Min Ratio=4.70 Max/Min Ratio=9.00
	HOUSING:	17-1/2" SQUARE BY 7-1/8" HIGH DIE CAST ALUMINUM HOUSING WITH ROUND DIE CAST ALUMINUM DOOR FRAME.	
	LENS:	IMPACT RESISTANT TEMPERED GLASS LENS.	
	REFLECTOR:	ANODIZED, ALUMINUM HYDROFORMED/SEGMENTED.	
	DISTRIBUTION:	TYPE III.	
	MOUNTING:	4" EXTRUDED ALUMINUM ARM.	
	FINISH:	AS SELECTED BY ARCHITECT.	
	BALLAST:	-20 DEGREE, CWA, HIGH POWER FACTOR BALLAST.	
	UL LISTING:	UL LISTED WET.	
	LAMP:	ONE 175 WATT GLASS ARC TUBE METAL HALIDE LAMP EACH LUMINAIRE.	
	INPUT WATTS:	386.	
	MANUFACTURERS:	LITHONIA KSF1 SERIES, EMCO, MCGRAW-EDISON, STERNER, LSI LIGHTING OR APPROVED.	
	POLE:	30" HIGH, STRAIGHT STEEL POLE. POLE TO WITHSTAND 100 MILE PER HOUR WINDS WITH A GUST FACTOR OF 1.3. LITHONIA SSS SERIES, MCGRAW-EDISON, EMCO, STERNER OR APPROVED.	
TYPE 8A1	DESCRIPTION:	SAME AS TYPE 'SA' EXCEPT ONE LUMINAIRE MOUNTED ON POLE AND WITH HOUSE SIDE SHIELD.	ILLUMINANCE VALUES(Fc) Average =2.56 Maximum =12.1 Minimum =0.7 Avg/Min Ratio=3.66 Max/Min Ratio=17.29
	INPUT WATTS:	193.	
TYPE 8B	DESCRIPTION:	EXTERIOR WALL MOUNTED FLUORESCENT LUMINAIRE.	ILLUMINANCE VALUES(Fc) Average =1.25 Maximum =2.8 Minimum =0.3 Avg/Min Ratio=4.17 Max/Min Ratio=9.33
	HOUSING:	12" WIDE BY 12" HIGH BY 8" DEEP DIE CAST ALUMINUM HOUSING IN A TRAPEZOIDAL SHAPE WITH A DIE CAST ALUMINUM DOOR FRAME.	
	LENS:	HEAT AND IMPACT RESISTANT TEMPERED GLASS LENS, 1/8" THICK.	
	REFLECTOR:	SPECULAR EXTRUDED ALUMINUM REFLECTOR.	
	DISTRIBUTION:	WIDE THROW DISTRIBUTION.	
	MOUNTING:	REFER TO ARCHITECTURAL ELEVATION DRAWINGS FOR MOUNTING HEIGHT.	
	FINISH:	AS SELECTED BY ARCHITECT.	
	BALLAST:	-20 DEGREE, CWA, HIGH POWER FACTOR BALLAST.	
	UL LISTING:	UL LISTED WET.	
	LAMP:	ONE 100 WATT METAL HALIDE.	
	INPUT WATTS:	110.	
	MANUFACTURERS:	GUTH SUNDOWNER SERIES, GARCO LIGHTING, DESIGN PLAN, INVUE OR APPROVED.	
TYPE 8C	DESCRIPTION:	EXTERIOR WALL MOUNTED FLUORESCENT LUMINAIRE WITH BACK-UP EMERGENCY BALLAST.	
	HOUSING:	14" SQUARE DIE CAST ALUMINUM HOUSING.	
	LENS:	HIGH IMPACT, CLEAR-TEMPERED GLASS	
	REFLECTOR:	SPECULAR HAMMERTONE WRAPPER WITH SEMI-SPECULAR SIDES.	
	DISTRIBUTION:	TYPE III.	
	FINISH:	AS SELECTED BY ARCHITECT.	
	BALLAST:	-20 DEGREE, CWA, HIGH POWER FACTOR BALLAST.	
	NOTE:	PROVIDE BACK-UP EMERGENCY BALLAST MAINTAINING FULL LUMEN OUTPUT FOR 90 MINUTES.	
	LAMP:	ONE 32 WATT COMPACT FLUORESCENT.	
	INPUT WATTS:	35.	
	MANUFACTURERS:	RUUD LIGHTING ACU-12 SERIES, GOTHAM LIGHTING, OMEGA, PORTFOLIO, LIGHTOLIER, PRESCOLITE OR APPROVED.	

West Driveway and Parking

ILLUMINANCE VALUES(Fc)
Average =1.41
Maximum =2.7
Minimum =0.3
Avg/Min Ratio=4.70
Max/Min Ratio=9.00

North Parking Lot

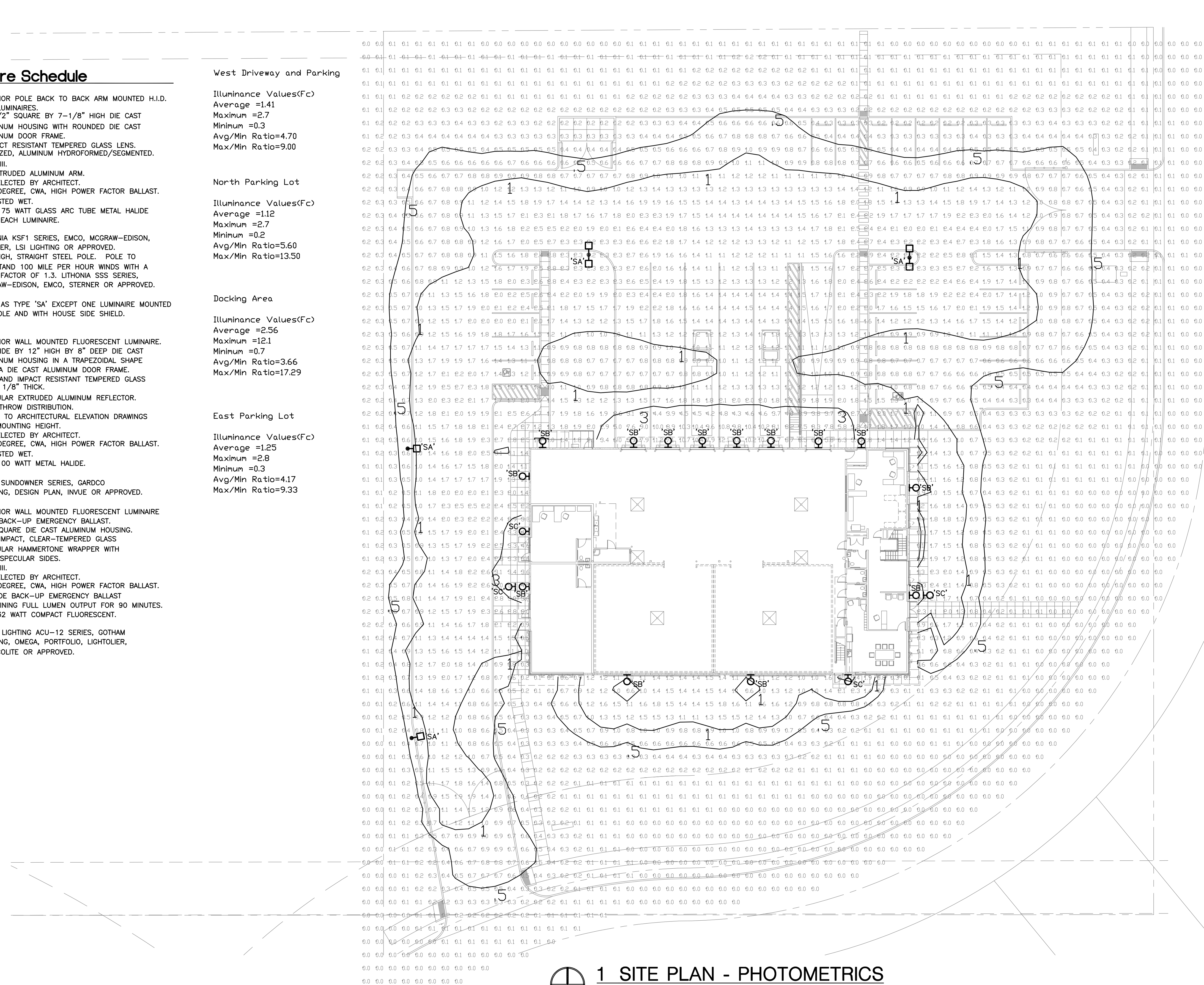
ILLUMINANCE VALUES(Fc)
Average =1.12
Maximum =2.7
Minimum =0.2
Avg/Min Ratio=5.60
Max/Min Ratio=13.50

Docking Area

ILLUMINANCE VALUES(Fc)
Average =2.56
Maximum =12.1
Minimum =0.7
Avg/Min Ratio=3.66
Max/Min Ratio=17.29

East Parking Lot

ILLUMINANCE VALUES(Fc)
Average =1.25
Maximum =2.8
Minimum =0.3
Avg/Min Ratio=4.17
Max/Min Ratio=9.33



1 SITE PLAN - PHOTOMETRICS
0 20' 40'
SCALE: 1"=20'-0"

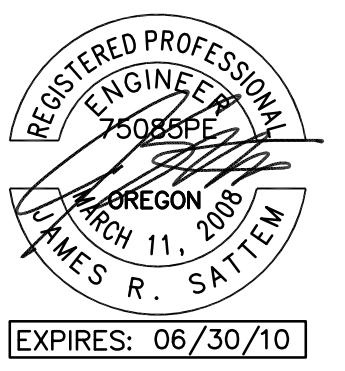
**DRAGONBERRY PRODUCE
DISTRIBUTION CENTER**

386 S SEQUOIA PARKWAY
CANBY, OR 97013

PROJECT 2008-0531
CONTACT Mark O'Leary

INTERFACE
ENGINEERING

708 SW Third Avenue
Suite 400
Portland, OR 97204
TEL 503.382.2266
FAX 503.382.2262
www.interfaceengineering.com



NOT FOR CONSTRUCTION

Issue	Revision	Date
SITE & DESIGN REVIEW		JULY 31, 2009

**SITE PLAN
PHOTOMETRICS**

PLANTING NOTES:

Consult with site superintendent, appropriate agencies, and Drawings for verifying locations of underground utilities, pipes and structures. Take sole responsibility for costs incurred due to damage of these utilities, pipes, or structures if proper verification by Contractor was not performed.

Do not willfully proceed with planting operations when it is obvious that unknown obstructions and grade differences exist that may not have been known during design process. Bring such conditions immediately to attention of Owner's Authorized Representative for resolution. Assume full responsibility for costs incurred and required modifications due to lack of providing such notification.

Coordinate other contractors work related to proper execution of your work.

Ensure that finish grade elevations of planting areas are set at the proper elevations relative to paving finish surface elevations, utility covers and curbs. Shrubs planting areas at 2" below and lawn 1" below adjacent grade. Notify owner of any discrepancies.

Assure positive drainage in all planting areas to drain away from building, 2% minimum.

Existing site soil may be used for planting areas and berms, however, it will need to be blended with imported topsoil that meets ASTM D 5268 Standards. Should only import soil be necessary to specified finish grades, indicate source location. Ensure that import soil is of a sandy loam nature, containing no toxic chemicals or elements that might inhibit or retard normal plant growth. Submit soil test results of import soil to Owner's Authorized Representative for approval prior to delivering soil to site.

Trees may be initially tagged by the Owner's Authorized Representative at a nursery selected by Owner's Authorized Representative, or if deemed acceptable by Owner's Authorized Representative, the Contractor's choice. If trees are to be tagged by Contractor in-lieu of Owner's Authorized Representative, ensure that trees of a similar species and variety have matching form unless indicated otherwise on Drawings.

Plant material, i.e. trees, shrubs vines, espaliers and groundcovers, must be approved by Owner's Authorized Representative prior to installation. Plant material installed without Owner's Authorized Representative's approval may be subject to removal and replacement with related costs borne by Contractor.

Final locations of plant materials are subject to approval of the Owner's Authorized Representative prior to installation. Perform the following before beginning planting pit excavation:

- Shrubs - place actual plant containers on-site in "final" locations.
- Trees - chalk or stake center of tree.

Notify Owner's Authorized Representative in sufficient time to perform a specified site observation task. Refer to specifications for specific site visit notification tasks and times. Insufficient notification time given Owner's Authorized Representative may require the site visit to be canceled, or possibly, make Contractor responsible to compensate Owner's Authorized Representative for overtime.

Furnish plant material free of pests, poor condition, or disease, including pre-selected or "tagged" plant material provided by Owner's Authorized Representative.

If conflicts arise between actual size of planting areas on-site and those areas indicated on Drawings, contact Owner's Authorized Representative for resolution. Failure to make such conflicts known to Owner's Authorized Representative in a timely fashion may result in Contractor's liability to relocate plant materials or at worst case, become unable to charge Owner for plant material already planted.

Triangularly space groundcovers and shrubs, unless indicated otherwise on Drawings. Maintain half on-center spacing when adjacent paved areas, walls, or other fixed edges.

Excavate plant pits to dimensions noted on Drawing details.

Shrub and groundcover areas to receive a 2-inch deep layer of Grimm's Garden Mulch supplied from Grimm's Fuel Co. ph (503) 254-5504 or McFarlanes Compo-Stuff (503) 659-4240

Do not plant trees closer than 4-foot to fixed edge such as sidewalks and walls, unless indicated otherwise on Drawings.

Provide root control barriers for all trees planted within 5' of a hardscape edge such as paving, walls, curbs, steps, etc. Refer to planting details for additional information.

Ensure that trees and shrubs are not planted too deep relative to finish grade.

Install plant material with its best side facing predominate view of public.

Do not plant trees within 10-feet of gas, water or sewer lines. Contact Owner's Authorized Representative if meeting this criteria differs from locations indicated on Drawings.

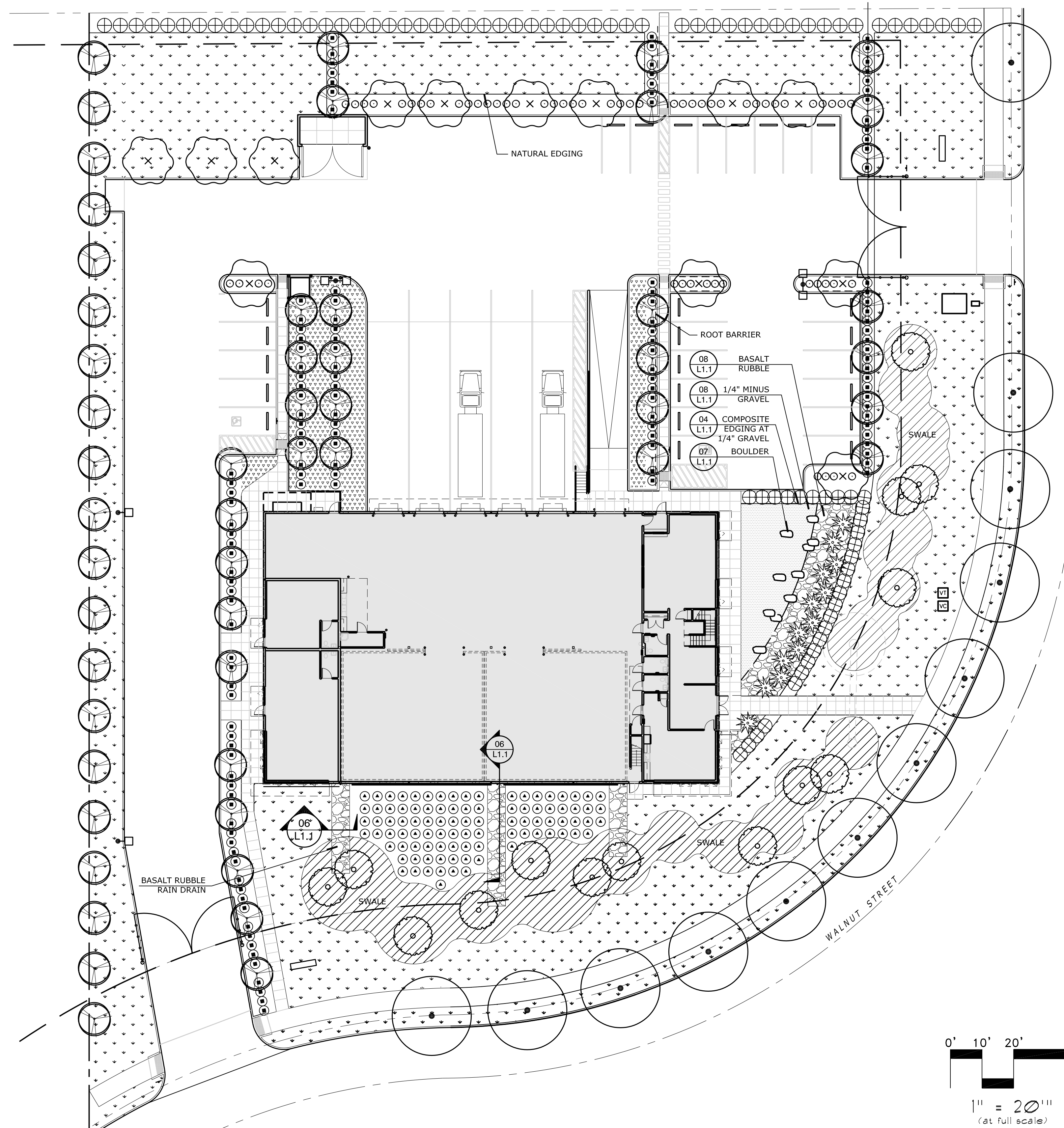
Provide the proper setback between streetlights and trees - contact City inspector for required setbacks.

Refer to Drawing details for required planting, staking and guying methods.

Replace or repair existing materials that are damaged by Contractor during planting operations.

Verify property lines prior to commencing planting operations.

Refer to City and County standards for standard landscape plans and specifications, where applicable.



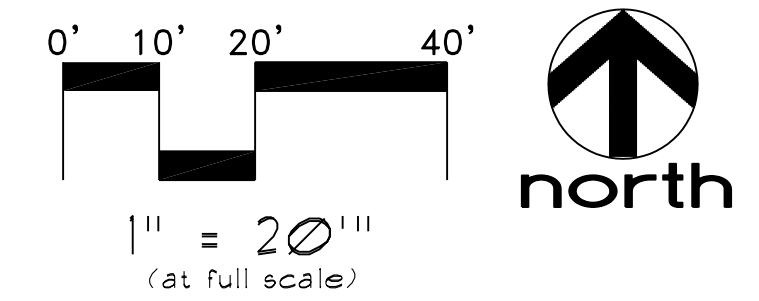
LEGEND

TREES

- ALNUS RUBRA/ RED ALDER/ 2IN. CAL.
- CARPINUS BETULS FASTIGIATA/ COLUMNAR HORNBEAM/ 2IN. CAL.
- PLATANUS ACERIFOLIA BLOODGOOD/ BLOODGOOD LONDON PLANETREE/ 3.5IN. CAL.
- TILIA TOMENTOSA STERLING/ STERLING SILVER LINDEN/ 2IN. CAL.

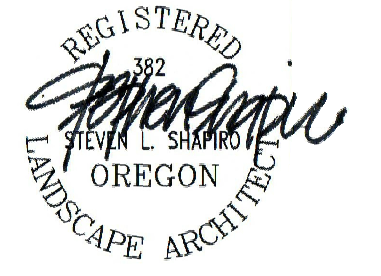
SHRUBS, GROUNDCOVER & MATERIALS

- BLUEBERRY/ 5 GAL.
- CALAMAGROSTIS ARUND KARL FORESTER/ REED GRASS/ 1 GAL.
- PRUNUS LUSITANICA/ PORTUGAL LAUREL/ 3FT.
- SARCOCOCCA RUSCIFOLIA/ SWEET BOX/ 3 GAL.
- PHYLOSTACHYS VIVAX/ TIMBER BAMBOO/ 10 GAL.
- LAWN/ HOBBS & HOPKINS FLEUR DE LAWN/ 21,500 SF
- HEICTOTRICHON SEMPERVIRENS/ BLUE OAT GRASS/ 1 GAL./ 2' O.C.
- JUNCUS PATENS/SPREADING RUSH/ 1 GAL./12" O.C.
- BASALT RUBBLE/ WASHED/ 4 TO 12 INCHES
- 1/4" MINUS GRAVEL
- BASALT BOULDER - 2 TO 3 TONS



DRAGONBERRY PRODUCE
DISTRIBUTION CENTER

386 S SEQUOIA PARKWAY
CANBY, OR 97013



NOT FOR CONSTRUCTION

Issue	Revision	Date
SITE & DESIGN REVIEW		JULY 31, 2009

SITE PLAN
PLANTING

Scale 1" = 20'
Date JULY 31, 2009
Sheet No. **L101**



NOT FOR CONSTRUCTION

Issue	Revision	Date
SITE & DESIGN		JULY 31, 2009
REVIEW		

SITE PLAN
IRRIGATION

Scale 1" = 20'

Date JULY 31, 2009

Sheet No. **L111**

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER
	MP ROTATOR	RAIN BIRD
	INLINE DRIP TUBING	RAIN BIRD
	WALL MOUNTED CONTROLLER WITH MOISTURE SENSOR	RAIN MASTER
	IRRIGATION AREA REQUESTING VARIANCE FOR TEMPORARY SYSTEM. ALL TREES WITHIN THESE AREAS WOULD BE PROVIDED A PERMANENT IRRIGATION DRIP SYSTEM.	

NOTE A:
POINT OF CONNECTION SHALL BE A 1 1/2" DOMESTIC WATER METER WITH A 1 1/2" SERVICE LINE. VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWING IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

STATIC WATER PRESSURE	70 PSI
DESIGN WATER PRESSURE	N/A PSI
MAXIMUM SYSTEM DEMAND	N/A GPM
RESIDUAL WATER PRESSURE	N/A PSI
BOOSTER PRESSURE REQUIRED	N/A PSI

STATIC WATER PRESSURE WAS NOT AVAILABLE AT TIME OF SYSTEM DESIGN. SYSTEM WAS DESIGNED FOR A MINIMUM REQUIRED STATIC WATER PRESSURE OF XXX PSI. CONTRACTOR SHALL VERIFY EXISTING STATIC WATER PRESSURE PRIOR TO COMMENCING WORK. IF STATIC WATER PRESSURE IS LESS THAN THE XXX PSI MIN. REQUIRED PRESSURE, THEN CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED. A STATIC WATER PRESSURE LOWER THAN XXX PSI WILL REQUIRE THE ADDITION OF AN IRRIGATION BOOSTER PUMP. SAID BOOSTER PUMP SHALL BE AS SPECIFIED BY LANDSCAPE ARCHITECT, AND SHALL BE ISSUED AS AN ADDENDUM TO THE ORIGINAL BID. FAILURE TO NOTIFY LANDSCAPE ARCHITECT SHALL PLACE ALL REQUIRED REPAIRS/EQUIPMENT AND OTHER RELATED COST AS THE FULL RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.

NOTE B:
CONTRACTOR SHALL REFER TO IRRIGATION LEGEND FOR CONTROLLER TYPE AND SIZE. FINAL LOCATION OF CONTROLLER AND ELECTRICAL POC SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

NOTE C:
MAINLINE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE WITHIN PLANTER, A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP.

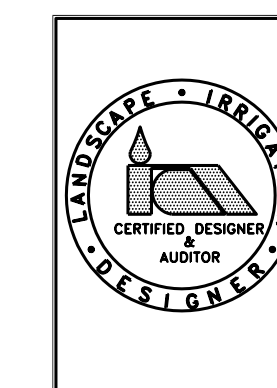
NOTE D:
CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC. VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

NOTE E:
CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, PROPERTY LINES, DIMENSIONS, ETC. PRIOR TO BIDDING AND PRIOR TO COMMENCING WORK. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK.

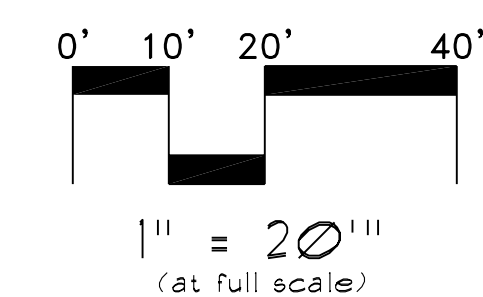
NOTE F:
BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION TO BE WITHIN PLANTER. BUBBLERS SHALL BE ALIGNED WITH TREES AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

NOTE G:
IRRIGATION SLEEVES SHOWN FOR MAJOR STREET AND DRIVEWAY CROSSINGS FOR CLARITY ONLY. CONTRACTOR SHALL INSTALL SLEEVING BELOW ALL PAVING, HARDSCAPE, ETC. AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE.

NOTE H:
ALL PIPING AND WIRE SHALL BE SLEEVED UNDER PAVING. ALL SLEEVES TO BE MINIMUM 2X DIAMETER OF SLEEVED PIPE. ALL MAINLINE SHALL BE ACCOMPANIED WITH A MINIMUM 2-INCH DIAMETER WIRE SLEEVE. SLEEVING TO EXTEND MINIMUM 12 INCHES BEYOND PAVING.



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P.O.C. LOCATION
REFER TO NOTE "A" ABOVE RIGHT
Irrigation Water Meters Shown Within Paving For Clarity Only, Refer to Civil Engineer's Plans for Exact Location.

CONTROLLER LOCATION
REFER TO NOTE "B" AT RIGHT

MAINLINE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE INSTALLED AT 18" BEHIND CURB/PAVING TYP.

WALNUT STREET



NOT FOR CONSTRUCTION

Issue	Revision	Date
SITE & DESIGN REVIEW		JULY 31, 2009

SITE IRRIGATION LEGEND

Scale 1" = 20'

Date JULY 31, 2009

Sheet No. **L112**

SYMBOL/NOZZLE				G.P.M./NOZZLE				DETAIL
Q	V	H	F	Q	V	H	F	
IRRIGATION DRIPLINE TUBING								
	RAIN BIRD	LD-P-09-12	PURPLE DRIP TUBING W/ .92 GPH EMITTERS 12" ON CENTER, INSTALL TUBING ROWS A MAXIMUM OF 16" APART IN SHRUB AREAS. ALL TUBING SHALL BE INSTALLED 3" BELOW FINISHED SOIL GRADE W/ 9" WIRE STAKES FIVE (5) FEET ON CENTER; VERIFY THE LAYOUT AND SPACING IN THE FIELD PRIOR TO STARTING WORK					X
NO SYMBOL	RAIN BIRD	MDCFEL or MDCFTEE	W/ MDCF75FPT FITTING FOR CONNECTION BETWEEN PVC LATERAL LINES AND DRIP TUBING					X
NO SYMBOL	RAIN BIRD		ALL CONNECTIONS BETWEEN DRIP TUBING SHALL BE MADE USING "RAIN BIRD EASY FIT" FITTINGS					X
	DURA		PROVIDE SCH 40 OR SCH 80 THREADED BALL VALVE WITH BRASS GARDEN HOSE ADAPTER FOR FLUSHING OFF 3/4" PCV FLUSH MANIFOLD PIPE, INSTALL FLUSH VALVE INSIDE 6" ROUND VALVE BOX, ONE AT THE END OF ANY TUBING RUN IN EACH DIRECTION. INSTALL MINIMUM OF ONE FLUSH VALVE PER MAXIMUM OF 800' OF TUBING. MULTIPLE FLUSH VALVES MAY BE REQUIRED WITHIN DRIPLINE LAYOUT, ALWAYS INSTALL VALVES IN OPPOSITE DIRECTIONS OF THE PVC/DRIP CONNECTION MANIFOLD. INSTALL 18" FROM PAVING.					X
	RAIN BIRD	ARV-100	AIR/VACUUM RELIEF VALVE INSTALLED WITH A FT-050 COMBINATION TEE AND A 3/4" X 1/2" REDUCER BUSHING, INSTALL AIR RELIEF ASSEMBLY INSIDE A 6" ROUND VALVE BOX AT THE HIGH POINT OF EACH PLANTER, MIN. 1 ARV PER 500' OF DRIPLINE. USING AIR RELIEF LATERAL, CONNECT AIR RELIEF VALVE TO ALL DRIPLINE LATERALS WITHIN THE ELEVATED AREA. MULTIPLE ARV'S SHALL BE REQUIRED PER RCV WITHIN UNDULATING AREAS, VERIFY QUANTITY PRIOR TO STARTING WORK, INSTALL VALVE BOX 18" FROM PAVING AND AT HIGH POINTS OF PLANTER AREA. INSTALL ALL AIR VACUUM RELIEF EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.					X
	RAIN BIRD	X CZ-100-B-COM	1" DRIP VALVE ASSEMBLY, SIZE AS SHOWN, W/ 40 PSI IN-LINE PRESSURE REGULATOR, QKCHK-100 200 MESH BASKET FILTER FOR ZONE FLOWS UP 14 GPM. X CZ-150-COM 1 1/2" DRIP VALVE ASSEMBLY, SIZE AS SHOWN, W/ TWO 40 PSI IN-LINE PRESSURE REGULATORS, TWO QKCHK-100 200 MESH BASKET FILTERS FOR ZONE FLOWS 15-28 GPM					X

- IRRIGATION NOTES**
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROCURE AN ORIGINAL SET OF THESE PRINTED IRRIGATION PLANS FOR BIDDING AND CONSTRUCTION. COPIES OF THESE PLANS ARE NOT ALLOWED FOR BIDDING AND CONSTRUCTION AS THEY MAY NOT SHOW IRRIGATION SYMBOLS, LINE WEIGHTS, OR LINE TYPES CLEARLY.
 - ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
 - THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
 - THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
 - INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
 - ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
 - CONTRACTOR IS TO PROVIDE TWO ADDITIONAL 'CONTROL WIRES' AND ONE ADDITIONAL 'COMMON' WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
 - ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
 - ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
 - ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVSERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
 - THE CONTRACTOR SHALL USE U.L. APPROVED GROUND ROD(S) AND/OR GROUND PLATE(S) WITH CADWELD ONE-SHOT CONNECTION PROCESS FOR CONNECTING THE CONDUCTOR WIRE TO THE ROD(S) AND/OR PLATE(S). THE NUMBER OF RODS OR PLATES SHALL DEPEND ON THE CONDUCTIVITY OF THE IMMEDIATE SOIL SURROUNDING THE ROD(S) AND/OR PLATE(S). MAXIMUM GROUND RESISTANCE SHALL BE PER CONTROLLER MANUFACTURERS SPECIFICATIONS.

LATERAL PIPE SIZE CHART

PIPE SIZE	GALLONAGE
3/4"	0-5
1"	5-10
1 1/4"	11-22
1 1/2"	23-28
2"	29-50
2 1/2"	51-70

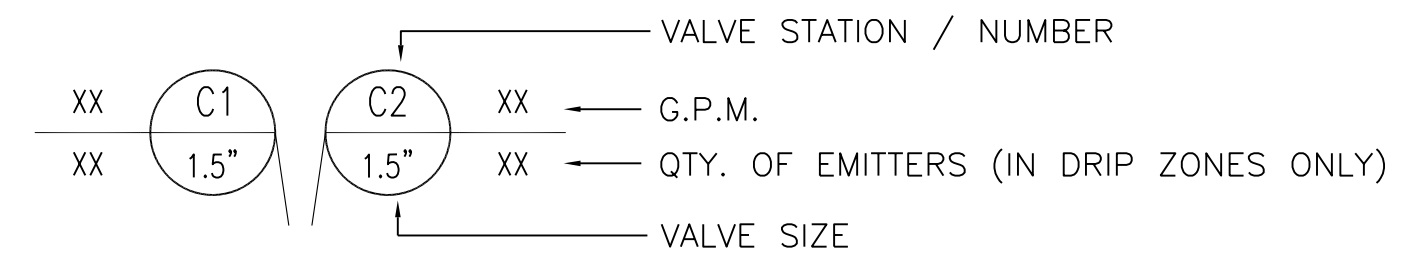
SYMBOL/NOZZLE				G.P.M./NOZZLE				DETAIL	
Q	V	H	F	Q	V	H	F		
MP ROTATORS									
	RAIN BIRD	1812SAM	SHRUB HEAD W/ MP ROTATOR 1000 SERIES Q/T/H/F NOZZLES	.19	.37	.75	40	10-14 FT	X
	RAIN BIRD	1812SAM	SHRUB HEAD W/ MP ROTATOR 2000 SERIES Q/T/H/F NOZZLES	.40	.74	1.47	40	15-20 FT	X
	RAIN BIRD	1812SAM	SHRUB HEAD W/ MP ROTATOR 3000 SERIES Q/T/H/F NOZZLES	.86	1.82	3.64	40	21-30 FT	X
	RAIN BIRD	1812SAM	SHRUB HEAD W/ MP ROTATOR 45 DEGREE CORNER NOZZLE	.19			40	10-14 FT	X
	RAIN BIRD	1812SAM	SHRUB HEAD W/ MP ROTATOR MP L/R STRIP & MP SIDE STRIP NOZZLE	.22	.44		40	LS/RS 5 x 15 FT SS 5 x 30 FT	X

BUBBLER									
	RAIN BIRD	BUBBLER: 1804SAM	BODY W/ RAIN BIRD 5F-B NOZZLE AND PCS-(040)(060) SCREEN. EACH SYMBOL REPRESENTS TWO BUBBLERS PER TREE/PALM, PLACE BUBBLERS 6" FROM EDGE OF ROOTBALL ON OPPOSITE SIDES OF TREE/PALM, TYPICAL. CONTRACTOR SHALL INSTALL PCS SCREEN SIZE (040)(060) AS REQUIRED TO INSURE THAT TWO POINTS OF WATER HIT SOIL AT SOME LOCATION FROM EDGE OF ROOTBALL TO TRUNK.	.60	(1.2)		30	N/A	X

IRRIGATION EQUIPMENT									
	P.O.C.		1 1/2" POTABLE WATER METER WITH A 1 1/2" SERVICE LINE. VERIFY SIZE OF EQUIPMENT, LOCATION, AND STATIC WATER PRESSURE IN FIELD PRIOR TO BIDDING AND COMMENCING WORK						N/A
	FEBCO		850 SERIES, 11/2" DOUBLE CHECK BACKFLOW PREVENTION ASSEMBLY W/ MODEL 650A WYE STRAINER						X
NO SYMBOL	FEBCO		MODEL# FPTC-1, 1/2" THERMOSTATIC FREEZE RELIEF VALVE, INSTALLED ON THE DOWN STREAM SIDE OF BACKFLOW (SEE BACKFLOW DETAIL)						X
NO SYMBOL	V.I.T.		POLAR BARRIER, MODEL PBB-40, BACKFLOW COLD WEATHER COVER. CONTACT V.I.T. FOR MORE INFORMATION @ 1-800-729-1314						X
	SUPERIOR		MODEL 3200 1.5" NORMALLY CLOSED MASTER CONTROL VALVE						X
	RAIN MASTER		RME-XXEGI-SB-PMRKIT EAGLE XX STATION CONTROLLER WITH (EG-ICENTRAL-PK) INTERNET COMMUNICATIONS CARD, ANTENNA, AND PERMANENT MOUNTED REMOTE RECEIVER KIT, SIZE AS SHOWN, INSTALLED ON WALL MOUNT. (SEE BELOW FOR TYPE). IRRIGATION CONTRACTOR SHALL SIGN UP CONTROLLER AND PAY FOR THE 24 MONTH INTERNET SERVICE PLAN (RM-ISVC-2Y). RAIN MASTER ICENTRAL TECH SUPPORT (800) 777-1477						X
	N/A		120 VOLT ELECTRICAL POWER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD						N/A
	HUNTER		RAIN SENSOR, SG-MC, MOUNT TO REAR OF STAINLESS STEEL ENCLOSURE AND WIRE TO CONTROLLER						X
	RAIN MASTER		1 1/2" FLOW SENSOR MODEL# FS-150, INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND WIRE TO CONTROLLER						X
	NIBCO		T-113 GATE VALVE, LINE SIZE, WITH BRONZE WHEEL HANDLE UP TO 2" AND BRONZE CROSS HANDLE OVER 2" IN SIZE						X
	RAIN BIRD		44RC QUICK COUPLER VALVE, 44RC QUICK COUPLER VALVE, INSTALL WITHIN 1 1/2" MANIFOLD WITH WATTS B-6080-SS-SH 1 1/2" BALL VALVE						X
	RAIN BIRD		XXX-PEB (1", 1 1/2", 2") SERIES REMOTE CONTROL VALVE, SIZE AS SHOWN						X

IRRIGATION PIPE/SLEEVE									
	AS APPROVED		PVC PIPE 3/4" - 2" CL. 200 AS LATERAL LINES 12" BELOW GRADE						X
	AS APPROVED		PVC PIPE 2" SCH. 40 AS MAINLINES 24" BELOW GRADE						X
	AS APPROVED		PVC PIPE SCH. 40 AS SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED PLACE BELOW ALL PAVING, HARDSCAPE, ETC., AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE.						X

IRRIGATION MISCELLANEOUS									
NO SYMBOL	AS APPROVED		1" SCH. 40 ELECTRICAL CONDUIT FOR FLOW SENSOR CABLE, PROVIDE 10" ROUND PULL BOX A MAXIMUM OF 200 FEET ON CENTER, AT CONTROLLER LOCATION, AND AT EACH CHANGE IN DIRECTION. FROVIDE A MINIMUM OF 18" COVER.						N/A
NO SYMBOL	AS APPROVED		PVC SCH 80 FITTINGS MUST BE USED ON ALL SOLVENT WELD MAINLINE FITTINGS 2"-3", EXCEPT WHERE ROMAC SADDLE TEES ARE REQUIRED. WHEN A FITTING HAS A THREADED FEMALE OR MALE COMPONENT THE FITTING SHALL ALWAYS BE PVC SCH 80. ALL THREADED PLASTIC NIPPLES SHALL BE PVC SCH 80 TYPE						N/A
NO SYMBOL	RAIN BIRD		MODELS VB-STD, VB-JMB, VB-10RND, VB-6RND IRRIGATION VALVE BOXES FOR IRRIGATION EQUIPMENT.						X
NO SYMBOL	AS APPROVED		IRRIGATION 'COMMON' WIRE #12UF AWG DIRECT BURIAL (U.L. APPROVED)						X
NO SYMBOL	AS APPROVED		IRRIGATION 'CONTROL' WIRE #14UF AWG DIRECT BURIAL (U.L. APPROVED)						X
NO SYMBOL	CONNECTOR KING		WIRE SPLICE/CONNECTOR SHALL BE CONNECTOR KING, MODEL SA101 OR MODEL SA102. DIRECT BURY SPLICE KIT SA 101 SHALL BE USED TO ELECTRICALLY CONNECT 2 #14 AND/OR 1 #18 PRE-STRIPPED COPPER WIRES.						X



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NOT FOR CONSTRUCTION

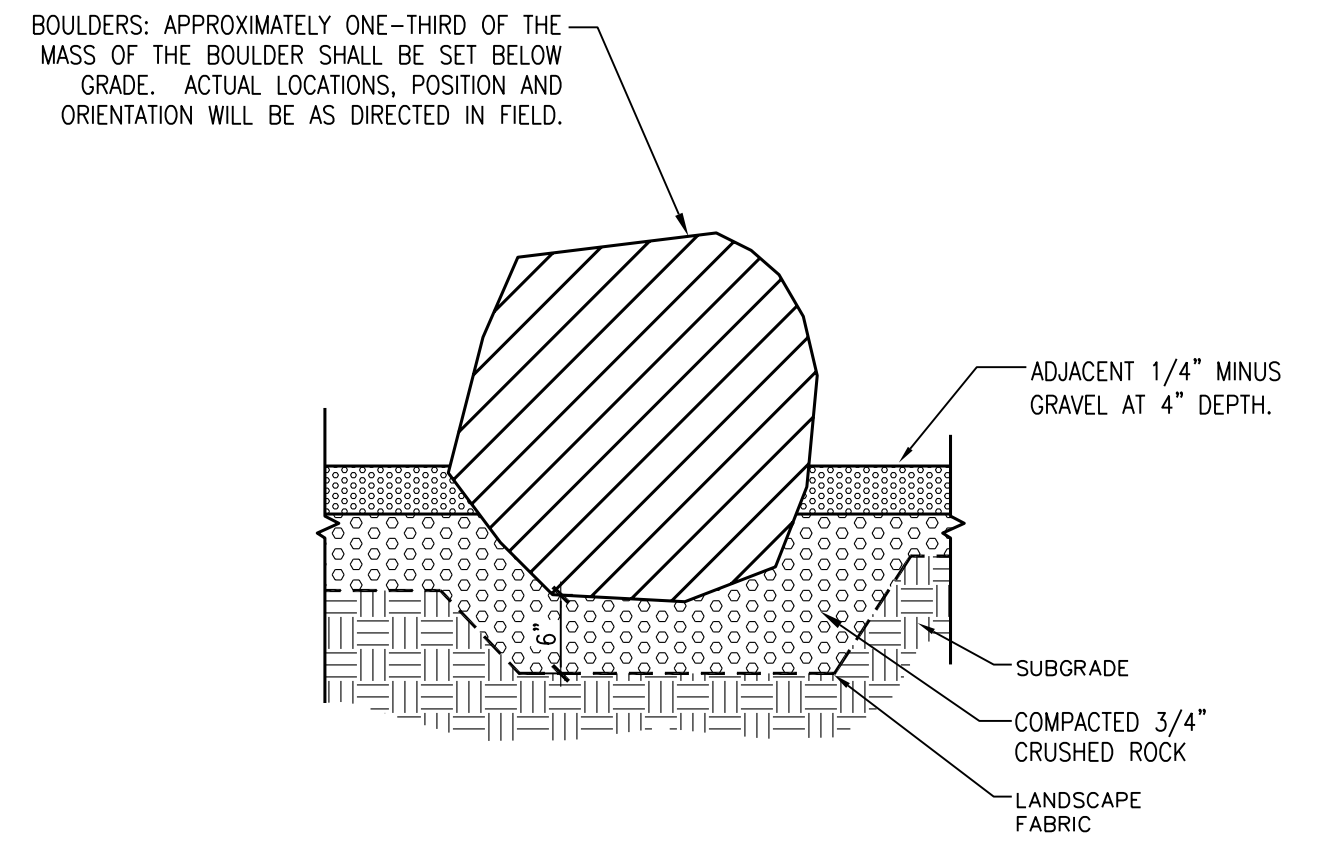
Issue	Revision	Date
SITE & DESIGN REVIEW		JULY 31, 2009

SITE PLAN DETAILS

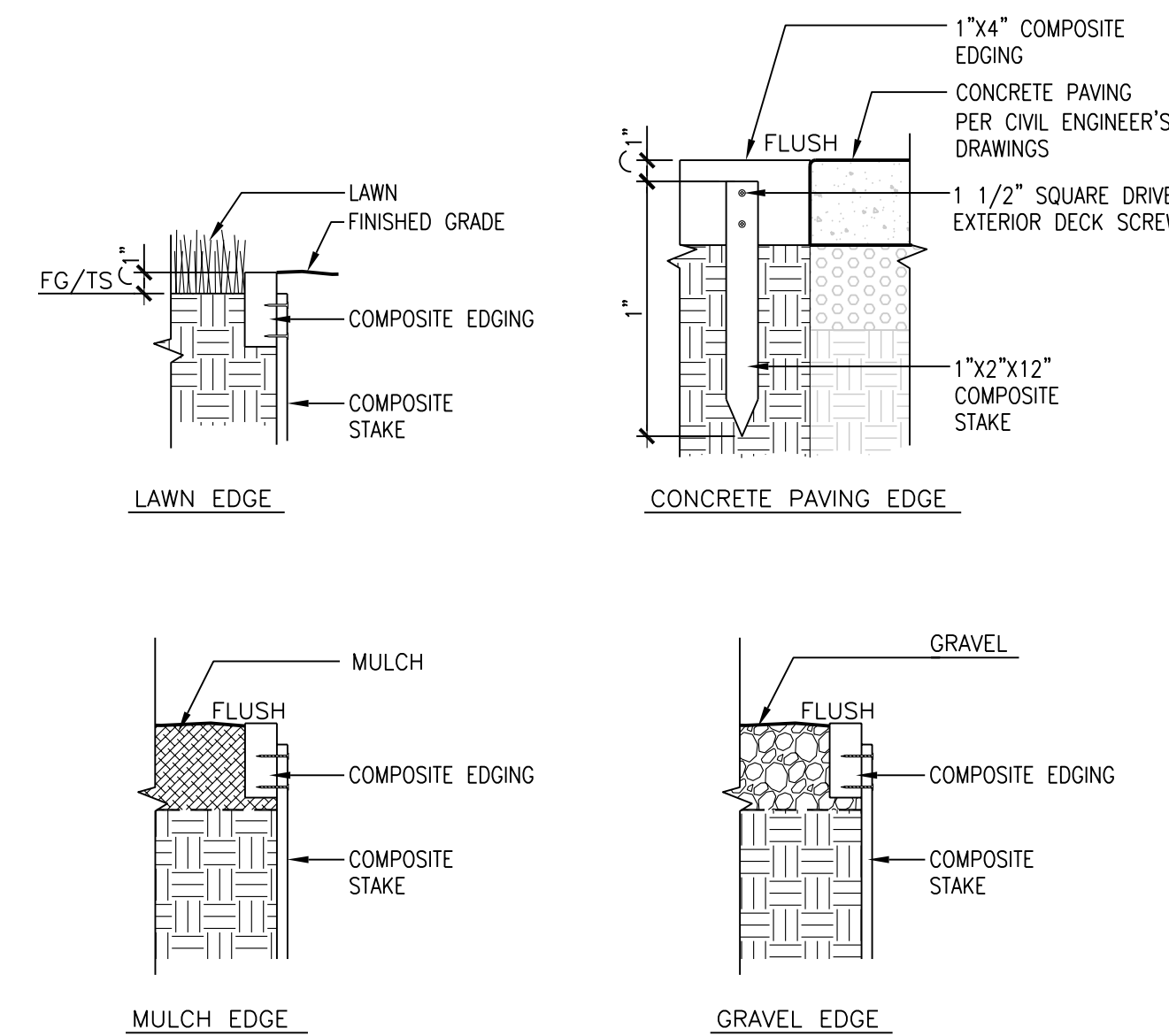
Scale 1" = 20'

Date JULY 31, 2009

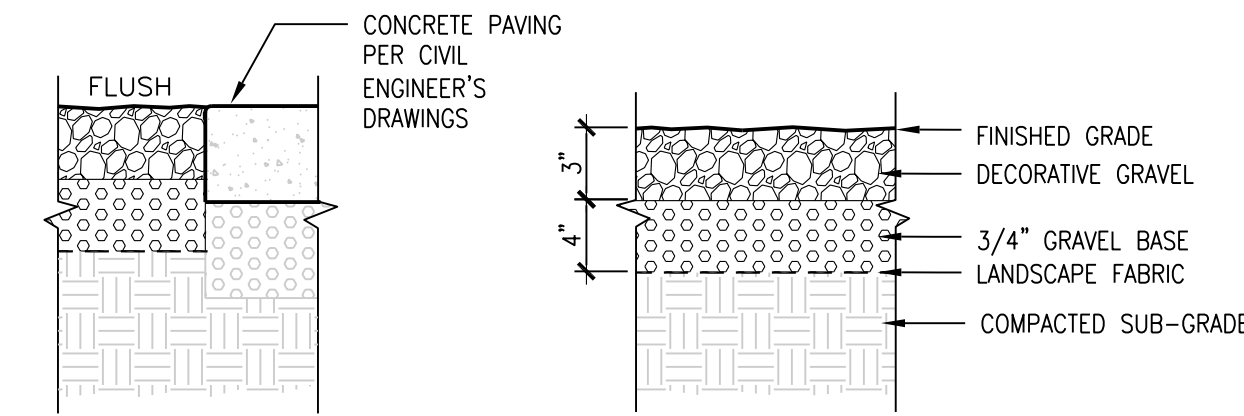
Sheet No. **L121**



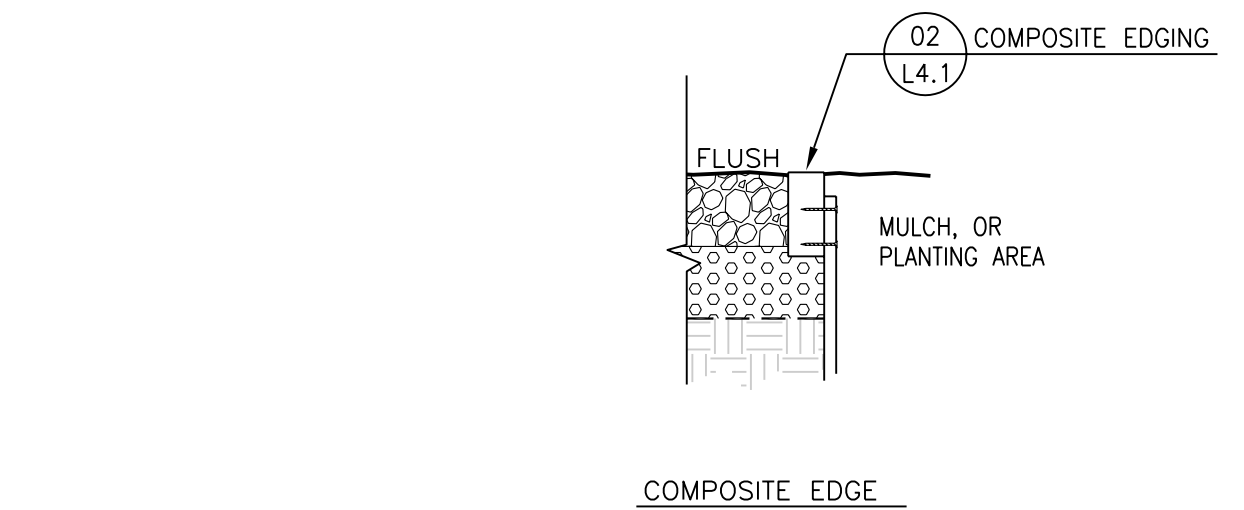
07 BOULDER SETTING
3/4" = 1'-0" D-BOULDER



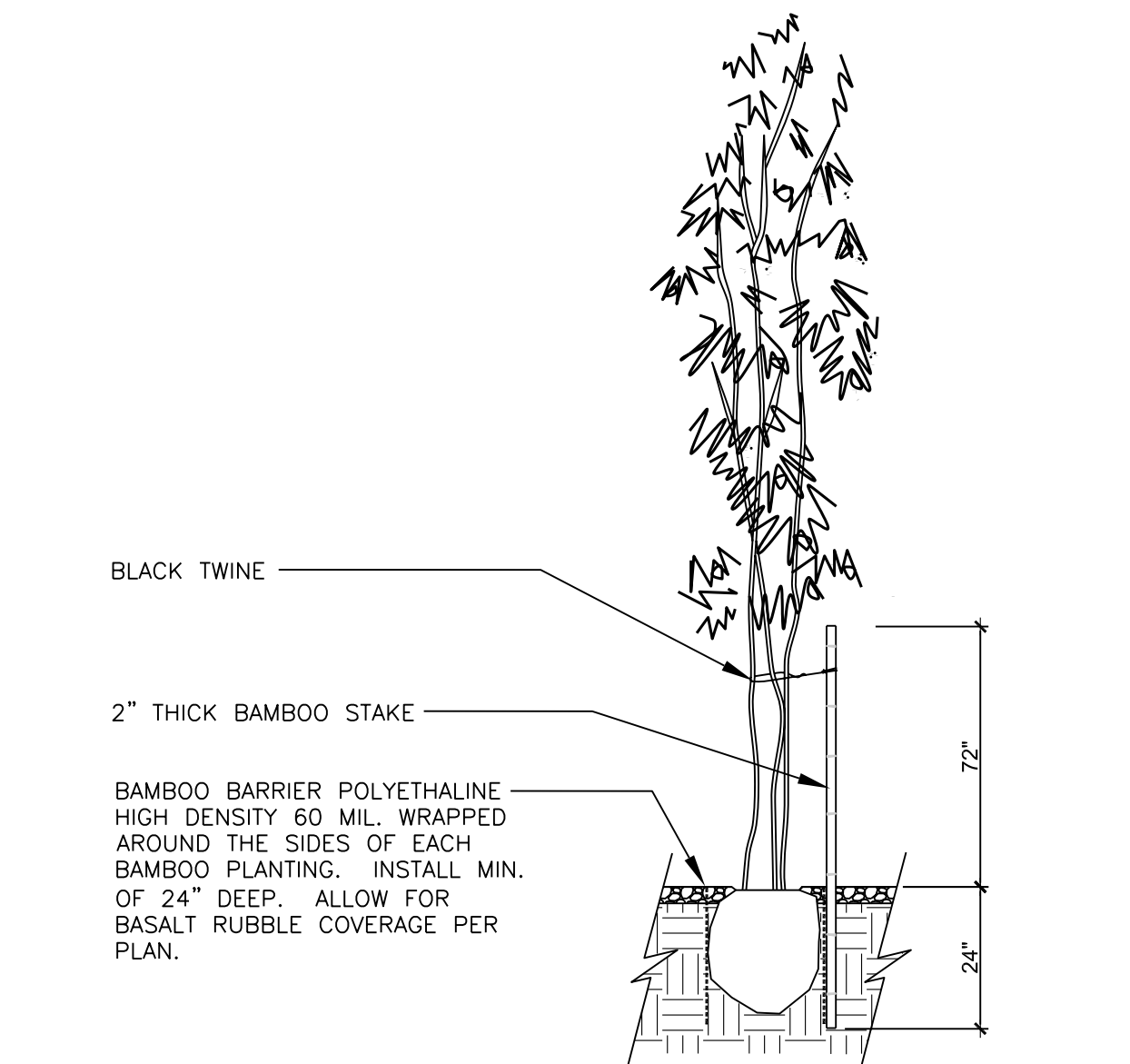
08 COMPOSITE EDGING
1 1/2" = 1'-0" D-EDGING-COMPOSITE



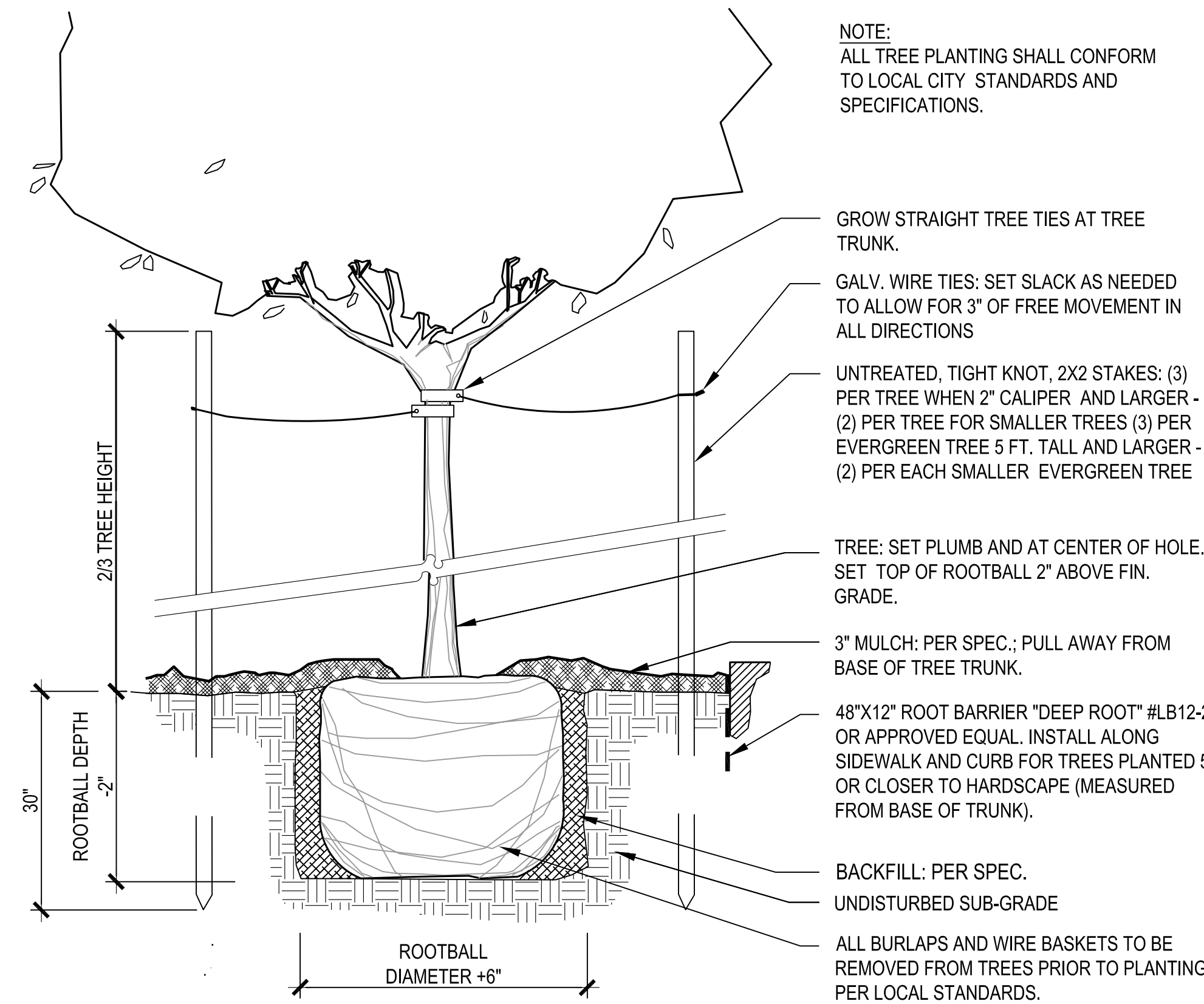
04 GRAVEL SURFACING
1 1/2" = 1'-0" D-GRAVEL



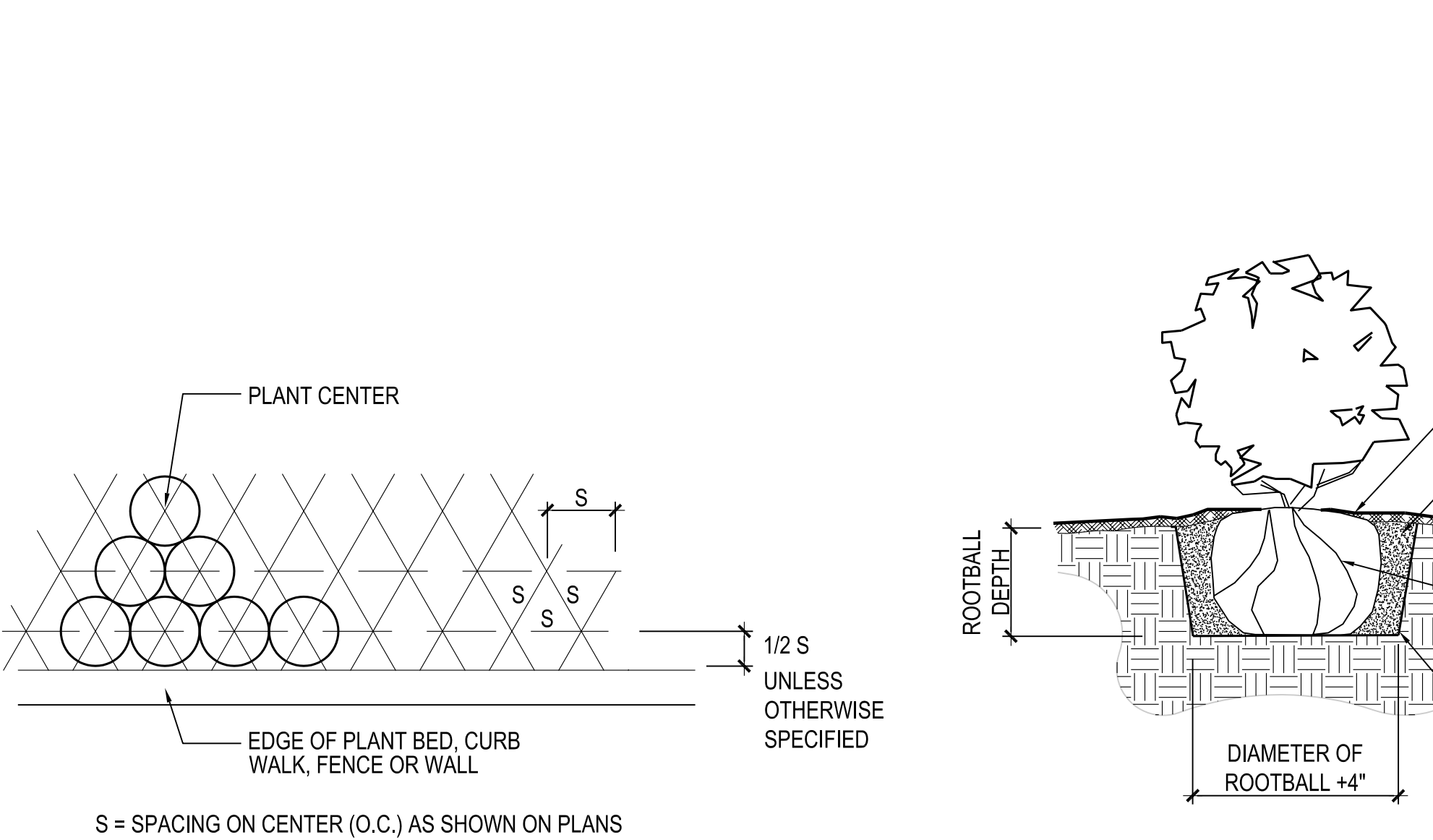
05 BAMBOO STAKING AND BARRIER
NTS D-BAMBOOBARRIER



06 BASALT RUBBLE RAIN DRAIN TO SWALE
1/2" = 1'-0" D-SPLASHPAD SCUPPER



01 TREE PLANTING
3/4" = 1'-0" DETAIL - FILE

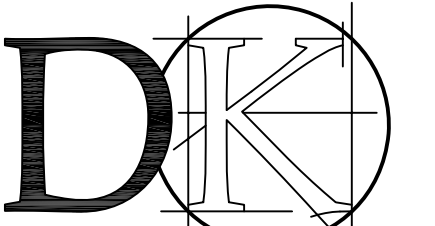


02 SHRUB PLANTING 1" = 1'-0" DETAIL - FILE
03 GROUNDCOVER SPACING 1/2" = 1'-0" DETAIL - FILE

DRAFT
NOT FOR CONSTRUCTION

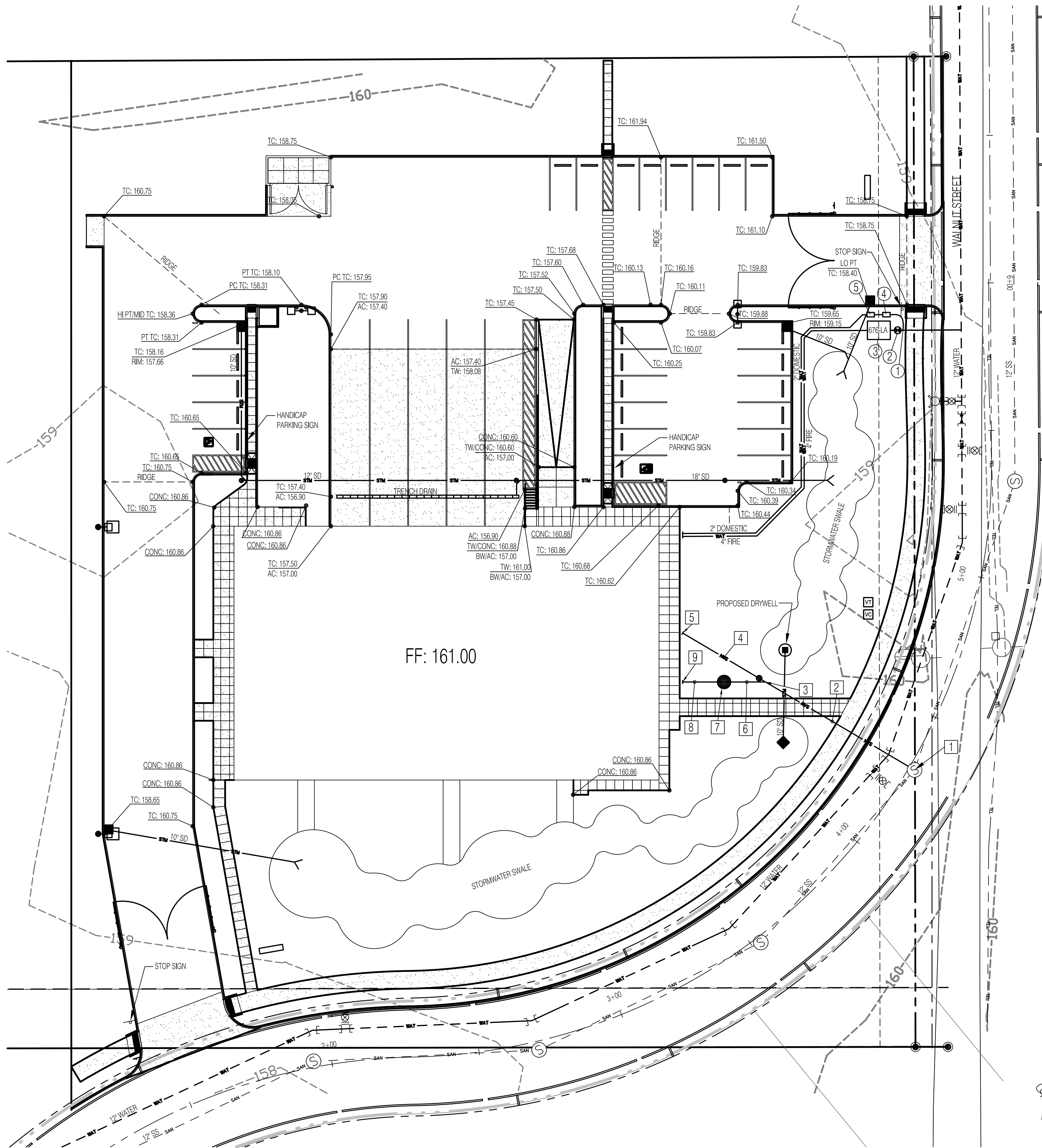
DRAGONBERRY PRODUCE
DISTRIBUTION CENTER

S. SEQUOIA PKWY AND S. WALNUT STREET
CANBY, OR 97013



& Associates
CIVIL ENGINEERING
LAND SURVEYING

PO BOX 901
AURORA, OR 97002
PH: 503.678.3353
FAX: 503.678.3351



WATER CONSTRUCTION NOTES

- 1 1 1/2" SERVICE TAP
- 2 INSTALL 4" GATE VALVE
- 3 INSTALL DOUBLE CHECK VALVE
W/ 4" FIRE LINE
VAULT TO BE 676-LA
- 4 INSTALL 1 1/2" WATER METER
- 5 INSTALL BACKFLOW PREVENTION ASSEMBLY

SANITARY SEWER CONSTRUCTION NOTES

- 1 EX. 33SMH
RIM: 158.84
P I.E. N: 151.43 SE
2" P I.E. N: 151.33 NE
3" P I.E. O.U.T: 151.23 SW

TAP INTO EXISTING MANHOLE
NEW P I.E. N: 151.43 NW
- 2 INSTALL 98 LF 8" SS S=0.2%
- 3 INSTALL SS WYE WITH CLEANOUT
I.E: 154.93
- 4 INSTALL 33 LF 4" SS S=0.2%
- 5 SS END
I.E: 157.00
- 6 INSTALL 144 LF 8" SS S=7.4%
- 7 INSTALL SS MONITORING MANHOLE
I.E: 158.00
- 8 INSTALL 144 LF 8" SS S=7.4%
- 9 SS END
I.E: 157.00

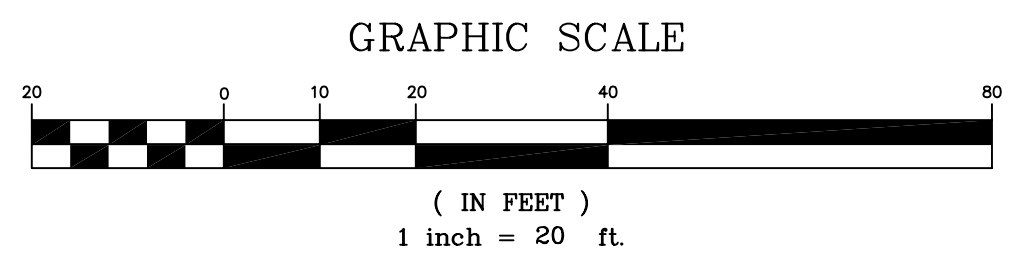
NOTES - ITEMS 7 THROUGH 10 OF GENERAL INFORMATION REQUIREMENTS
NO WATERCOURSES BORDER PROPERTY

THERE ARE NO ON-SITE AREAS THAT ARE SUBJECT TO STORMWATER OVERFLOW OR
STANDING WATER.

NO AREAS ON-SITE ARE SUBJECT TO INUNDATION IN THE 100-YEAR STORM EVENT

THERE ARE NO SIGNIFICANT NATURAL FEATURE THAT EXIST ON SITE. AREA WAS
PREVIOUSLY A CULTIVATED FIELD FOR AGRICULTURAL USES.

THERE ARE NO WETLANDS OR NATURAL DRAINAGE AREAS THAT EXIST ON-SITE.



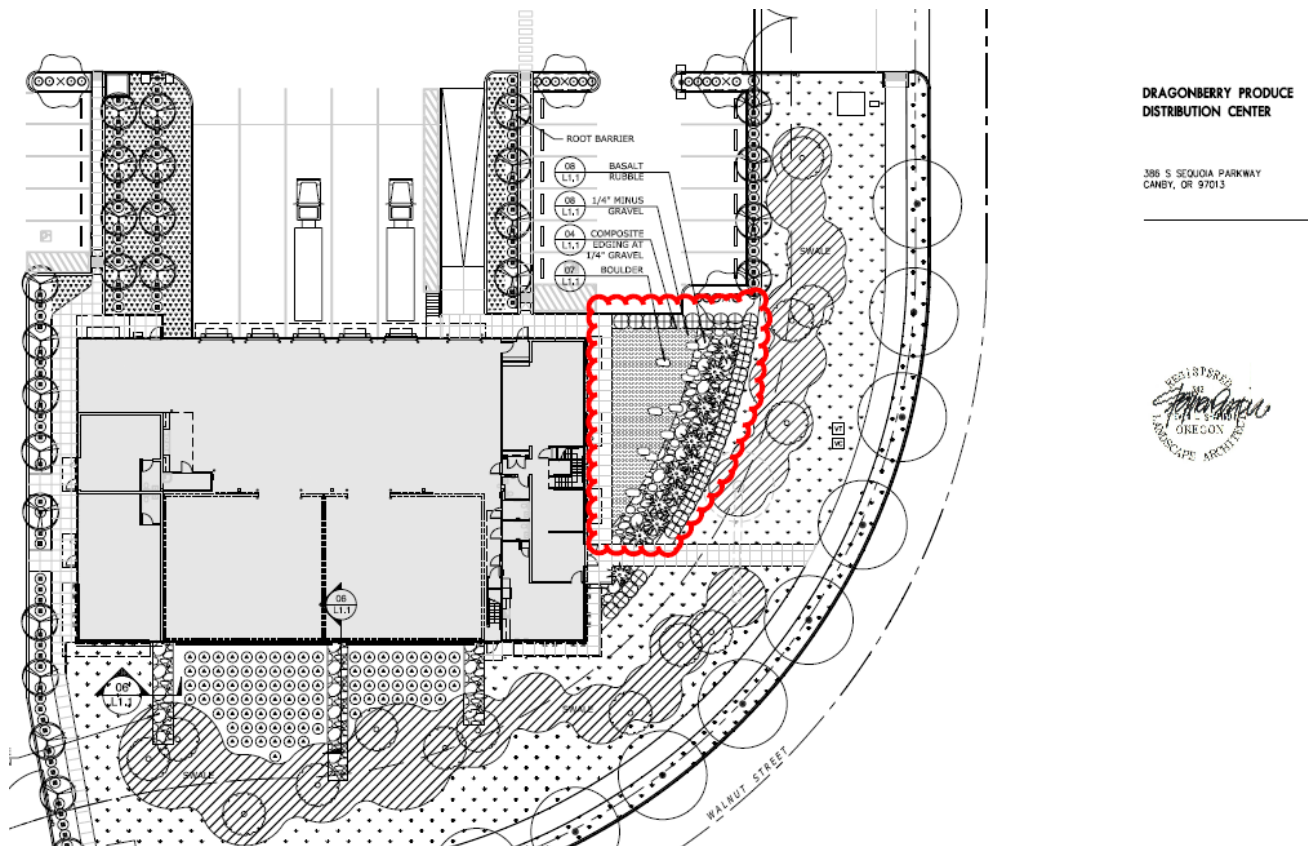
Issue	Revision	Date
DESIGN DEVELOPMENT		23 JUNE 2009

UTILITY PLAN

Scale 1"=20'
Date 06.xx.09

Sheet No. **211**

Usable Outdoor Amenity



The area circled in red is a zen rock garden, that has been planned as a usable outdoor amenity for congregation and contemplation, with seating provided by appropriately-sized boulders placed in and around the rock garden.

REQUEST FOR VARIANCE FROM IRRIGATION STANDARD

January 5, 2010

Mr. Christopher Spurgin
DECA Architecture
935 Southeast Alder Street
Portland, Oregon 97214-2415

RE: Dragonberry Irrigation – Variance of CMC 16.35.050.M

Dear Chris:

As the world's population is increasing and natural resources are diminishing, we all need to be all need to be thinking out of the box as to how future development is to occur. Though bountiful within the northwest, water is one of these resources and is slated to be "the oil of the 21st century". As landscape architects we feel it is professional responsibility to develop planting designs that are models of sustainability, designs that minimize the need for pesticides, fertilizers and water usage.

The intent of this letter is to explain our request for non-irrigation of 21,500 square feet of drought tolerant turf for the proposed Dragonberry project. Please note that we are requesting non irrigation for the lawn area only, all shrub areas will be irrigated. The Dragonberry project has been designed as a model of sustainability for the Canby community in terms of usage of materials, energy consumption and potable water demand.

As a model of sustainability, the exterior of the building has incorporated pavement that is reflective to heat, permeable material has been used where practical, swales enhanced with native plant material will be an important part of the overall site drainage system and plant material has been selected for low water demand. The turf selected, ODOT – Multipurpose Mix is an orchard type grass that is:

- Drought resistant and will thrive without a permanent irrigation system
- Low maintenance in terms of growth and need of fertilizer and pesticide
- Though may experience some browning during the peak of summer, will provide a rich green appearance throughout the rest of the year

A temporary irrigation system is intended to be used until the turf area is established and then will be removed.

It is time that Oregon landscapes start to reflect the planet's need to conserve. Many jurisdictions within the area have acknowledged this fact and do not mandate that lawns be irrigated.

It is with these thoughts in mind that are the basis for our irrigation variance request. Please let us know if any additional information can be provided.

Sincerely,

SHAPIRO DIDWAY

Stephen L. Shapiro, ASLA, LEED AP
Principal

503.232.0520 (p) 503.232.0449 (f)
1204 SE WATER AVENUE, PORTLAND, OR 97214

SHAPIRO DIDWAY LANDSCAPE ARCHITECTURE
Campus Design Urban Housing Residential Design

REQUEST FOR VARIANCE FROM STREET CONSTRUCTION STANDARD

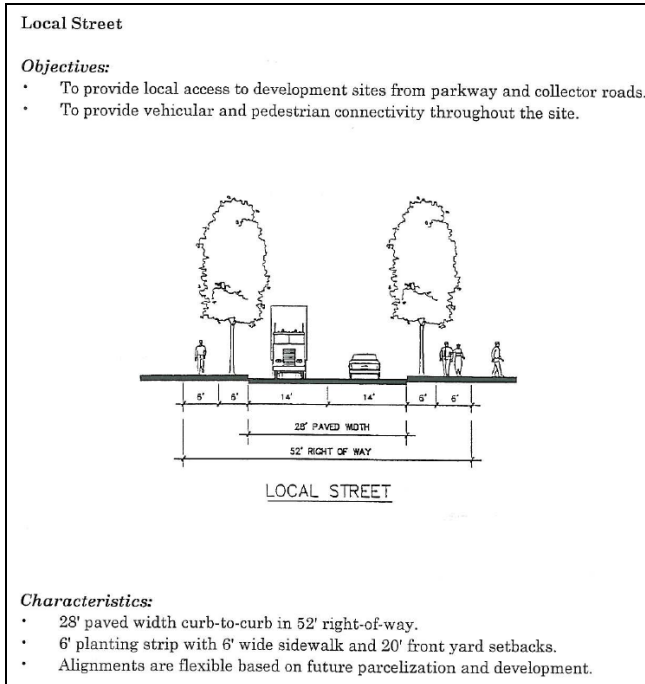


Figure 1. Street Standard

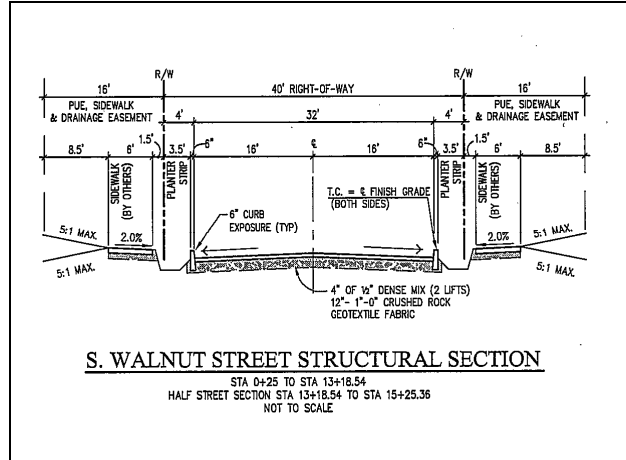


Figure 2. Variance Request

From: Curt McLeod [mailto:cjm@curran-mcleod.com]
Sent: Wednesday, January 27, 2010 6:19 PM
To: Melissa Hardy
Cc: Catherine Comer
Subject: Re: City of Canby - Question on S. Walnut Street

In 2008, the City of Canby met with the stakeholders along S Walnut Street to assist in securing agreement of all property owners to proceed with the street improvement project. The 28 foot traveled surface and 52 foot right-of-way widths were a major point of discussions, citing concerns by the Public Works staff over the narrow traveled surface, and concerns by the property owners over the increased right-of-way dedication requirements. Prior to adoption of the industrial park zoning, the City standard for local streets was a 36 foot traveled surface in a 40 foot right-of-way.

The public works department recommended the traveled surface of South walnut Street be a minimum of 32 feet to accommodate truck traffic. Additionally, they agreed the right-of-way widths could be reduced to 40 feet if the utility easements were increased from 12 to 16 feet. These revised sections were documented in the LID report submitted to the City Council and approved in October 2008, and used as the basis for redevelopment plans for the entire reach of S Walnut Street.

The partition plat, which includes the Dragonberry and Burden properties, was prepared with the reduced right-of-way widths and increased easements as proposed to the property owners in the LID adoption process. This revised section is compatible with the Planning Commission approvals given to the Lewelling and Zimmer properties at the north end of the S Walnut Street improvement project. The cost of the increased traveled surface is allocated to all adjoining property owners through the LID assessments. The reduced right-of-way widths allowed a reduction in the project costs allocated to the property owners.

Curt McLeod
 CURRAN-MCLEOD, INC.
 6655 SW Hampton St., Suite 210
 Portland, Oregon 97223

TRANSPORTATION ANALYSIS

Transportation Analysis is attached (see following 7 pages).

January 5, 2010

Melissa Hardy
City of Canby Planning
170 NW 2nd Avenue
Canby, OR 97013



**LANCASTER
ENGINEERING**

321 SW 4th Ave., Suite 400
Portland, Oregon 97204
phone: 503.248.0313
fax: 503.248.9251
lancasterengineering.com

RE: Dragonberry Produce – Traffic Analysis Letter

Dear Melissa:

This letter is written to address the traffic impacts of the proposed distribution center for Dragonberry Produce in Canby, Oregon. This letter will discuss the trip generation and distribution of the site-generated traffic, access spacing along Walnut Street, and sight distance measurements at the proposed site access driveways onto Walnut Street.

Trip Generation & Distribution

In order to estimate the number of trips generated by the proposed distribution center, trip rates from *TRIP GENERATION*, Eighth Edition, published by the Institute of Transportation Engineers (ITE) were used. The ITE Trip Generation Manual does not have a specific category for a distribution center although there several similar land uses, such as warehousing and high-cube warehouse. The ITE Trip Generation Manual describes Land Use 150: *Warehousing* as such: “Warehouses are primarily devoted to the storage of materials, but they may also include office and maintenance areas.” Since the description in the ITE Manual closely matches the proposed use, Land Use 150: *Warehousing* was used to determine trip generation at the proposed facility. The table below summarizes the trip generation of the proposed development.

Trip Generation Dragonberry Produce									
	AM Peak Hour			PM Peak Hour			Weekday		
	In	Out	Total	In	Out	Total	In	Out	Total
<i>Distribution Center</i>									
14,448 sq. ft.	3	1	4	3	9	12	26	26	52

In order to assign trips generated by the site to the surrounding street network, a directional distribution was assumed. It was assumed that all site trips will travel to and from the site via Sequoia



Melissa Hardy
January 5, 2010
Page 2 of 4

Parkway to the north and connecting to Highway 99E. In the future, as nearby properties continue to develop and alternative routes to Highway 99E are established, this distribution may begin to change, but for the near-term analysis in this report, the current distribution pattern was used. The trip distribution at Highway 99E was based on traffic volumes at the intersection.

Trips exiting the site will travel north on Sequoia Parkway to the intersection of Sequoia Parkway and Highway 99E. At the intersection, approximately 70 percent will travel west on Highway 99E, 20 percent will travel north of Redwood Street/1st Avenue, and 10 percent will travel east on Highway 99E. Of the trips entering the site, approximately 70 percent will be from the west on Highway 99E and 15 percent will be from both the east on Highway 99E and north on Redwood Street/1st Avenue. Figure A-1 in the attached Technical Appendix shows the trip distribution as well as the distribution of the site trips during both the morning and evening peak hours.

Access Spacing

Two access driveways along S Walnut Street are proposed to the distribution center with one on the south side of the site and the other on the east. Due to the multiple access driveways along S Walnut Street, access spacing was examined. The City of Canby requires driveways to be located at least 50 feet from the intersection of any collector or arterial streets. Since Sequoia Parkway is a collector street, the south driveway must be at least 50 feet from the intersection.

The south access driveway location is approximately 95 feet from the intersection of S Walnut Street and S Sequoia Parkway. Therefore, access spacing requirements are met. In addition, due to low traffic volumes expected on S Walnut Street, queues on the S Walnut Street approach at the intersection of S Walnut Street and S Sequoia Parkway are not expected to be significant. Therefore, the spacing between the south access driveway and the intersection of S Walnut Street and S Sequoia Parkway will be adequate.

East of the south access driveway, S Walnut Street will curve to the north. The second access driveway is to the east and north onto S Walnut Street. There is approximately 420 feet between the south access driveway and the east access driveway.

With reconstruction of S Walnut Street, an existing driveway will be connected to the new street. The driveway will be located approximately 280 feet from the intersection of Sequoia Parkway and S Walnut Street. The driveway will be located approximately 155 feet east of the proposed south access driveway for Dragonberry Produce and approximately 205 feet south of the proposed east access driveway for Dragonberry Produce.

There is adequate access spacing along S Walnut Street with this configuration to provide for safe travel.

Melissa Hardy
January 5, 2010
Page 3 of 4

Sight Distance

The City of Canby also requires a sight distance measurement at the proposed site access driveways onto S Walnut Street. While the new alignment of S Walnut Street is not currently constructed, detailed plan drawings are available. Based on elevation drawings along S Walnut Street, the terrain is very flat so vertical curvature will not limit sight distance at the driveways. The horizontal curvature of Walnut Street and the location of the building on the inside of the corner have the potential to limit sight distance.

The required intersection sight distance was calculated from equations given in *A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS*, published in 2001 by the American Association of State Highway and Transportation Officials (AASHTO). The measurements are based on a driver's eye height of 3.5 feet above the roadway and an object height of 3.5 feet, with the driver's eye 15 feet from the edge of the near side of the travel lane.

The speed limit along S Walnut Street will be 25 mph, based on the S Walnut Street plans, requiring 280 feet of intersection sight distance in both directions.

At the east driveway, approximately 330 feet of sight distance is available to the south along S Walnut Street. Sight distance beyond 330 feet is restricted by the building. To ensure sight distance will continue to be met at the site access driveway, the sight line shown in Figure A-2, in the Technical Appendix, should be kept clear of any structures and growth which extend higher than 3.5 feet from the ground. To the north, the site plan extends only to the north property line. Using the site plan and also the plan set for S Walnut Street, it can be seen that S Walnut Street will not have any horizontal curvature that could restrict sight distance and as stated previously, no vertical curvature that could restrict sight distance. Therefore, sight distance will be in excess of 280 feet and thus satisfy the intersection sight distance requirement.

At the south driveway, approximately 325 feet of sight distance is available to the east along S Walnut Street. Sight distance beyond 325 feet is restricted by the building. To the west, sight distance is available through the intersection of Sequoia Parkway and S Walnut Street.

Intersection sight distance will be acceptable at both driveways, but on-site building and landscaping should be done to preserve the necessary lines of sight on the inside of the curve on S Walnut Street.

Conclusions

The proposed distribution center for Dragonberry Produce will be 14,448 square feet and is expected to generate approximately 4 morning peak hour trips and 12 evening peak hour trips.

Melissa Hardy
January 5, 2010
Page 4 of 4

In the near term, it is expected that all site traffic will travel to and from the site on S Walnut Street and Sequoia Parkway. At the intersection of Sequoia Parkway, traffic is distributed with no more than six site trips added to a single movement.

Access spacing was reviewed as part of this analysis. The City of Canby requires that driveways be at least 50 feet from the intersection of an arterial or collector. Based on the proposed site plan, the south access driveway will be located approximately 95 feet from the intersection of Sequoia Parkway and S Walnut Street. Therefore, access spacing requirements are satisfied for the south driveway.

Intersection sight distance at both proposed access driveways was also examined as part of the analysis for this site. At the south access driveway there is approximately 325 feet of intersection sight distance to the east. To the west, intersection sight distance is available through the intersection of Sequoia Parkway and S Walnut Street. At the east access driveway there is approximately 330 feet of intersection sight distance to the south and in excess of 300 feet of intersection sight distance to the north.

If you have any questions regarding this addendum or if you need any further assistance, please don't hesitate to call.

Yours truly,

Micah E. Heckman, EIT
Transportation Analyst





TRIP GENERATION CALCULATIONS

Land Use: Warehousing
Land Use Code: 150
Variable: 1,000 Square Feet
Variable Quantity: 14.45

AM PEAK HOUR

Trip Rate: 0.30

	Enter	Exit	Total
Directional Distribution	79%	21%	
Trip Ends	3	1	4

PM PEAK HOUR

Trip Rate: 0.86

	Enter	Exit	Total
Directional Distribution	25%	75%	
Trip Ends	3	9	12

WEEKDAY

Trip Rate: 3.56

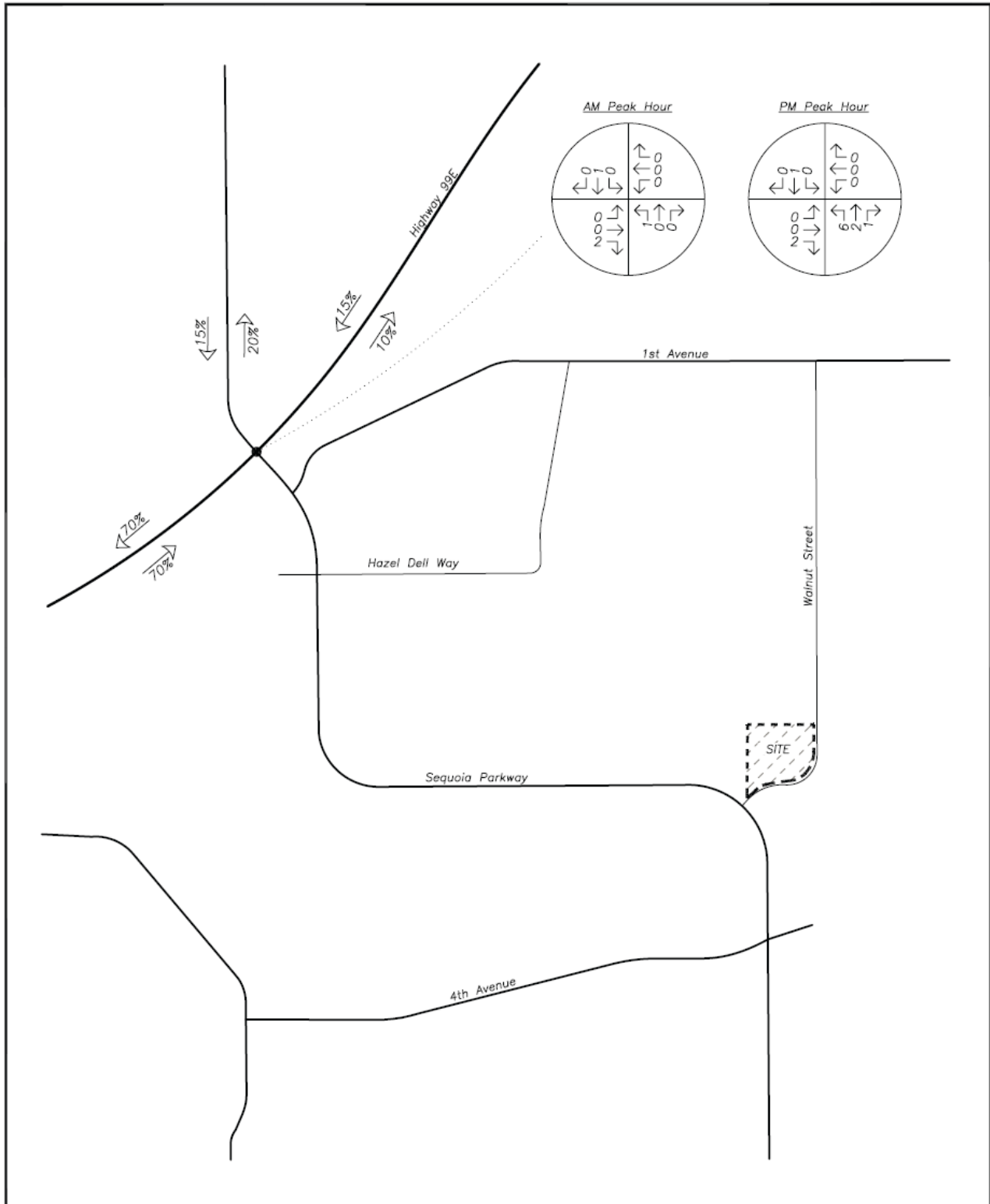
	Enter	Exit	Total
Directional Distribution	50%	50%	
Trip Ends	26	26	52

SATURDAY

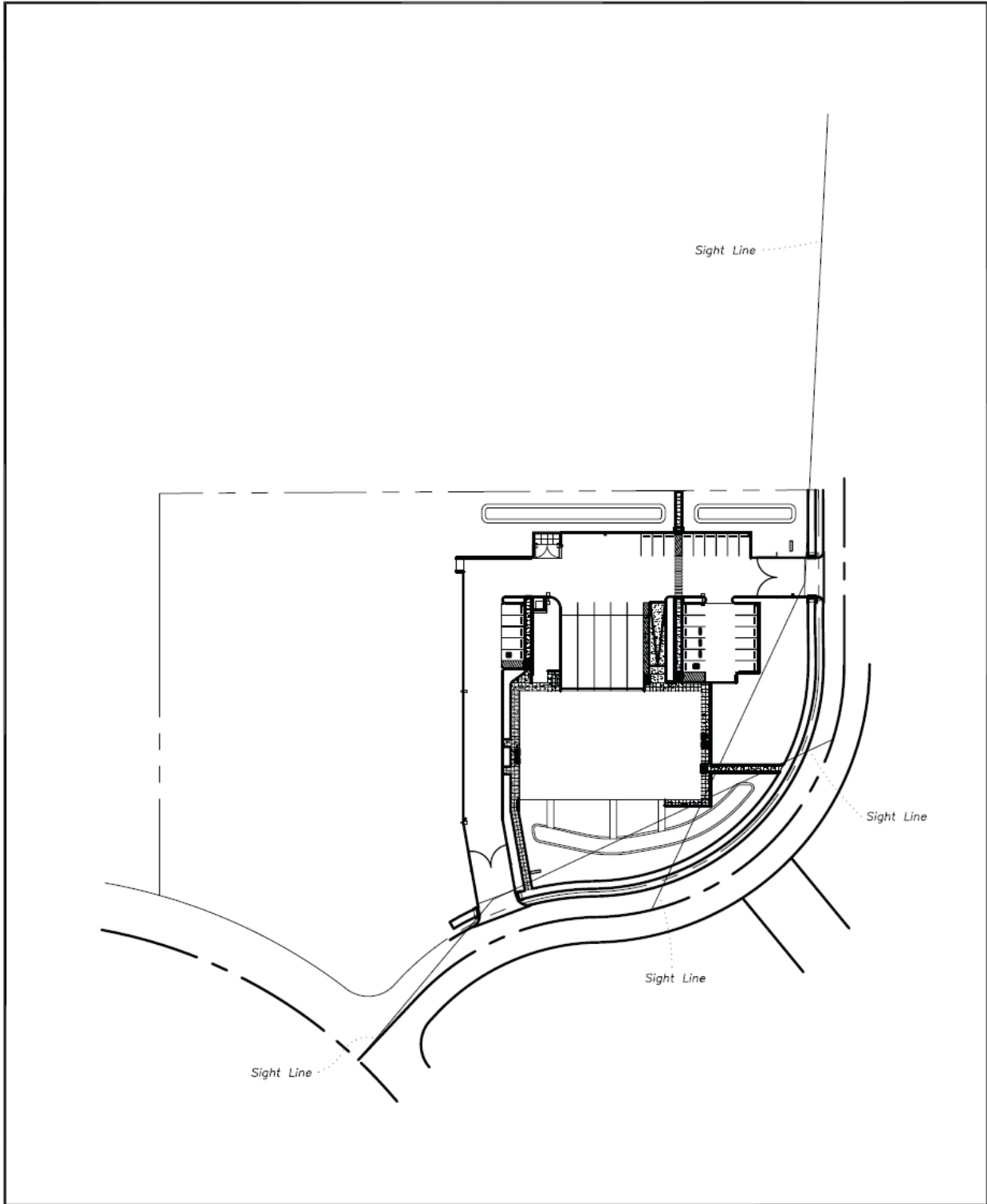
Trip Rate: 1.23

	Enter	Exit	Total
Directional Distribution	50%	50%	
Trip Ends	9	9	18

Source: TRIP GENERATION, Eighth Edition



 <p>VICINITY MAP & SITE TRIPS Proposed Development Plan AM & PM Peak Hours</p>	 no scale	FIGURE A-1
		PAGE --



SIGHT DISTANCE
Sight Lines at Access Driveways



FIGURE
A-2

PAGE
--

SERVICE PROVIDER COMMENTS

Service provider comments are attached (see following 9 pages).

Dragon Berry Produce
DR 09-02
01-20-10

Public Works Recommended Conditions:

- Tenant or Applicant must complete a Non-Residential Wastewater Survey for review by the Public Works Department prior to final occupancy.
- Loading dock drain routed to sanitary must be covered and sloped to prevent rainwater from entering the catch basin prior to final occupancy.
- If process water is generated on site, the Public Works Director shall determine whether pretreatment is required prior to discharge to the sanitary sewer, including but not limited to a sampling manhole, flow monitoring device, and automatic sampler.
- The applicant shall install a sewer cleanout at the back of the sidewalk prior to entering the public ROW. Applicant shall contact the City Engineer to coordinate the location of the sewer lateral.
- Applicant shall provide the Public Works Director written documentation from Oregon DEQ as to whether a stormwater 1200-C NPDES permit is required or not. A copy of the 1200-C NPDES application and permit, including the erosion sediment control plan shall be submitted to Public Works Department for review.
- All Canby Erosion and Sediment Control permits must be obtained from Public Works Department prior to disturbing soil at the site.
- Loading dock drains, if exposed to rainfall, must be routed to the onsite stormwater collection and disposal system.
- Trash enclosures and/or dumpsters shall not have drains located directly beneath them.
- Applicant shall have commercial driveway plans approved by the Public Works Director/City Engineer prior to constructing the proposed driveways. All driveway construction shall be inspected and approved by Public Works Department prior to final occupancy permit.

Dragon Berry 1-20-10

CURRAN-McLEOD, INC.
CONSULTING ENGINEERS

6655 S.W. HAMPTON STREET, SUITE 210
PORTLAND, OREGON 97223

January 22, 2010

MEMORANDUM

TO: Ms. Melissa Hardy
FROM: Hassan Ibrahim, PE
RE: **CITY OF CANBY
DRAGONBERRY PRODUCE DISTRIBUTION CENTER
APPLICATION REVIEW (DR 09-02)**

We are in receipt of deca Architecture, Inc. Site and Design Review application that was submitted January 13, 2010. Our responses and recommendations are identified below. All of these comments should be addressed in the final design:

1. The City will construct the majority of the public improvements on Walnut Street along the frontage of this development except for landscaping and sidewalks. The City "South Walnut Street LID" project will include constructing 32-foot wide paved street, curbs on both sides, sanitary sewer, waterlines and drainage swales. The improvements will be located in a 40-foot wide right-of-way (ROW) and a 16-foot wide public utility easement (PUE) to be acquired from the adjoining property owners by the City. The property owner shall dedicate 20-foot right of way and 16-foot wide sidewalk, storm drainage and public utility easement parallel and abutting the new Walnut Street alignment.
2. The property owner shall construct a 6-foot wide concrete sidewalk, street trees behind the sidewalks and commercial driveways at approved locations to City standards. The sidewalks will be located 5.5 feet from the face of the curb line or 21.5 feet from the ROW centerline of the new Walnut Street alignment. Street trees type shall be approved the City public works director.
3. This development covers 2 acres of the 3.95 acres lot 5 of "Struble Estates" plat, Clackamas County Subdivision plat book 139, page 008, no. 4236 plat. Vehicular access to the remainder of lot 5 of "Struble Estates" plat shall be through this development at the approved driveway locations.
4. Water and sanitary sewer services to this development shall be provided by The City "South Walnut Street LID" project at locations provided by the developer's design engineer on January 21, 2010.

C:\HAN\Projects\Canby\1009 Gen Eng\Dragonberry Produce Revised Review 2.wpd

PHONE: (503) 684-3478

E-MAIL: cml@curran-mcleod.com

FAX: (503) 624-8247

Ms. Melissa Hardy
January 22, 2010
Page 2

5. Storm drainage runoff shall be disposed on-site and will not be allowed to discharge into the public system.
6. With the narrow roadway width, access driveways along Walnut Street shall be commercial type with large radius curb returns to account for truck traffic. Public sidewalks shall extend across the driveways.
7. The existing right of way and public utility easement dedicated along the frontage of this property as part of the "Struble Estates" plat, Clackamas County Subdivision plat book 139, page 008, no. 4236 plat shall be modified to be comparable with the new Walnut Street alignment.

Responses to the revised Site and Design Review application (January 2010):

8. *"The applicant is requesting approval of a concurrent variance from CMC 16.49.120.9 in order to waive the requirement for automatic irrigation or water spigots for the lawn-portion of the landscaped areas".*

This requirement is not discussed in explicit details in CMC Chapter 16.35.050.N "Canby Industrial Area Overlay (I-O) Zone". We have no concerns with approving this variance request.

9. *"The applicant is requesting approval of a concurrent variance from CMC 16.35.050.G in order to allow different street improvements on S. Walnut Street than required by code".*

The Industrial Area Master Plan does not show a direct connection between Sequoia Parkway and S. Walnut Street. As described in item 1 above, the City will complete the majority of the public improvements except for sidewalks and street trees and assess all the associated costs to the pertinent property owners as part of the "South Walnut Street LID" project. We have no concerns with approving this variance request.

cc: Mr. Dwayne Barnes, City of Canby
Mr. Jeff Crowther, City of Canby

C:\HAI\Projects\Canby\1009 Gen Eng\Dragonberry Produce Revised Review 2.wpd

**CANBY PLANNING DEPARTMENT
REQUEST FOR COMMENTS**

P.O. Box 930, Canby, OR 97013

[503] 266-7001

FAX 266-1574

DATE: January 13, 2010

- TO:**
- | | |
|---|---|
| <input type="checkbox"/> FIRE | <input type="checkbox"/> CANBY POST OFFICE |
| <input checked="" type="checkbox"/> POLICE | <input type="checkbox"/> CLACKAMAS COUNTY ASSESSOR |
| <input type="checkbox"/> Dwayne Barnes PUBLIC WORKS | <input type="checkbox"/> CLACKAMAS COUNTY 911 |
| <input type="checkbox"/> Jeff Crowther PUBLIC WORKS | <input type="checkbox"/> CLACKAMAS COUNTY TRANSPORTATION |
| <input type="checkbox"/> CANBY ELECTRIC | <input type="checkbox"/> TRAFFIC SAFETY COMMISSION |
| <input type="checkbox"/> CANBY WATER | <input type="checkbox"/> CLACKAMAS COUNTY |
| <input type="checkbox"/> CITY ENGINEER | <input type="checkbox"/> CANBY SCHOOL DISTRICT |
| <input type="checkbox"/> CANBY TELCOM | <input type="checkbox"/> OREGON DEPT. TRANSPORTATION |
| <input type="checkbox"/> NW NATURAL | <input type="checkbox"/> ODOT/REGION 1/DIST 2B |
| <input type="checkbox"/> WAVE | <input type="checkbox"/> STATE OF OREGON/REVENUE |
| <input type="checkbox"/> CANBY DISPOSAL | <input type="checkbox"/> Catherine Comer ECONOMIC DEVELOPMENT |
| <input type="checkbox"/> CITY ATTORNEY | <input type="checkbox"/> PARKS AND RECREATION |
| <input type="checkbox"/> BIKE AND PEDESTRIAN COMM | <input type="checkbox"/> CITY TRANSPORTATION ENGINEER |
| <input type="checkbox"/> PGE | <input type="checkbox"/> BUILDING OFFICIAL |
| <input type="checkbox"/> CANBY AREA TRANSIT | <input type="checkbox"/> OTHER _____ |

- The City has received **DR 09-02**, an application from Chris Spurgin requesting Site and Design Review approval to build a 14,448 square foot commercial building and an accessory parking lot on a 2-acre site. The project site is zoned M-1 (Light Industrial), and is located in the Canby Industrial Area Overlay zone in the 300 Block of S. Walnut Street (a 2-acre portion of Clackamas County Assessor Map & Tax Lot No. 31E34-01805).
- The applicant is requesting approval of a concurrent variance from CMC 16.49.120.9 in order to waive the requirement for automatic irrigation or water spigots for the lawn-portion of the landscaping area.
- The applicant is requesting approval of a concurrent variance from CMC 16.35.050.G in order to allow different street improvements on S. Walnut Street than required by code.

Please review the enclosed updated plot plan and return comments to Melissa Hardy by **Wednesday, January 27, 2010**. Please indicate any conditions of approval you wish the Planning Commission to consider. Thank you.

Comments or Proposed Conditions:

Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: _____ **Date:** 1/14/10

Title: Lieutenant **Agency:** Police

**CANBY PLANNING DEPARTMENT
REQUEST FOR COMMENTS**

P.O. Box 930, Canby, OR 97013

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Signature: R. Good **Date:** 1.14.10

Title: Building official **Agency:** City

CANBY PLANNING DEPARTMENT REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

[503] 266-7001 FAX 266-1574

DATE: January 13, 2010

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Please review the enclosed updated plot plan and return comments to Melissa Hardy by Wednesday, January 27, 2010. Please indicate any conditions of approval you wish the Planning Commission to consider. Thank you.

Comments or Proposed Conditions:

an electrical plan has been submitted to the Developer

Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: Doby Stoddell Date: 1-19-10

Title: Line Foreman Agency: Canby Utility Elect.

**CANBY PLANNING DEPARTMENT
REQUEST FOR COMMENTS**

P.O. Box 930, Canby, OR 97013

[503] 266-7001

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Please check one box and sign below:

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- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: Patrick Phelan Date: 1/14/10

Title: Wtr Dept - Foreman Agency: Canby Utility Board

CANBY PLANNING DEPARTMENT REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

503) 266-7001

FAX 266-1574

DATE: January 13, 2010

- TO:
- | | |
|---|---|
| <input type="checkbox"/> FIRE | <input type="checkbox"/> CANBY POST OFFICE |
| <input type="checkbox"/> POLICE | <input type="checkbox"/> CLACKAMAS COUNTY ASSESSOR |
| <input type="checkbox"/> Dwayne Barnes PUBLIC WORKS | <input type="checkbox"/> CLACKAMAS COUNTY 911 |
| <input type="checkbox"/> Jeff Crowther PUBLIC WORKS | <input type="checkbox"/> CLACKAMAS COUNTY TRANSPORTATION |
| <input type="checkbox"/> CANBY ELECTRIC | <input type="checkbox"/> TRAFFIC SAFETY COMMISSION |
| <input type="checkbox"/> CANBY WATER | <input type="checkbox"/> CLACKAMAS COUNTY |
| <input type="checkbox"/> CITY ENGINEER | <input type="checkbox"/> CANBY SCHOOL DISTRICT |
| <input type="checkbox"/> CANBY TELCOM | <input type="checkbox"/> OREGON DEPT. TRANSPORTATION |
| <input type="checkbox"/> NW NATURAL | <input type="checkbox"/> ODOT/REGION 1/DIST 2B |
| <input type="checkbox"/> WAVE | <input type="checkbox"/> STATE OF OREGON/REVENUE |
| <input checked="" type="checkbox"/> CANBY DISPOSAL | <input type="checkbox"/> Catherine Comer ECONOMIC DEVELOPMENT |
| <input type="checkbox"/> CITY ATTORNEY | <input type="checkbox"/> PARKS AND RECREATION |
| <input type="checkbox"/> BIKE AND PEDESTRIAN COMM | <input type="checkbox"/> CITY TRANSPORTATION ENGINEER |
| <input type="checkbox"/> PGE | <input type="checkbox"/> BUILDING OFFICIAL |
| <input type="checkbox"/> CANBY AREA TRANSIT | <input type="checkbox"/> OTHER _____ |

- The City has received DR 09-02, an application from Chris Spurgin requesting Site and Design Review approval to build a 14,448 square foot commercial building and an accessory parking lot on a 2-acre site. The project site is zoned M-1 (Light Industrial), and is located in the Canby Industrial Area Overlay zone in the 300 Block of S. Walnut Street (a 2-acre portion of Clackamas County Assessor Map & Tax Lot No. 31E34-01805).
- The applicant is requesting approval of a concurrent variance from CMC 16.49.120.9 in order to waive the requirement for automatic irrigation or water spigots for the lawn-portion of the landscaping area.
- The applicant is requesting approval of a concurrent variance from CMC 16.35.050.G in order to allow different street improvements on S. Walnut Street than required by code.

Please review the enclosed updated plot plan and return comments to Melissa Hardy by Wednesday, January 27, 2010. Please indicate any conditions of approval you wish the Planning Commission to consider. Thank you.

Comments or Proposed Conditions:

Please check one box and sign below:

- Adequate Public Services (of your agency) are available
- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public services are not available and will not become available

Signature: Frank Kohut Date: 1-15-10

Title: President Agency: Canby Disposal Co

CANBY PLANNING DEPARTMENT REQUEST FOR COMMENTS

P.O. Box 930, Canby, OR 97013

(503) 266-7001

FAX 266-1574

DATE: January 13, 2010

- TO:
- | | |
|---|---|
| <input type="checkbox"/> FIRE | <input type="checkbox"/> CANBY POST OFFICE |
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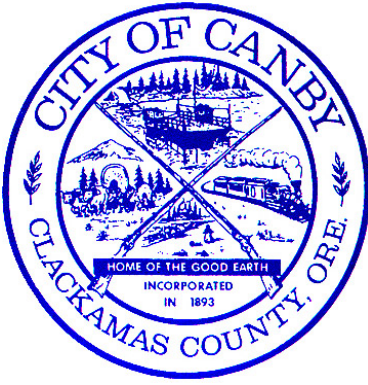
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- Adequate Public Services will become available through the development
- Conditions are needed, as indicated
- Adequate public Services are not available and will not become available

Signature: _____ Date: JAN. 25TH 2010

Title: ASSOCIATE ENGINEER Agency: CANBY TELCOM



City of Canby

Planning Commission Policies and Procedures

Agenda. The agenda for each regular and special Planning Commission meeting shall be available to the public at least 10 days prior to the hearing date.

Americans with Disabilities Act (ADA). All Planning Commission Agendas shall include the following language:

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for person with disabilities should be made at least 48 hours before the meeting to Jill Thorn at 503-266-7001. A copy of this agenda can be found on the City's web page at www.ci.canby.or.us Planning Commission Meetings are broadcast live and can be viewed on OCTS Channel 5. For a schedule of the playback times, please call 503-263-6287.

Attendance. Commissioners will make a reasonable effort to inform the Chair and the Planning Director if they are unable to attend any meeting. Additionally, the Chair will inform the Vice-Chair and the Planning Director regarding any absence by the Chair.

Bias and Disqualification. Any proponent, opponent, or other party interested in a quasi-judicial matter to be heard by the Commission may challenge the qualification of any Commissioner to participate in such hearing and decision. Such challenge must state facts relied upon by the party relating to a Commissioner's bias, prejudice, personal interest, or other facts from which the party has concluded that the Commissioner will not participate and make a decision in an impartial manner. Such challenges shall be made prior to the commencement of the public hearing. The Chair shall give the challenged member an opportunity to respond. Any challenge concerning the qualifications or bias of a Commissioner by any party in the proceeding shall require a vote of the Commission of the challenge. The Commissioner being challenged shall not vote unless required by the law of necessity to do so. Such challenges shall be incorporated into the record of the hearing.

If the Planning Commission determines that the member is biased, it may disqualify the member by majority vote from participating in a decision on the matter. A Commissioner who has been disqualified from participating in a decision may participate in the proceeding as a private citizen if the Commissioner is a party with standing.

Code Amendments. Prior to a public hearing on amendments to the Community Development Code, at the discretion of the Planning Commission, the Planning Commission may conduct a work session on the draft amendments. Staff may make this suggestion to the Chair when we believe that it will be beneficial.

Commission Rules. The Commission shall review its policies and procedures for operation as needed and at least once every year. Amendments shall be adopted by a majority vote. The Commission has an obligation to be clear and simple in its procedures and consideration of the questions coming before it. The Commission rules are not intended to replace or supersede any applicable federal or state laws or regulations, City ordinances or policies, or provisions of the City Charter.

Communication with Staff. Commission questions relating to factual issues regarding quasijudicial land use hearing items are encouraged ahead of a public hearing so as to alert staff of significant issues important to the Planning Commission acting as a quasijudicial hearing body, and allow staff to research these issues and be prepared with answers at the hearing.

All written information given by staff to one Commissioner should be distributed to all the Commissioners. Informational material of major significance requested by an individual Commissioner will be submitted by staff to the entire Commission with a notation indicating which Commissioner requested the information.

As a demonstration of mutual respect, professionalism and courtesy between Commission and staff, Commissioners should refer to staff either as Mr. or Mrs./Ms. followed by their last name or by their job title. Staff should address individuals with the use of Commissioner preceding their name. By mutual consent, individual Commissioners and staff members may choose to address each other more informally.

Citizen Input on Non-Agenda Items At the beginning of each regular meeting (or at work sessions at the discretion of the Chair), the Commission shall designate a time for Citizen Input on Non-Agenda Items which shall be reserved for citizens to address the Commission on matters related to City planning and other land use issues for Commission consideration. The purpose of the Citizen Input period is to provide citizens an opportunity to be heard by the Commission primarily on issues not on the agenda. Commissioners should refrain from engaging speakers in debate or extended dialogue, or directing questions to staff for immediate response. Commissioner should refer complaints or questions to the Planning Director or the appropriate staff person for a follow-up report at a future meeting.

Conferences and Seminars. Members of the Commission are urged to educate themselves about local land use and planning. To that end, Commissioners are urged to attend conferences, training seminars, or meetings. Such educational opportunities shall be subject to budgetary constraints if reimbursement is requested. Upon the Commissioner's return from attending a conference, training seminar, or meeting, the Commissioner will give a brief oral report to all members of the Commission unless the majority attended the same function, or if requested by any Commissioner who did not attend the conference, training seminar, or meeting reimbursed by the City.

Conflict of Interest. Generally, conflicts of interest arise in situations where a Commissioner, as a public official deliberating in a quasi-judicial proceeding, has an actual or potential financial interest in the matter before the Commission. Under state law, an actual conflict of interest is defined as one that would be to the private financial benefit of the Commissioner, a relative, or a business with which the Commissioner is associated. A potential conflict of interest is one that could be to the private financial benefit of the Commissioner, a relative or a business with which the Commissioner is associated. A relative means the spouse, children, siblings, or parents of the public official. A Commissioner must publicly announce potential and actual conflicts of interest and in the case of actual conflict of interest, must refrain from participating in debate on the issue or from voting on the issue unless allowed by state law.

Discussion. During discussion phases of Commission deliberations, individual Commissioners shall request recognition by the Chair to speak. The Chair should recognize individual commissioners requesting to speak in the chronological order of the request, while ensuring that each Commissioner has an opportunity to speak.

Emergency Meetings. In the case of an emergency, an emergency meeting may be called by consent of all available Commissioners upon such notice as is appropriate to the circumstances. The minutes of the emergency meeting shall describe the emergency justifying less than 24 hours notice. The City shall attempt to contact the media and other interested persons to inform them of the meeting.

Exhibits. Exhibits presented before the Commission in connection with its deliberations on a legislative, quasi-judicial, or other substantive matter shall be accepted by the Commission and made part of the record. The exhibit shall be marked for identification and referenced in the minutes. The exhibit or a copy thereof shall be provided to the meeting recorder.

Ex Parte Contacts and Disqualification. For quasi-judicial hearings only, Commissioners will endeavor to refrain from having ex parte contacts relating to any issue of the hearing. Ex parte contacts are those by a party of a fact in issue under circumstances that do not involve all parties to the proceeding. Ex parte contacts can be made orally when the other side is not present, or they can be in the form of written information that the other side does not receive.

If a Commissioner has ex parte contact prior to any hearing, the Commissioner will reveal this contact at the meeting and prior to the hearing. The Commissioner shall describe the substance of the contact and the contact and the presiding officer shall announce the right of interested persons to rebut the substance of the communication. The Commissioner also will state whether such contact affects the Commissioner's impartiality or ability to vote on the matter. The Commissioner must state whether he or she will participate or abstain.

For quasi-judicial hearings, a Commissioner may be disqualified from the hearing by a majority vote of the Commission. The Commissioner disqualified shall not participate in the debate, shall step down from the dais for that portion of the meeting, and cannot vote on that motion.

For quasi-judicial hearings, a Commissioner who was absent during the presentation of evidence cannot participate in any deliberations of decision regarding the matter unless the Commissioner has reviewed all the evidence and testimony received.

While a site visit is an ex-parte contact, Commissioners are encouraged to make such visits and take a detailed look at the site, under condition that: 1) the Commissioner shall not discuss his or her visit with any party; and, 2) the Commissioner shall disclose the visit and any observations made at the public hearing.

Filling Vacancies on the Commission and Election of Officers. (See Chapter 16.06 of Canby Municipal Code)

Flags, Signs, and Posters. No flags, posters, placard or signs, unless authorized by the Chair, may be carried or placed within the Council chambers in which the Commission is officially meeting. The restriction shall not apply to arm bands, emblems, badges, or other articles worn on personal clothing or individuals, provided that such devices do not interfere with the vision or hearing of other persons at the meeting or pose a safety hazard.

Oregon Government Ethics Commission Requirements and Reporting. Commissioners shall review and observe the requirements of the State Ethics Law (ORS 244.010 to 244.390) dealing with use of public office for private financial gain.

Commissioners shall give public notice of any conflict of interest or potential conflicts of interest and the notice will be reported in the meeting minutes. In addition to matters of financial interest, Commissioners shall maintain the highest standards of ethical conduct and assure fair and equal treatment of all persons, claims and transactions coming before the Commission. This general obligation includes the duty to refrain from:

1. Disclosing confidential information or making use of special knowledge or information before it is made available to the general public.
2. Making decision involving business associates, customers, clients and competitors.
3. General obligation not to violate Commission Rules.
4. Requesting preferential treatment for themselves, relatives, associates, clients, coworkers, or friends.
5. Seeking employment of relatives with the City.
6. Actions benefiting special interest groups at the expense of the City as a whole.
7. Expressing an opinion that is contrary to the official position of the Commission without so stating.

In general, Commissioners shall conduct themselves so as to bring credit upon the government of the City by respecting the rule of law, ensuring non-discriminatory

delivery of public services, keeping informed concerning the matters coming before the Commission and abiding by all decisions of the Commission, whether or not the member voted on the prevailing side.

In accordance with ORS 244.195, it is the Commissioner's responsibility to file annual statements of economic interest from the Oregon Government Ethics Commission. Each year, on or around April 1st, Commissioners will be sent a State of Economic Interest form from the Government Standards and Practices Commission. Commissioner should complete the form and return it directly to the Oregon Government Ethics Commission. It is important to complete the form in a timely manner; failure to do so may result in the imposition of a civil penalty and/or removal from office. Commissioners are also responsible for filing a Supplemental Statement of Economic Interest with the Oregon Government Ethics Commission within 30 days of leaving office.

Legal Advice. Requests to a City Attorney for advice requiring legal research shall not be made by a Commissioner except with the concurrence of the majority of the Commission or of the Chair. Before requesting research or other action by the City Attorney, the Commission is encouraged to consider consulting with the Planning Director to ascertain whether the request or action can be accomplished more cost-effectively by alternate means. Outside a Commission meeting, a Commissioner should make requests of the City Attorney through the Planning Director or City Administrator.

Meeting Staffing. The Planning Director or his/her designee will attend all Commission meetings unless excused by the City Administrator. The Planning Director may make recommendations to the Commission and shall have the right to take part in all Commission discussions but shall have no vote. The City Attorney or his/her designee shall attend a meeting only upon prior specific request by the Chair of the Planning Commission and Planning Director. The Planning Director shall designate a staff or contract person as a meeting recorder who will attend all Commission meetings and keep the official journal (minutes) and perform such other duties as may be needed for the orderly conduct of meetings.

Meeting Times. The Commission may meet regularly at 7:00 p.m. on the second and the fourth Monday of each month in the Council Chambers. The Commission may schedule special meetings as needed at its discretion.

Members of the Public Addressing the Commission. Each person addressing the Commission shall first sign the testimony sheet at the testimony table.

Those wishing to address the Commission shall come to the designated area and state their name and address in an audible tone. They shall limit their remarks to five minutes unless the Commission decides prior to a particular agenda item to allocate more or less time. They should address all remarks to the Commission as a body and not to any member thereof or to staff.

No person, other than the Commission and the person having the floor shall be permitted to enter into any discussion, either directly or through a member of the Commission, without the permission of the Chair. During all hearings, questions and

comments from the public shall be permitted at the discretion of the Chair. No member of the public will be allowed to speak more than once on a particular agenda item, **unless requested by the Chair**, except that an applicant in a quasi-judicial hearing shall have the right to rebut all comments from the public, commission, or staff pursuant to the specific rules set forth for such rebuttal.

At the conclusion of an individual's testimony, a member of the public may be questioned by individual commissioners regarding their testimony. Questions from the Commission should be for the purpose of ascertaining additional facts and opinions from the public, not for argument or dispute. The Chair shall have the authority to set a time limit for responses to questions should such a limit become necessary.

The Commission shall maintain a forum allowing citizens to exercise their right of freedom of speech regarding City-related issues, policy, and Commission decision. Any person making personal, offensive, or slanderous remarks, or who become boisterous, threatening, or personally abusive while addressing the Commission may be requested to leave the meeting. The Chair has the authority to preserve order at all meetings of the Commission, to cause the removal of any person from any meeting for disorderly conduct, and to enforce the rules of the Commission.

Minutes. Minutes shall be prepared with sufficient detail to meet their intended uses.

The minutes of meetings of the Commission shall comply with provision of ORS 192.650 by containing the following information at a minimum:

1. The names of Commissioners and staff present.
2. All motions, proposals, resolutions, orders, ordinances and measures proposed and their disposition.
3. The results of all votes and the vote of each member by name;
4. The substance of the discussion on any matter.
5. Reference to any document discussed at the meeting.

The Commission may amend the draft minutes to correct any factual errors in them. Upon receipt of the minutes in the Commission agenda packet, the Commission members should read and have ready in writing any changes to the minutes. The Commission will discuss and vote on any changes at its next earliest meeting. Once the final draft is adopted, under no circumstances shall the minutes be subsequently changed except by unanimous vote of the Commission.

Motions. When a motion is made, it shall be clearly and concisely stated by its mover. Commissioners are encouraged to exercise their ability to make motions and to do so prior to debate in order to focus discussion on an issue and speed the Commission's proceedings. The Presiding Officer will state the name of the Commissioner who made the motion and the name of the Commissioner who made the second. When the Commission concurs or agrees to an item that does not require a formal motion, the

Presiding Officer will summarize the agreement at the conclusion of discussion. The following rules shall apply to motions during proceedings of the Commission:

- A motion may be withdrawn by the mover at any time without the consent of the Commission.
- If a motion does not receive a second, it dies. Certain motions can proceed without a second, including nominations, withdrawal of motion, and agenda order.
- A motion that receives a tie vote fails.
- A motion to postpone to a certain time is debatable and amendable, and may be reconsidered at the same meeting. The question being postponed shall be considered at a later time at the same meeting or at a set specified time in the future. A motion to postpone is both debatable and amendable.
- A motion to call for the questions shall close the debate on the main motion and is undebatable. This motion must receive a second and fails without a majority vote. Debate is reopened if the motion fails.
- A motion to amend can be made to a motion that is on the floor and has been seconded. An amendment is made by inserting or adding, striking out, striking out and inserting, or substituting.
- Motions that cannot be amended include motion to adjourn agenda order, lie on the table, reconsideration, or take from the table.
- A motion to amend an amendment is in order.
- Amendments are voted on first, then the main motion as amended.
- Commission will discuss a motion only after the motion has been moved and seconded.
- The motion maker, presiding officer, or meeting recorder should repeat the motion prior to voting.
- A motion to continue or close a public hearing is debatable.
- A point of order, after being addressed by the presiding officer, may be appealed to the body.

News Media. The Commission recognizes the important role of the news media in informing the public about the decisions, activities, and priorities of government. The terms “news media”, “press,” and “representative of the press” for the purpose of these rules are interchangeable and mean someone who:

Represents an established channel of communication, such as a newspaper or magazine, radio or television station; and regularly reports on the activities of government or the governing body.

It is inappropriate to comment to the news media or through any communications medium on an issue before or during the decision-making process, especially if the issue is a quasi-judicial matter.

Order and Decorum.

If a meeting is disrupted by members of the audience, the Chair or a majority of the Commission present may declare a recess and/or order that the Council chamber be cleared.

Order of Business. The Chair shall have the authority to arrange the order of business as is deemed necessary to achieve an orderly and efficient meeting. In general, the order of business will be as follows:

1. Call to Order
2. Citizen Input on Non-Agenda Items
3. Public Hearings
4. New Business
5. Final Decisions
6. Minutes
7. Items of Interest from Staff
8. Items of Interest/Guidance from Planning Commission
9. Adjournment

Planning Commission Testimony. The Planning Commission was established in compliance with state statute to make recommendations to the City Council on general land use issues and to act as a hearing body for the City. In an effort to maintain the impartiality of the Planning Commission, especially in cases where issues can be remanded by the City Council back to the Planning Commission for review, the following rules are established. For legislative land use matters before the Council, Commissioners may testify as a Commissioner, as a Commissioner Representative if so designated by the Commission, or as a citizen. For quasi-judicial hearings or petitions for review before the Commission, Commission members, who have participated in the preceding Commission decision, may not testify before the Council on the respective matter.

Presiding Officer. The Chair shall be the Presiding Officer and conduct all meetings, preserve order, and enforce the rules of the Commission. The Vice-Chair shall preside in the absence of the Chair. The Presiding Officer shall not be deprived of any of the rights and privileges of a Commissioner, the Presiding Officer has a vote on all issues. In case of the absence of the Chair and the Vice-Chair, the Planning Director shall call the meeting to order and the Commission shall elect a chairperson for the meeting by majority vote.

Public Hearings.

Legislative Hearings:

1. The Chair shall announce prior to each public hearing the nature of the matter to be heard as it is set forth on the agenda.
2. Discussion of conflict of interest by the Canby Planning Commission and Commissioners.
3. The Chair will call for the staff report.
4. The Chair will then declare the hearing to be open and invite testimony to be heard in the following order:
 - a. Persons wishing to speak on the matter in support
 - b. Persons wishing to speak on the matter in opposition.
 - c. Persons wishing to speak on the matter who are neutral.
 - d. Written testimony received.
5. Close the public hearing
6. Commission deliberation and vote.

Quasi-Judicial Hearing: Conduct of quasi-judicial hearings shall conform to the requirements of ORS 197.763 and the Canby Land Development and Planning Ordinance (Title 16) including, but not limited to the following:

1. The Chair shall announce prior to opening the hearing the nature of the matter to be heard as it is set forth on the agenda and the procedure to be followed for the hearing.
2. The Chair shall give notice that failure to address a criterion or raise any other issue with sufficient specificity precludes an appeal to the Land Use Board of Appeals on the criterion or issue.
3. Discussion of jurisdiction and impartiality of the Canby Planning Commission and Commissioners.
4. Staff report on the application (including summary of additional correspondence) and initial Commission questions for staff.
5. Applicant's presentation.
6. Testimony in support of the application
7. Testimony in opposition to the application
8. Neutral testimony
9. Applicant's rebuttal testimony.
10. Question from the Commission to staff, and staff response to testimony.

11. Closure of public hearing, no further information from the audience.
12. Discussion by Commission and decision.

The Commission shall adopt findings employing staff and the City Attorney, or the applicant's attorney if applicable, as necessary in preparation and adoption of the findings. The Findings can be adopted at the same meeting as the Public Hearing or at the next meeting of the Commission.

If there are objections to the jurisdiction of the Planning Commission to hear a matter, the Chair shall terminate the hearing if the inquiry results in substantial evidence that the Commission lacks jurisdiction or the procedural requirements of any code or ordinance provision were not met.

The Commissioners should avoid conduct during a hearing that can be construed or misinterpreted as conducting private deliberations shielded from public view.

Public Records. The disposition of public records created or received by Commissioners shall be in accordance with Oregon Public Records Law. Written information incidental to the official duties of a member of the Planning Commission, including electronic mail messages, notes, memos, and calendars (e.g. "day timers") are public records and are subject to disclosure under the Public Records Law.

Questions of Staff by Commission Members. As a general rule, during Commission meetings Commission members will address questions of staff to the Planning Director. However, if a member of staff is at the meeting specifically to provide special knowledge or expertise, a Commission may direct his/her question directly to that person.

Quorum. The quorum requirement for the conduct of Commission business is four Commission members except when one or more vacancies exist on the Commission a quorum shall be one more than half of the remaining seated members.

Reconsideration of Actions Taken. A member who voted with the majority may move for a reconsideration of an action at the same meeting. The second of a motion may be a member of the minority. Once a matter has been reconsidered, no motion for further reconsideration shall be made without unanimous consent of the Commission.

Representing the City. When a member of the Planning Commission represents the City before another governmental agency, before a community organization or media, the official should first indicate the majority position of the Commission. Personal opinions and comments may be expressed only if the Commissioner clarifies that those statements do not represent the position of the Commission.

Roberts Rules of Order. On any matter or issue not addressed by the Planning Commission policies and procedures, Roberts Rules of Order shall apply.

Speaking by Commission Members. Any Commissioner desiring to be heard shall be recognized by the Chair, but shall confine his or her remarks to the subject under consideration or to be considered. Commissioners will be direct, candid, and professional in speech and demeanor. Commissioners will speak one at a time, allowing one another to finish.

Suspension of Rules. These rules may be suspended upon an affirmative vote of the majority of a quorum of the Commission. Suspension of the rules should only occur in cases of extreme necessity and for no other reason.

Televising of Commission Meetings. Televising of Commission meetings shall be accomplished pursuant to the adopted policies of the City Council and City Administrator.

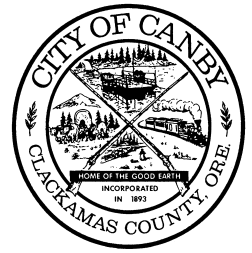
Voting. Every Commissioner, when a question is taken, shall vote unless a majority of the Commission present, for special reason, shall excuse said person. **A vote may be yes, no or an abstention.**

No Commissioner shall be permitted to vote on any subject in which he or she has a conflict of interest.

The concurrence of a majority of the Commission members qualified to vote shall be necessary to decide any question before the Commission.

Work Sessions. Work sessions of the Planning Commission shall be held in accordance with Oregon Public Meetings Law (ORS 192.6-710). Whenever circumstances require such a session, it shall be called by the Chair, Planning Director, or two Commissioners.

**BEFORE THE PLANNING COMMISSION
OF THE
CITY OF CANBY**



**A REQUEST FOR SITE AND DESIGN) FINDINGS, CONCLUSION & FINAL ORDER
REVIEW APPROVAL TO CONSTRUCT) DR 09-02
A 14,458 SQUARE FOOT COMMERCIAL) Chris Spurgin
BUILDING AND AN ACCESSORY)
PARKING LOT -AND- CONCURRENT)
VARIANCE REQUESTS OF THE AUTO-)
MATIC IRRIGATION REQUIREMENT)
AND OF THE STREET SECTION)
STANDARD FOR S. WALNUT STREET)**

NATURE OF APPLICATION

The City has received DR 09-02, a Site and Design Review application, for construction of a 14,458 square foot commercial building and an accessory parking lot on an approximately 2 acre site located in the 300 Block of S. Walnut Street. The application includes the following concurrent variance and parking exception requests:

- Concurrent variance of CMC 16.35.050.M and 16.49.120.9, to waive automatic irrigation requirement for approximately 21,500 square feet of drought tolerant lawn area.
- Concurrent variance of CMC 16.35.050.G, to allow an alternative street section standard for S. Walnut Street that is different than the code requirement.
- Parking exception, to require no additional parking spaces for a 1,016 sq.ft. accessory coffee shop in the building.

CRITERIA AND STANDARDS

1. In judging whether or not a Site and Design Review application shall be approved, the Planning Commission shall determine whether the following criteria are met, or can be met by observance of conditions:

16.49.040.1.A. The proposed site development, including the site plan, architecture, landscaping and graphic design, is in conformance with the standards of this and other applicable City ordinances insofar as the location, height and appearance of the proposed development are involved; and

16.49.040.1.B. The proposed design of the development is compatible with the design of other developments in the same general vicinity; and

16.49.040.1.C. The location, design, size, color and materials of the exterior of all structures and

**Findings, Conclusion and Final Order
DR 09-02
Page 1 of 9**

signs are compatible with the proposed development and appropriate to the design character of other structures in the same vicinity; and

16.49.040.1.D. The Board shall, in making its determination of compliance with subsections B and C above, use the following matrix to determine compatibility unless this matrix is superseded by another matrix applicable to a specific zone or zones under this title. An application is considered to be compatible, in regards to subsections B and C above if ... it achieves scores equal to or greater than the minimum acceptable scores in the matrix.

16.49.040.4. The Board shall, in making its determination of compliance with the above requirements, be guided by the objectives and standards set forth in this section. It must be demonstrated that all required public facilities and services are available, or will become available through the development, to adequately meet the needs of the proposed development. If the site and design review plan includes utility facilities or public utility facility, then the City Planner shall determine whether those aspects of the proposed plan comply with applicable standards.

16.49.040.5. The Board shall, in making its determination of compliance with the requirements set forth, consider the effect of its action on the availability and cost of needed housing. The Board shall not use the requirements of this section to exclude needed housing types. However, consideration of these factors shall not prevent the Board from imposing conditions of approval necessary to meet the requirements of this section. The costs of such conditions shall not unduly increase the cost of housing beyond the minimum necessary to achieve the purposes of this ordinance.

16.49.040.6. As part of the Site and Design Review, the property owner may apply for approval to cut trees in addition to those allowed in Section 12.20.080 of the City Tree Ordinance. The granting or denial of said application will be based on the criteria in Chapter 12.20 of the City Tree Ordinance. The cutting of trees does not in and of itself constitute change in the appearance of the property which would necessitate application for site and design review.

2. In judging whether or not a Major Variance shall be granted, the Planning Commission shall determine that all of the following conditions are present:

16.53.020.B.1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the city and within the same zone. These exceptional or extraordinary circumstances result from tract size or shape, topography or other circumstances over which the owners of the property have no control. Actions of previous owners do not constitute other exceptional or extraordinary circumstances.

16.53.020.B.2. The variance is necessary to assure that the applicant maintains substantially the same property rights as are possessed by the owners of other property in the city and within the same zone.

16.53.020.B.3. Granting of this variance will not be materially detrimental to the intent or purposes of the city's Comprehensive Plan or the Land Development and Planning Ordinance.

16.53.020.B.4. Granting of this variance will not be materially detrimental to other property within the same vicinity.

16.53.020.B.5. The variance requested is the minimum variance which will alleviate the

hardship.

16.53.020.B.6. The exceptional or unique conditions of the property which necessitate the issuance of a variance were not caused by the applicant, or the applicant's employees or relatives.

3. The Planning Commission may approve a parking exception to permit a lesser number of parking spaces, based on clear and objective findings that a lesser number of parking spaces will be sufficient to carry out the objective of this section.

FINDINGS AND REASONS

The Planning Commission held a public hearing on February 08, 2010, during which the February 01, 2010 staff report, including all attachments, and a powerpoint presentation was presented by staff. Staff recommended approval of the Site and Design Review application with 28 conditions of approval in order to ensure that the proposed development meets all required approval criteria.

Applicant Testimony: XXXXXX

Proponent Testimony: XXXXXX

Opponent Testimony: XXXXXX

Neutral Testimony: XXXXXX

The Planning Commission considered the findings detailed in the February 01, 2010 staff report and the powerpoint presented by staff, and made the following additional findings:

- XXXXXX
- XXXXXX
- XXXXXX

In summary, the Planning Commission adopted the findings contained in the February 01, 2010 staff report, together with the additional Commission findings detailed above, and concluded that, with XX conditions of approval, the Site and Design Review application meets the approval criteria, as reflected in the written Order below.

CONCLUSION

The Planning Commission concludes that, with the application of certain conditions:

- The proposed site development, including the site plan, architecture, landscaping and graphic design, is in conformance with the standards of this and other applicable city ordinances insofar as the location, height and appearance of the proposed development are involved. (*Criteria 16.49.040.1.A*)
- The proposed design of the development is considered to be compatible with the design of other developments in the same general vicinity because the application has achieved minimum acceptable scores on the applicable Site and Design Review matrix. (*Criteria 16.49.040.1.B*)

**Findings, Conclusion and Final Order
DR 09-02
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- The location, design, size, color and materials of the exterior of all structures and signs are considered compatible with the proposed development and appropriate to the design character of other structures in the same vicinity because the application has achieved minimum acceptable scores on the applicable Site and Design Review matrix. (*Criteria 16.49.040.1.C*)
- The application is considered to be compatible, in regards to subsections B and C above, because it achieved scores equal to or greater than the minimum acceptable scores in the Canby Industrial Area Overlay design review matrix, in all categories except for the “Tree Retention, Open Space Conservation and Trail Connections” category, which is deemed not applicable to this application. (*Criteria 16.49.040.1.D*)
- The application was reviewed by public utility and service providers, and all comments received therefrom indicate that all required public facilities and services exist, or exist with conditions of approval, to adequately meet the needs of the proposed development. (*Criteria 16.49.040.4*)
- The Board has considered the effect of its action on the availability and cost of needed housing, and has determined that the application does not involve development of any dwelling units, and there is no evidence that approval of the proposed development will affect availability or cost of any needed housing. (*Criteria 16.49.040.5*)
- There are no existing street trees in the right-of-way abutting the project site, and the applicant has not requested permission to remove any street trees. (*Criteria 16.49.040.6*)

Regarding the applicant’s requested variance of CMC 16.35.050.M and 16.49.120.9 to waive automatic irrigation requirement for approximately 21,500 square feet of drought tolerant lawn area, the Planning Commission also concludes that:

- The applicant states that they are requesting non-irrigation for the lawn area, because the project site has been designed as a model of sustainability for Canby in terms of usage of materials, energy consumption, and potable water demand. These are exceptional or extraordinary circumstances that apply to this property which do not apply generally to other properties in the city and within the same zone. (*Criteria 16.53.020.B.1*)
- The applicant states that, as landscape architects we feel it is (our) professional responsibility to develop planting designs that are models of sustainability, designs that minimize the need for pesticides, fertilizers, and water usage. The variance is necessary to assure the applicant maintains substantially the same property rights as are possessed by the owners of other property in the city and within the same zone. (*Criteria 16.53.020.B.2*)
- CMC 16.49.010.B.1 states that one of the purposes of Chapter 16.49, the chapter in which landscaping standards are located, is to encourage originality, flexibility and innovation in site planning and development, including the architecture, landscaping and graphic design of said development. Granting this variance to allow an alternative style of landscaping is not materially detrimental to this purpose statement. Furthermore, in order to insure that the variance will not be detrimental to the next purpose statement in Chapter 16.49, B.2, which is to discourage monotonous, unsightly, dreary and inharmonious development, a Condition of Approval ensures that the applicant gets the lawn area established and thriving before they remove their proposed temporary irrigation. (*Criteria 16.53.020.B.3*)

- There is no evidence that granting the variance would be materially detrimental to other property within the vicinity. (*Criteria 16.53.020.B.4*)
- A variance approval is the minimum action that the Planning Commission can take in order to waive the code requirement for automatic irrigation. A code amendment to change the regulation could be undertaken, but that is a much more involved and more complex process. There is no other way to alleviate the applicant's hardship. (*Criteria 16.53.020.B.5*)
- The exceptional or unique conditions of the property which necessitate the issuance of a variance, specifically the code requirement for automatic irrigation for landscaping areas, were not caused by the applicant, or the applicant's employees or relatives. (*Criteria 16.53.020.B.6*)

Regarding the applicant's requested variance of CMC 16.35.050.G to allow an alternative street section standard for S. Walnut Street that is different than the code requirement, the Planning Commission also concludes that:

- The exceptional or extraordinary circumstances that apply to this property which do not apply generally to other properties in the city, are that this property is part of a City Council-approved Local Improvement District for which a specific street section design has been created and approved. The street section design for S. Walnut Street is outside of the applicant's control. (*Criteria 16.53.020.B.1*)
- The variance is necessary so that the applicant is not required to dedicate more ROW and not required to build a different type of street improvement than what is in the Council-approved LID plan. Therefore the applicant maintains substantially the same property rights as are possessed by other property owners in the LID area. (*Criteria 16.53.020.B.2*)
- Granting the variance will not be materially detrimental to the intent or purposes of the city's Comprehensive Plan or the Land Development and Planning Ordinance, because a Condition of Approval ensures that the intent of minimum setback standards will still be met. (*Criteria 16.53.020.B.3*)
- There is no evidence that granting the variance would be materially detrimental to other property within the vicinity. (*Criteria 16.53.020.B.4*)
- A variance approval is the minimum action that the Planning Commission can take in order to modify the street improvement required by code. A code amendment to change the street improvement regulation could be undertaken, but that is a much more involved and more complex process. There is no other way to alleviate the applicant's hardship. (*Criteria 16.53.020.B.5*)
- The exceptional or unique conditions of the property which necessitate the issuance of a variance are created by the Local Improvement District that includes plans for a street improvement that is different than what the code specifies. This was not caused by the applicant, or the applicant's employees or relatives. (*Criteria 16.53.020.B.6*)

Regarding the applicant's request for a parking exception to require no additional parking spaces for a 1,016 sq.ft. accessory coffee shop in the building, the Planning Commission also concludes that:

- The purpose of operating a small accessory coffee shop in the building is to provide convenient coffee break services for warehouse employees and for truck drivers while they wait for their trucks to load. Therefore, it is anticipated that the customers of the coffee shop will be people

who are already there in the building or on the property, and it is not expected that anyone else will be driving to the site specifically to go to the coffee shop. Therefore, for the proposed 14,458 square foot commercial building, containing a 13,442 sq.ft. warehouse/distribution company and a 1,016 sq.ft. accessory coffee shop, 26 vehicle parking spaces and 2 bicycle parking spaces are sufficient to carry out the objective of the Off-Street Parking and Loading Chapter. (*Criteria 16.10.010*)

ORDER

IT IS ORDERED BY THE PLANNING COMMISSION of the City of Canby that **DR 09-02** is approved, subject to the following conditions:

1. Approval of this application is based on submitted application materials (a reduced copy of which are attached to the Feb. 01, 2010 staff report as Exhibit E) and other relevant application materials and submitted testimony. Approval is strictly limited to the submitted proposal and is not extended to any other development of the property. Any modification of development plans not in conformance with the approval of application file no. DR 09-02, including all conditions of approval, shall first require an approved modification in conformance with the relevant sections of the Canby Municipal Code.
2. At the time of building permit application, the applicant shall submit a full size set of all development plans (including site plan, landscape plan, elevations, etc.) that is consistent with the development approved herein, including all conditions of approval and revisions required to meet conditions, to the satisfaction of the City's Planning & Building Department and Public Works Department. All conditions of approval must be met prior to final occupancy of the building unless otherwise noted.
3. Prior to the issuance of a building permit, installation of public utilities, or any other site work other than rough site grading, construction plans must be approved and signed by the appropriate City Departments and by all other utility/service providers. The design, location, and planned installation of all roadway improvements and utilities including but not limited to water, electric, sanitary sewer, natural gas, telephone, storm water, cable television, and emergency service provision is subject to approval by the appropriate utility/service provider. The City of Canby's preconstruction process procedures shall be followed by the applicant.
4. Prior to issuance of building permit, property owner shall record a replat to complete the Lot Line Adjustment approved by the City of Canby (file no. LLA-09-01). Following recordation, the property owner shall submit a copy of the replat to the Canby Planning Department.
5. A reduced Right-of-Way width is permitted for S. Walnut Street, as detailed in Figure 2 of Exhibit G to the February 01, 2010 staff report. As a result, the way in which street yard setbacks are measured shall be modified for this site as follows: (A) street yard setback for the 14,458 square foot building approved as part of DR-09-02 shall be measured from the ROW line; (B) street yard setback for all other structures or buildings which may be approved for this site in the future shall be measured from the outside edge of the public sidewalk (the sidewalk edge that is furthest from the centerline of the ROW).

6. Property owner shall dedicate right-of-way equal to 20 feet from centerline of S. Walnut Street, and a 16-foot-wide sidewalk, storm drainage and public utility easement parallel to and abutting the new S. Walnut Street alignment.
7. The existing right-of-way and public utility easement dedicated along the S. Walnut Street frontage of this property, as part of the "Struble Estates" plat, Clackamas County Subdivision Plat Book 139, page 008, no. 4236, shall be modified to be comparable with the new Walnut Street alignment. Such modification shall be to the satisfaction of the City Engineer.
8. Property owner shall complete all required public street improvements along the entire frontage of the project site, to the satisfaction of the City Engineer and Public Works Director, including installing a 6-foot-wide concrete public sidewalk, a 5-foot-wide planter strip with street trees, and commercial driveways at approved locations, to City standards. Sidewalks shall be located 5.5 feet from the face of the curb line or 21.5 feet from the centerline of the new S. Walnut Street right-of-way. Street trees shall be approved by the Public Works Director prior to planting.
9. The access driveways onto S. Walnut Street shall be commercial-type with large radius curb returns to account for truck traffic. Public sidewalks shall extend across the driveways.
10. Applicant shall have commercial driveway plans approved by the Public Works Director/City Engineer prior to constructing the proposed driveways. All driveway construction shall be inspected and approved by Public Works Department prior to final occupancy permit.
11. Vehicular access to the westerly undeveloped portion of lot 5 of "Struble Estates" plat shall be through the two driveways approved as part of this development (DR-09-02), until such time that any additional or alternative vehicle access locations may be approved by the City.
12. 'Truck Entrance' signage over 30-inches in height shall not be installed inside the 15-foot vision clearance triangles required at the corners of the driveways.
13. One monument sign is approved, to be located in the approximate location indicated on sheet C111 of Exhibit E to the February 1, 2010 staff report, provided that the sign meets all applicable sign standards, setbacks, and vision clearance standards. The property owner shall obtain a sign building permit from the City prior to construction. Any application for additional signage shall be reviewed administratively through the normal sign application process, rather than as a Site and Design Review Modification application.
14. At the time of building permit application, a revised landscaping plan shall be submitted to the City with the follow revision: the 3 red alder trees located inside the convergence of the sight distance lines near the curvature of the roadway, as illustrated in Figure A-2 of Exhibit H to the February 1, 2010 staff report, shall be removed and replaced by a plant material that will not grow higher than 42 inches. No plant materials or other features shall be allowed on the site within the area of sight line convergence that exceed 42 inches in height.
15. All required landscaping shall be installed prior to final occupancy permit.
16. Permanent automatic irrigation for approximately 21,500 square feet of drought tolerant turf area is not required, provided that the applicant provides a temporary irrigation system to water the turf area for a minimum of one year from the date of planting, or until the turf is established, whichever is longer. After the temporary irrigation system is removed, permanent automatic

irrigation shall not be required for the turf area so long as it is maintained in a green thriving condition during the majority of each year (although some browning during the peak of summer is allowed). If the lawn cannot be maintained in a green thriving condition during the majority of each year, upon notice by the City, the applicant shall be required to install permanent automatic irrigation to fix and maintain the lawn area.

17. The Planning Commission finds that, for the proposed 14,458 square foot commercial building, containing a 13,442 sq.ft. warehouse/distribution company and a 1,016 sq.ft. accessory coffee shop, 26 vehicle parking spaces and 2 bicycle parking spaces are sufficient to carry out the objective of the Off-Street Parking and Loading Chapter, and hereby grants a parking exception. This parking exception shall remain in effect until a change in the use of this site, or development of additional square footage on this site, triggers a requirement to re-evaluate parking.
18. Water and sanitary sewer services to this development shall be provided by the City "South Walnut Street LID" project at locations provided by the developer's design engineer on January 21, 2010.
19. Tenant or Applicant shall complete a Non-Residential Wastewater Survey for review by the Public Works Department prior to final occupancy.
20. Storm drainage runoff shall be disposed on-site and will not be allowed to discharge into the public system.
21. Loading dock drain routed to sanitary must be covered and sloped to prevent rainwater from entering the catch basin prior to final occupancy.
22. Loading dock drains, if exposed to rainfall, must be routed to the onsite stormwater collection and disposal system.
23. Trash enclosures and/or dumpsters shall not have drains located directly beneath them.
24. If process water is generated on site, the Public Works Director shall determine whether pretreatment is required prior to discharge to the sanitary sewer, including but not limited to a sampling manhole, flow monitoring device, and automatic sampler.
25. The applicant shall install a sewer cleanout at the back of the sidewalk prior to entering the public right-of-way. Applicant shall contact the City Engineer to coordinate the location of the sewer lateral.
26. Applicant shall provide the Public Works Director written documentation from Oregon DEQ as to whether a stormwater 1200-C NPDES permit is required or not. A copy of the 1200-C NPDES application and permit, including the erosion sediment control plan shall be submitted to Public Works Department for review.
27. All Canby Erosion and Sediment Control permits must be obtained from Public Works Department prior to disturbing soil at the site.
28. Prior to issuance of building permits, applicant shall meet all fire & life safety requirements of Canby Fire.

I CERTIFY THAT THIS ORDER approving **DR 09-02** was presented to and **APPROVED** by the Planning Commission of the City of Canby.

DATED this 8th day of February 2010.

Daniel K. Ewert, Chairman
Canby Planning Commission

Melissa Hardy
Associate Planner

ATTEST:

ORAL DECISION – February 08, 2010

AYES: XXXX

NOES: XXXX

ABSTAIN: XXXX

ABSENT: XXXX

WRITTEN DECISION – February 08, 2010

AYES: XXXX

NOES: XXXX

ABSTAIN: XXXX

ABSENT: XXXX

MINUTES
CANBY PLANNING COMMISSION
7:00 PM – January 11, 2010
City Council Chambers – 155 NW 2nd Avenue

PRESENT: Vice Chair Jan Milne, Commissioners Sean Joyce, Chuck Kocher, and Misty Slagle

ABSENT: Chair Dan Ewert

STAFF: Bryan Brown, Planning Director; Melissa Hardy, Associate Planner; and Jill Thorn, Planning Staff

OTHERS PRESENT: City Councilor/ Planning Commission Liaison Brian Hodson

1. CALL TO ORDER

2. CITIZEN INPUT **None**

3. PUBLIC HEARINGS **None**

4. NEW BUSINESS

a. Northwood Estates Development Agreement - Consideration of a request from Northwood Investment Partnership and Archie and Lois McLeod for a one-year extension of the Development Agreement for SUB 05-12 (Northwood Estates Subdivision) and its associated Master Plan.

Melissa Hardy, Associate Planner, presented the staff report and stated the staff was recommending a one year extension to January 25, 2011.

Commissioner Milne stated there was an inconsistency regarding lot 74 which was listed a subject to infill standards and lot 75 and 87 – 94 were to be limited to one story in height.

Mr. Brown said that when Phase 2 and 3 applications are presented to the Commission, additional conditions could be added.

Commissioner Kocher noted that Tract D had been a well, but was now part of lot 28.

Commissioner Joyce moved to approve a one-year extension to the Northwood Estates Development Agreement, which extends the expiration date to January 25, 2011. Motion seconded by Commissioner Slagle and passed 4-0.

5. FINAL DECISIONS **None**

6. MINUTES

December 14, 2009 - Commissioner Slagle moved to approve minutes of December 14, 2009 as presented. Motion seconded by Commissioner Kocher and passed 4-0.

7. ITEMS OF INTEREST FROM STAFF Bryan Brown reported that Randy Tessman and John Proctor would be appointed to the Planning Commission by the City Council on January 20th. He also announced that the next Planning Commission meeting would be cancelled and a work session on policies and procedures for the Planning Commission would be held on January 25, 2010 at 7 PM in the City Hall Conference Room.

8. ITEMS OF INTEREST/GUIDANCE FROM PLANNING COMMISSION Commissioner Milne thanked the members of the video production crew, Bob Tanner and Mathew Brown for the great work they do in cable-casting the meetings for the public.

9. ADJOURNMENT